

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 9, 2021

Stephen A Dunbar, RA
Modulus Architects Inc
110 Sun Ave NE, Suite 600
Albuquerque, NM 87109

**Re: Kiddie Academy
4590 Paradise Blvd
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 6-17-20 (C12D003A)
Certification dated 10-15-21

Dear Mr. Dunbar,

PO Box 1293

Based upon the information provided in your red lined plan 11-1-21& Pics received 11-8-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

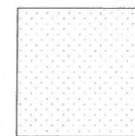
Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, Fi

CONDITION OF C.O. APPROVAL:
THE EASEMENT FOR THE
RELOCATION OF THE ACCESS
POINT (PARADISE ENTRANCE)
IS ACCEPTED, APPROVED AND
IN PLACE.

GRAPHIC LEGEND



HEAVY DUTY ASPHALT: SEE E1 THIS SHEET.

LIGHT DUTY ASPHALT: SEE D1 THIS SHEET.

E1 HEAVY DUTY ASPHALT - SECTION

SCALE: 1" = 1'-0"

D1 LIGHT DUTY ASPHALT - SECTION

SCALE: 1" = 1'-0"

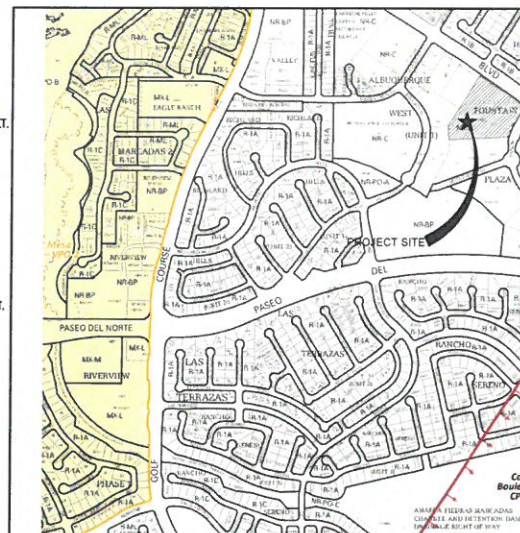
TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____
Date 06/23/20

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

A1 TRAFFIC CIRCULATION LAYOUT PLAN

SCALE: 1/2"



VICINITY MAP

Zone Atlas Map B-13-Z

LEGAL DESCRIPTION: TRACT A-2-B-2 OF THE PLATE OF TRACTS A-2-B-1 & A-2-B-2, FOUNTAIN HILLS PLAZA SUBDIVISION, SITUATE WITHIN PROJECTED SECTION 13, T.11N., R.2E., N.M.P.M., CITY, TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 10, 2020, IN PLAT BOOK 2020C, PAGE 29 AS DOCUMENT NO. 2020022473.

EASEMENTS

- 10' PUBLIC UTILITY EASEMENT 03/08/1990, BK. 90C, PG. 67.
- 20' SANITARY SEWER EASEMENT 02/02/1999, BK. 9903, PG. 5221.
- 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
- 10' PUBLIC ROADWAY EASEMENT 09/19/2007, BK. 2007C, PG. 270.
- 1' PUBLIC ROADWAY EASEMENT 09/19/2007, BK. 2007C, PG. 270.
- 24' PRIVATE ACCESS AND PRIVATE UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT.
- 1' RIGHT-OF-WAY 03/15/2018, BK. 2018C, PG. 30, DOC# 2018022726.

GENERAL NOTES

- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

1. ACCESSIBLE PARKING: SEE 2/A1.2 AND 3/A1.2.
2. WHEEL STOP: SEE 4/A1.2.
3. AREA OF REFUSE: SEE 4/A1.3.
4. CURBED RAMP: SEE 16/A1.1.
5. END ISLAND WITH WALKWAY RAMP: SEE 5/A1.1.
6. PROPOSED LANDSCAPING: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
7. 4" WHITE PAINTED STRIPPING.
8. HANDICAP PAVEMENT MARKING: SEE 1/A1.2.
9. CONCRETE SIDE WALK: SEE 7/A1.1.
10. BOLLARD: SEE 4/A1.1.
11. NEW CONCRETE CURB AND GUTTER: SEE 10/A1.1.
12. MOTOR CYCLE PARKING.
13. CROSS WALK MARKING: SEE 6/A1.1.
14. EXISTING ASPHALT WALKWAY AND RAMP TO REMAIN.
15. HANDICAP SIGNAGE: SEE 11/A1.2.
16. MONUMENTAL SIGNAGE UNDER A SEPARATE PERMIT.
17. PAVEMENT DIRECTIONAL MARKING: SEE 8/A1.2.
18. BIKE RACK: SEE 13/A1.2.
19. STOP SIGN: SEE 7/A1.2.
20. PORTION OF EXISTING CURB AND GUTTER TO REMAIN.
21. EXISTING GUTTER TO REMAIN.
22. NEW 6" CONCRETE GUTTER: TIE INTO EXISTING CURB AND GUTTER - REFER TO COA STANDARD DRAWING #2420.
23. EXISTING CONCRETE SIDEWALK TO REMAIN: 6" WIDE MINIMUM.
24. BASED LINE INDICATES PORTION OF EXISTING CONCRETE CURB AND GUTTER, SIDEWALK TO BE DEMOLISHED TO ACCOMMODATE NEW DRIVEWAY. CONTRACTOR TO COORDINATE IN FIELD FOR EXACT AMOUNT TO BE DEMOLISHED TO ACHIEVE DESIGN INTENT.
25. EXISTING CENTER MEDIAN TO REMAIN.
26. MOTOR CYCLE PARKING SIGNAGE: SEE 12/A1.2.
27. "RIGHT TURN ONLY" SIGNAGE: FOLLOW COA STANDARD DRAWING #2802-R3-2.
28. 10" COMPACTED SUBGRADE @ 95% WITH R-VALUE OF 50.
29. 6" BASE COURSE.
30. 2" ASPHALT CONCRETE PAVEMENT.
31. 3" ASPHALT CONCRETE PAVEMENT.
32. 4" BASE COURSE.
33. BUILDING ADDRESS: PROVIDE A 10" HIGH BY 2" WIDE BRUSH STROKE WITH CONTRASTING BACKGROUND.
34. EXISTING CONCRETE RAMP TO REMAIN.
35. NEW 24" WIDE TRUNCATED DOME: SAFETY YELLOW IN COLOR.
36. BASED LINE INDICATES A 2' CLEARANCE AROUND BIKE RACK.
37. EXISTING ASPHALT PAVEMENT MARKING TO REMAIN.
38. "ONE WAY" SIGNAGE: FOLLOW COA STANDARD DRAWING #2802-R6-1(R).
39. INSTALL ADA APPROVED 2" WIDE TRUNCATED DOME STRIP.
40. PROVIDE A BACK SLOPE OF 4:1 TO THE EDGE OF RAMP TO EXISTING SURFACE ON THE WEST END OF ENTRANCE.
41. CENTERLINE STRIPPING: 4" WIDE PAVEMENT MARKING, YELLOW IN COLOR.

PARKING CALCULATION

BUILDING AREA	# SEATS	AREA (GROSS SQUARE FEET)	
KIDDIE ACADEMY DAYCARE	N/A	11,822 SF	
TOTAL			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
KIDDIE ACADEMY DAYCARE (DO TABLE 5-5-1)	1/400 GFA	30 SPACES	32 SPACES
ACCESSIBLE PARKING SPACE	---	2 SPACES	2 SPACES
MOTORCYCLE PARKING SPACE (DO TABLE 5-5-4)	---	2 SPACES	2 SPACES
BIKE PARKING SPACE (DO TABLE 5-5-5)	---	4 SPACES	4 SPACES

REV	DATE	BY	REVISION
A			
B			
C			
D			
E			
F			
G			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



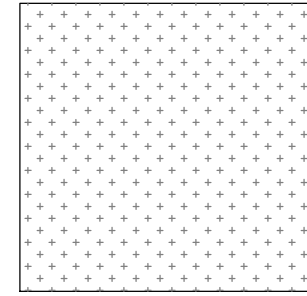
PROJECT TITLE KIDDIE ACADEMY WESTSIDE 4590 Paradise Blvd. Albuquerque, New Mexico 87004	DRAWN BY: JDN	DATE 11 Mar 2020	SHEET TCL
PROJECT MANAGER KEVIN NOTEN	JOB NO. Kiddie Academy 1	SCALE AS NOTED	

TRAFFIC CIRCULATION LAYOUT

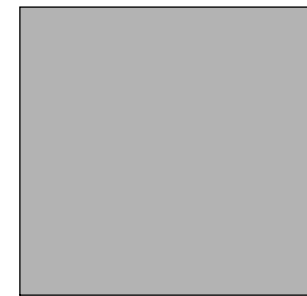
E1 HEAVY DUTY ASPHALT - SECTION
SCALE: 1" = 1'-0"

D1 LIGHT DUTY ASPHALT - SECTION
SCALE: 1" = 1'-0"

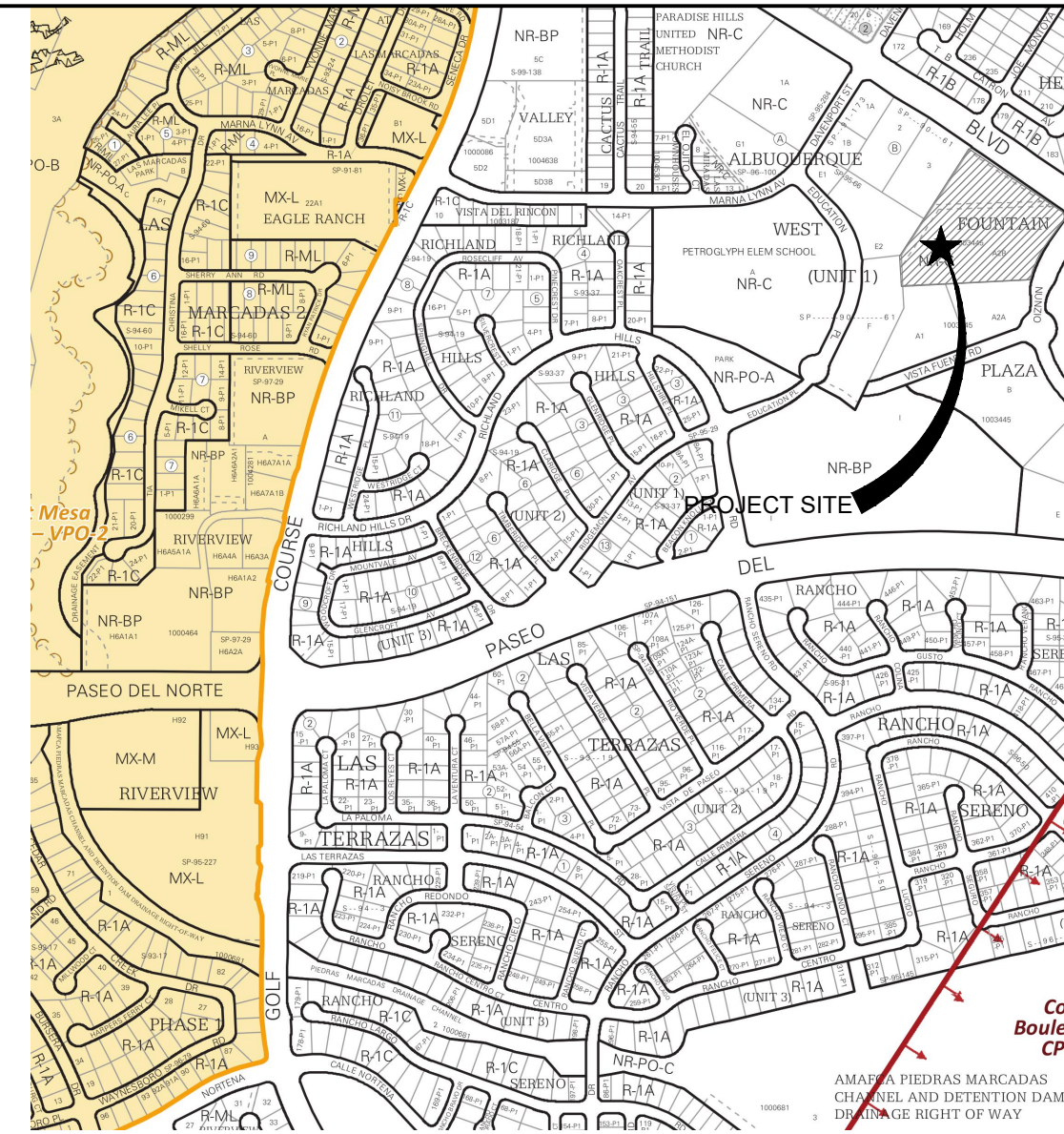
GRAPHIC LEGEND



HEAVY DUTY ASPHALT: SEE E1 THIS SHEET.



LIGHT DUTY ASPHALT: SEE D1 THIS SHEET.



VICINITY MAP

Zone Atlas Map B-13-Z

LEGAL DESCRIPTION: TRACT A-2-B-2 OF THE PLATE OF TRACTS A-2-B-1 & A-2-B-2, FOUNTAIN HILLS PLAZA SUBDIVISION, SITUATE WITHIN PROJECTED SECTION 13, T.11N., R.2E., N.M.P.M., CITY, TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN AND DESIGNATED ON THE PLATE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 10, 2020, IN PLATE BOOK 2020C, PAGE 29 AS DOCUMENT NO. 2020022473.

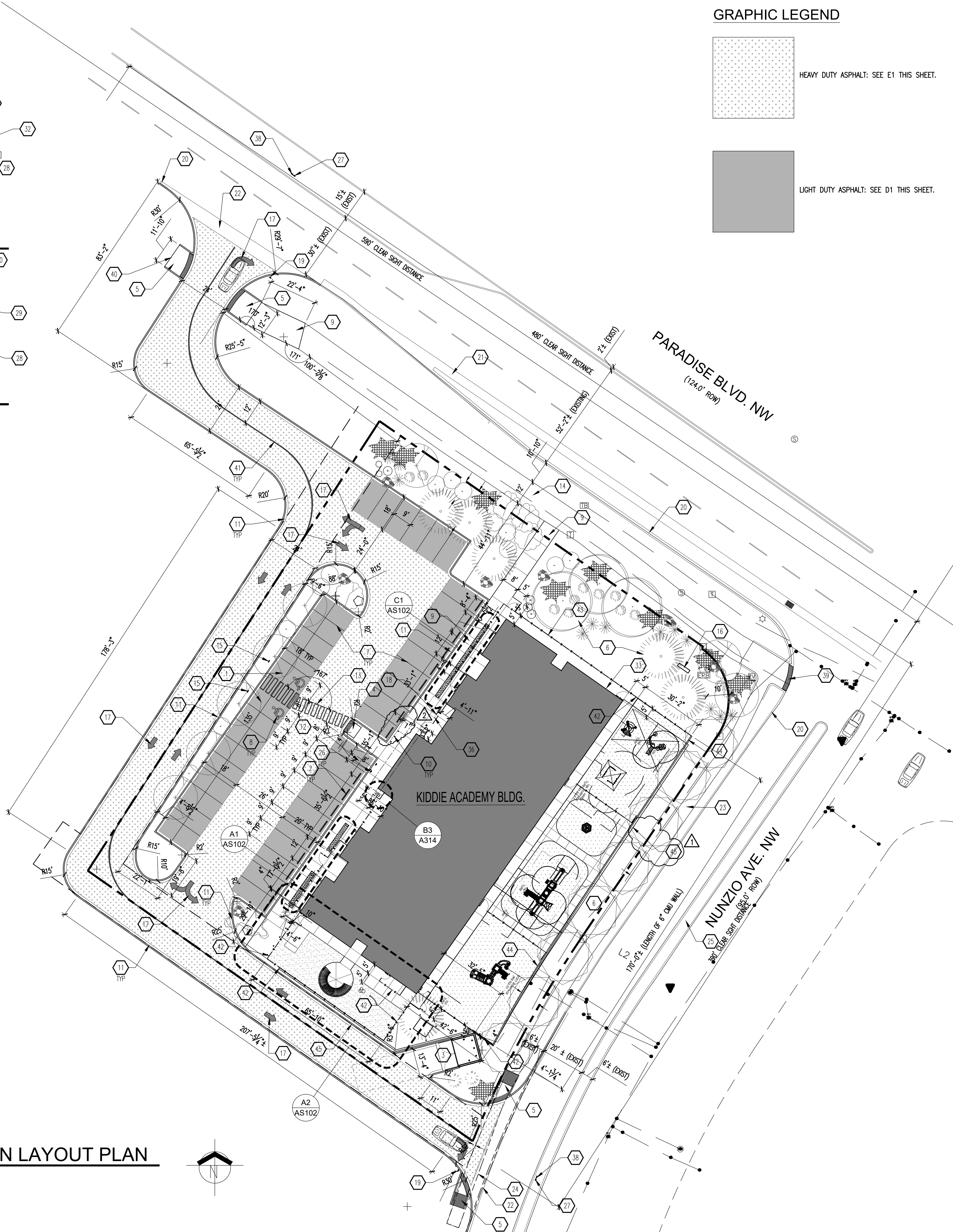
GENERAL NOTES

- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

KEYED NOTES

- ACCESSIBLE PARKING: SEE 2/A1.2 AND 3/A1.2.
- WHEEL STOP: SEE 4/A1.2.
- AREA OF REFUSE: SEE 4/A1.3.
- CURBED RAMP: SEE 16/A1.1.
- END ISLAND WITH WALKWAY RAMP: SEE 5/A1.1.
- PROPOSED LANDSCAPING: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
- 4" WHITE PAINTED STRIPPING.
- HANDICAP PAVEMENT MARKING: SEE 1/A1.2.
- CONCRETE SIDE WALK: SEE 7/A1.1.
- BOLLARD: SEE 4/A1.1.
- NEW CONCRETE CURB AND GUTTER: SEE 10/A1.1.
- MOTOR CYCLE PARKING.
- CROSS WALK MARKING: SEE 6/A1.1.
- EXISTING ASPHALT WALKWAY AND RAMP TO REMAIN.
- HANDICAP SIGNAGE: SEE 11/A1.2.
- MONUMENTAL SIGNAGE UNDER A SEPARATE PERMIT.
- PAVEMENT DIRECTIONAL MARKING: SEE 8/A1.2.
- BIKE RACK: SEE 13/A1.2.
- STOP SIGN: SEE 7/A1.2.
- PORTION OF EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING GUTTER TO REMAIN.
- NEW 6" CONCRETE GUTTER: TIE INTO EXISTING CURB AND GUTTER - REFER TO COA STANDARD DRAWING #2420.
- EXISTING CONCRETE SIDEWALK TO REMAIN: 6" WIDE MINIMUM.
- DASHED LINE INDICATES PORTION OF EXISTING CONCRETE CURB AND GUTTER, SIDEWALK TO BE DEMOLISHED TO ACCOMMODATE NEW DRIVEWAY. CONTRACTOR TO COORDINATE IN FIELD FOR EXACT AMOUNT TO BE DEMOLISHED TO ACHIEVE DESIGN INTENT.
- EXISTING CENTER MEDIAN TO REMAIN.
- MOTOR CYCLE PARKING SIGNAGE: SEE 12/A1.2.
- "RIGHT TURN ONLY" SIGNAGE: FOLLOW COA STANDARD DRAWING #2802-R3-2.
- 10" COMPACTED SUBGRADE @ 95% WITH R-VALUE OF 50.
- 6" BASE COURSE.
- 2" ASPHALT CONCRETE PAVEMENT.
- 3" ASPHALT CONCRETE PAVEMENT.
- 4" BASE COURSE.
- BUILDING ADDRESS: PROVIDE A 10" HIGH BY 2" WIDE BRUSH STROKE WITH CONTRASTING BACKGROUND.
- EXISTING CONCRETE RAMP TO REMAIN.
- NEW 24" WIDE TRUNCATED DOME: SAFETY YELLOW IN COLOR.
- DASHED LINE INDICATES A 2' CLEARANCE AROUND BIKE RACK.
- EXISTING ASPHALT PAVEMENT MARKING TO REMAIN.
- "ONE WAY" SIGNAGE: FOLLOW COA STANDARD DRAWING #2802-R6-1(R).
- INSTALL ADA APPROVED 2" WIDE TRUNCATED DOME STRIP.
- PROVIDE A BACK SLOPE OF 4:1 TO THE EDGE OF RAMP TO EXISTING SURFACE ON THE WEST END OF ENTRANCE.
- CENTERLINE STRIPPING: 4" WIDE PAVEMENT MARKING, YELLOW IN COLOR.
- 5'-0" HIGH PERIMETER FENCING: SEE C3/A503.
- 4'-0" HIGH PERIMETER FENCING: SEE C3/A503.
- 5'-0" HIGH 6" SPLIT-FACE CMU PERIMETER WALL: SEE RETAINING WALL DESIGN.
- RETAINING WALL: APPROXIMATELY 392 LINEAR FEET, RANGING FROM 12" IN HEIGHT TO 48" IN HEIGHT, WITH THE MAJORITY OF THE RETAINING WALL BEING AT 48" IN HEIGHT.

A1 TRAFFIC CIRCULATION LAYOUT PLAN
SCALE: 1:25



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
10 JUL 2020

PROJECT TITLE KIDDIE ACADEMY WESTSIDE 4590 Paradise Blvd. Albuquerque, New Mexico 87004	DRAWN BY: DTN
PROJECT MANAGER DEWEN NOTEN	JOB NO. Kiddie Academy I
SHEET TITLE ARCHITECTURAL SITE PLAN	SHEET NO. AS101
DATE 24 Jun 2020	SCALE AS NOTED

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	6486.09'	55.41'	55.40'	S55°20'55"E	0°29'22"	27.70'
	(6486.09')	(55.42')	(55.42')	(S55°21'16"E)		
C2	29.00'	45.07'	40.67'	S10°34'42"E	89°03'03"	28.52'
	(30.10')	(46.73')	(42.17)	(S10°33'18"E)		
C3	525.33'	167.18'	166.48'	S24°49'48"W	18°14'03"	84.31'
	(517.80')	(166.41')	(165.70')	(S24°49'48"E)		
C4	525.33'	106.91'	106.73'	S28°07'00"W	11°39'37"	53.64'
C5	525.33'	60.27'	60.24'	S18°59'59"W	06°34'25"	30.17'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S34°53'46"W	1.00'
L2	S60°54'31"E	47.02'
L3	S87°29'20"E	57.36'

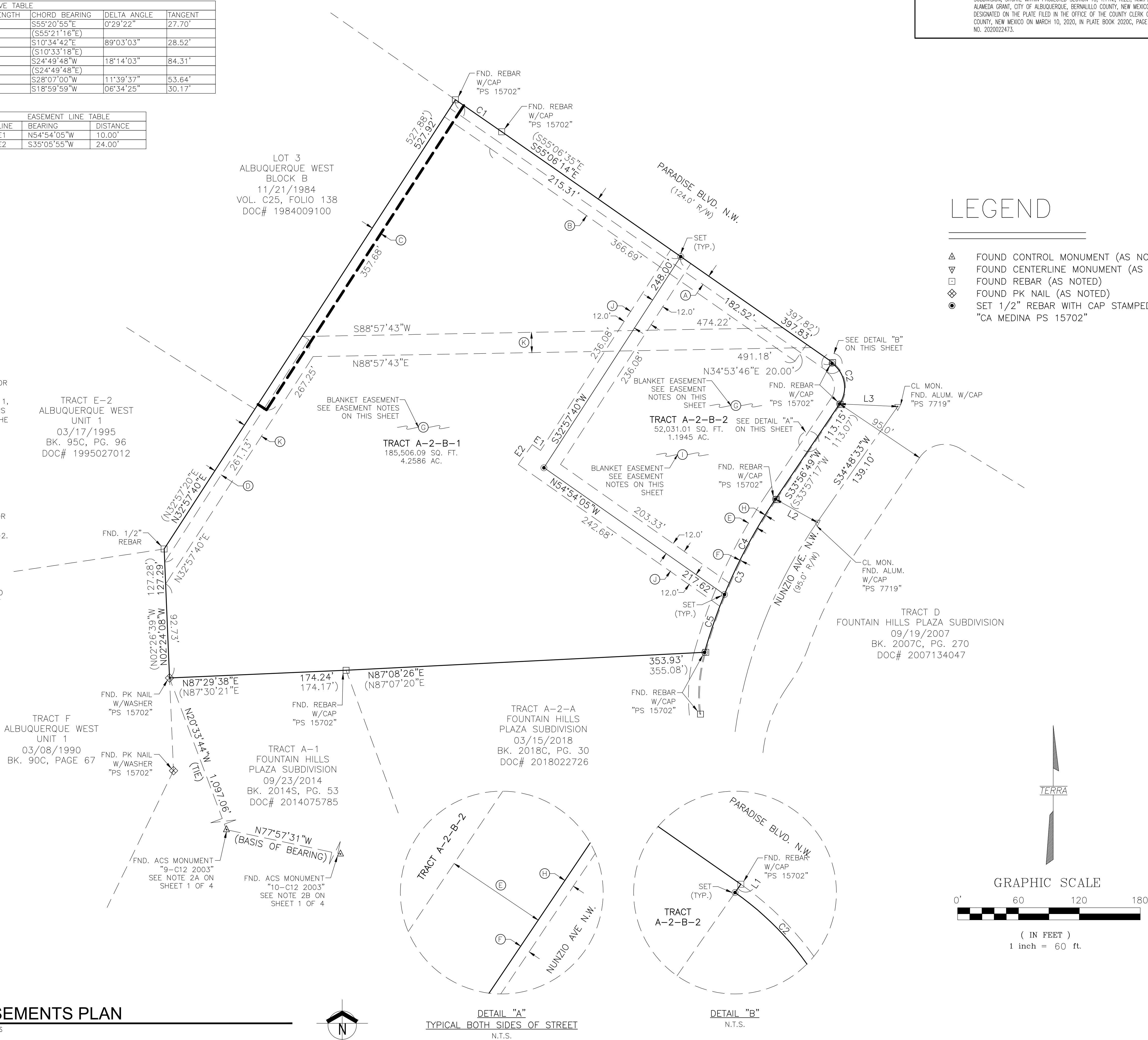
EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E1	N54°54'05"W	10.00'
E2	S35°05'55"W	24.00'

EASEMENT NOTES:

- (A) 10.0' PUBLIC UTILITY EASEMENT
03/08/1990, BK. 90C, PG. 67
- (B) 20.0' SANITARY SEWER EASEMENT
02/02/1999, BK. 9903, PG. 5221
- (C) 10.0' DRAINAGE EASEMENT
03/08/1990, BK. 90C, PG. 67
- (D) 7.41' SANITARY SEWER EASEMENT
03/08/1990, BK. 90C, PG. 67
- (E) 10.0' PUBLIC UTILITY EASEMENT
09/19/2007, BK. 2007C, PG. 270
- (F) 1.0' PUBLIC ROADWAY EASEMENT
09/19/2007, BK. 2007C, PG. 270
- (G) A BLANKET DRAINAGE FOR TRACT A-2-B FOR THE BENEFIT OF LOT 3, BLOCK D, ALBUQUERQUE WEST AND TRACT E-2, UNIT 1, ALBUQUERQUE WEST. THE PROPERTY OWNERS OF SAID PARCELS ARE RESPONSIBLE FOR THE MAINTENANCE OF THE EASEMENT
03/15/2018, BK. 2018C, PG. 30
DOC# 2018022726
- (H) 1.0' RIGHT-OF-WAY
03/15/2018, BK. 2018C, PG. 30
DOC# 2018022726
- (I) A BLANKET DRAINAGE EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT FOR THE BENEFIT OF TRACT A-2-B-1, TO BE MAINTAINED BY OWNER'S OF TRACT A-2-B-2.
- (J) 24.0' PRIVATE ACCESS AND PRIVATE UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- (K) 20.0' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

RECORD DOCUMENT LEGEND

- () RECORD BEARINGS & DISTANCES PER PLAT
"PLAT OF TRACTS A-2-A & A-2-B
FOUNTAIN HILLS SUBDIVISION"
FILED: 03/15/2018, BK. 2018C, PG. 30
DOC# 2018022726



LEGAL DESCRIPTION: TRACT A-2-B-2 OF THE PLATE OF TRACTS A-2-B-1 & A-2-B-2, FOUNTAIN HILLS PLAZA SUBDIVISION, SITUATE WITHIN PROJECTED SECTION 13, T.11N., R.2E., N.M.P.M., CITY, TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN AND DESIGNATED ON THE PLATE FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 10, 2020, IN PLATE BOOK 2020C, PAGE 29 AS DOCUMENT NO. 2020022473.

MODULUS ARCHITECTS
100 SUN AVENUE N.E., Ste 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
31.03.2020

PROJECT TITLE
KIDDIE ACADEMY WESTSIDE
4500 Paradise Blvd
Albuquerque, New Mexico 87004

DRAWN BY:
DJA

JOB NO.
Kiddie Academy I

PROJECT MANAGER
DEAN NGUYEN

SHEET TITLE
TRAFFIC CIRCULATION LAYOUT

DATE:
11 Mar 2020

SCALE:
AS NOTED

sheet:
TCL

of:



To whom it may concern
Planning Department – Transportation & Hydrology
City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

15 October 2021

RE: Traffic Certification for Kiddie Academy - Westside (City of Albuquerque Project # BP-2020-30993)

To whom it may concern:

I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the Site Plan for Building Permit dated 27th March 2019. I further certify that Devin Nguyen, Project Manager at Modulus Architects, personally visited the site on 11th October 2021 and has determined by visual inspection that the work installed to date are representative of actual site conditions and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,



Stephen Dunbar, AIA
Principal in Charge
Modulus Architects, Inc.
110 Sun Avenue NE, Suite 600
Albuquerque, NM 87109 (O) 505.338.1499, Ext. 1007