



September 20, 2019

Dennis Lorenz
Construction enterprises
6421 thunderbirds Ct NW
Albuquerque, NM 87120

**Re: Sprinstone parking
Davenport st NW
Traffic Circulation Layout**
Engineer's/Architect's Stamp 09-18-2019 (C12D003B2)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 09-18-2019, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
2. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
3. Bicycle racks shall be sturdy and anchored to a concrete pad.
4. A 1-foot clear zone around the bicycle parking stall shall be provided.
5. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
6. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

7. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; **provide a copy of refuse approval.**
8. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
9. Show the clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."

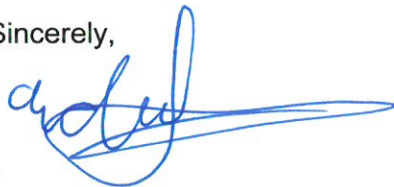
Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

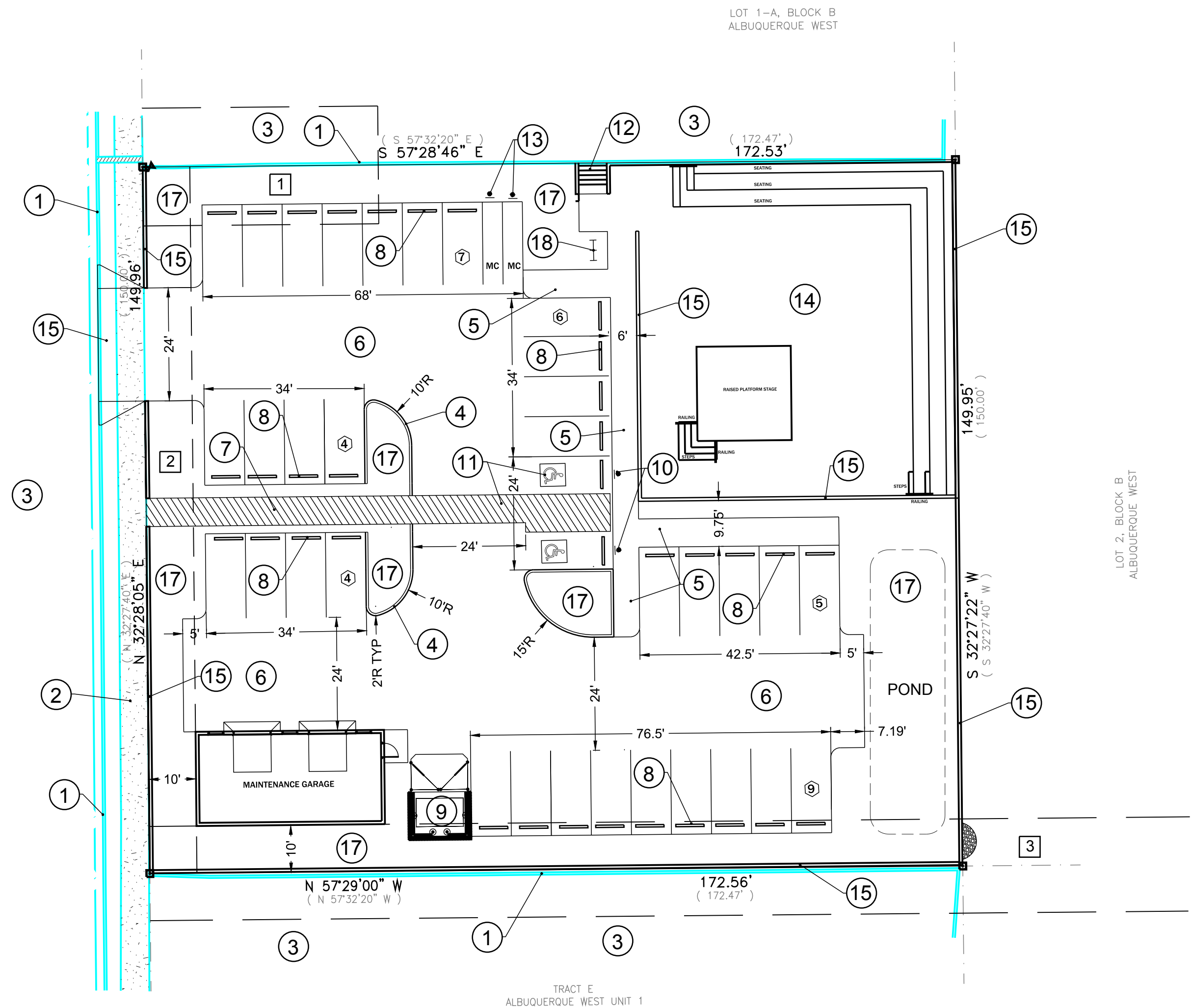
If you have any questions, please contact me at (505) 924-3675.

Sincerely,



Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



SITE INFORMATION

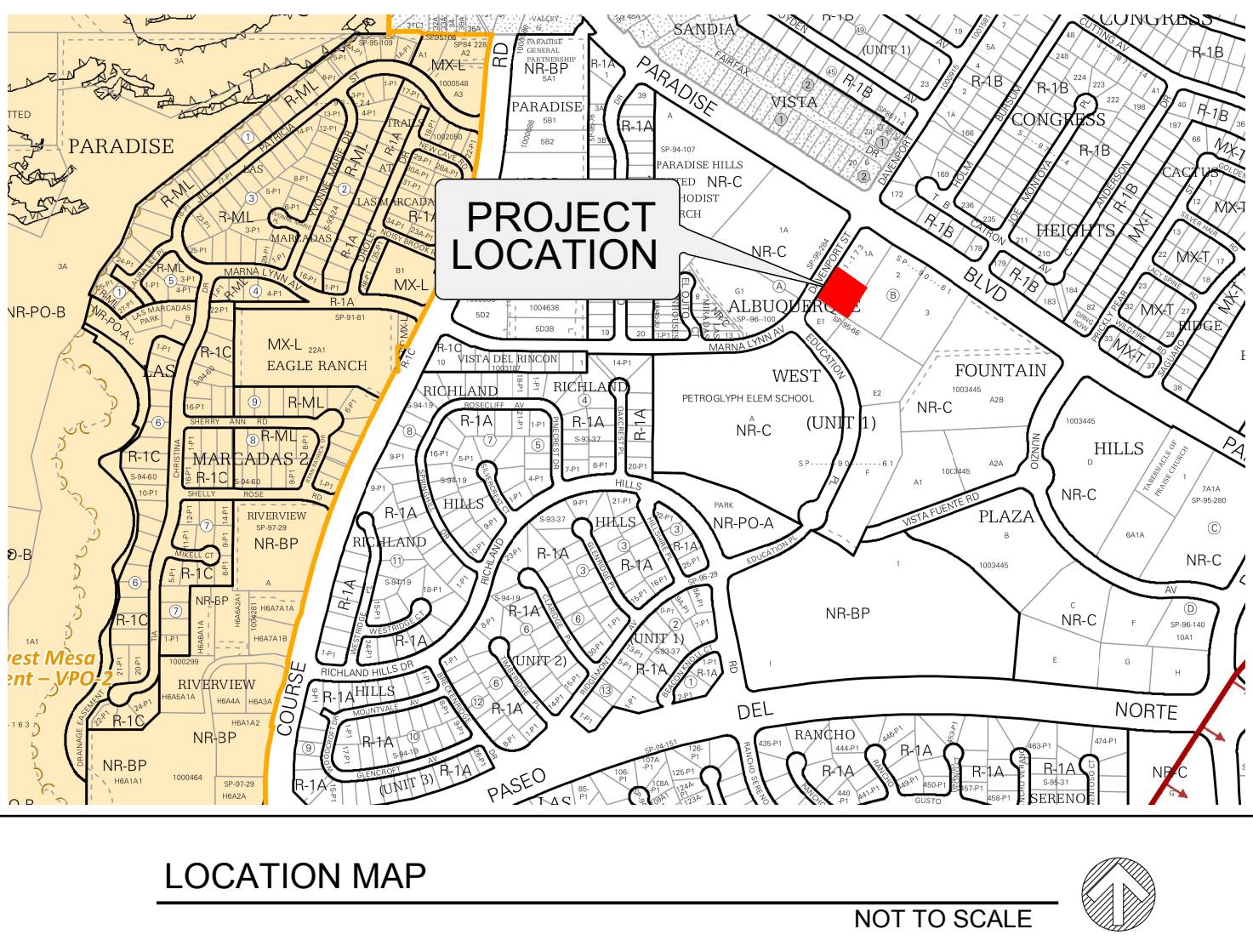
PROPERTY ADDRESS:	DAVENPORT STREET NW ALBUQUERQUE, NEW MEXICO 87120
LEGAL DESCRIPTION:	LOT 1B, BLOCK B, ALBUQUERQUE WEST
ZONING:	NR-C
SITE AREA:	0.5939 ACRES (25,870 SF)
BUILDING AREA:	GARAGE 684 SF AMPHATHEATER 4,620 SF TOTAL BUILDING AREA 5,304 SF
LANDSCAPING REQUIRED:	15% NET SITE AREA = (25,870 SF - 5,304 SF) X 0.15 = 3,085 SF
LANDSCAPING PROVIDED:	5,800 SF
LANDSCAPE BUFFERS:	FRONT 5' REAR 6' SIDEYARDS 6'

PARKING CALCULATIONS

OCCUPANY TYPE	AREA (sf)	PARKING REQUIRED	SPACES REQUIRED
GARAGE	684	NONE	0
AMPHATHEATER	4,620	1 SPACE PER 4 SEATS	32
PARKING SPACES REQUIRED:			32
PARKING SPACES PROVIDED:			35
HANDICAP SPACES REQUIRED:			2
HANDICAP SPACES PROVIDED:			2
ALL REGULAR SPACES ARE 8.5' X 18'			
MOTORCYCLE SPACES REQUIRED:			2
MOTORCYCLE SPACES PROVIDED:			2
BICYCLE SPACES REQUIRED:			3
BICYCLE SPACES PROVIDED:			3

EASEMENTS

- PRIVATE COMMOM ACCESS & DRAINAGE EASEMENT.
- 10' PUBLIC UTILITY EASEMENT.
- 20' PRIVATE DRAINAGE AND PUBLIC UTILITY EASEMENT.



LEGEND		
ITEM	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT	---	---
CENTERLINE	---	---
RETAINING WALL	R/R	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
STORM DRAIN	SD	SD
CUT SLOPE	---	---
PARKING COUNT	---	11
LIGHT POLE AND FIXTURE	---	---
CONCRETE	---	---

KEYED NOTES

- EXISTING CONCRETE CURB AND GUTTER.
- EXISTING 6" PUBLIC SIDEWALK.
- EXISTING ASPHALT PAVEMENT.
- CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL B/C.3.
- CONSTRUCT 6" CONCRETE SIDEWALK.
- CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL A/C.3.
- CONSTRUCT 6" ASPHALT PEDESTRIAN ACCESS.
- INSTALL CONCRETE TIRE STOPS.
- CONSTRUCT NEW REFUSE ENCLOSURE. SEE DETAIL D/C.3.
- CONSTRUCT ADA ACCESSIBLE PARKING SIGN ASSEMBLY. SEE DETAIL C/C.3.
- CONSTRUCT HANDICAP STRIPING PER CODE.
- CONSTRUCT MOTOR CYCLE PARKING SIGN. SEE DETAIL E/C.3.
- CONSTRUCT ACCESS STAIRS. SEE ARCHITECTURAL PLAN.
- CONSTRUCT AMPHITHEATER AND SEATING. SEE ARCHITECTURAL PLAN.
- CONSTRUCT 42 INCH CMU SCREEN WALL. SEE DETAIL F/C.3.
- CONSTRUCT 24" CONCRETE DRIVEPAD. SEE COA STANDARD DRAWING 2425.
- NEW LANDSCAPING. SEE LANDSCAPE PLAN.
- INSTALL NEW BICYCLE RACK - 3 SPACES MINIMUM.

SPRINGSTONE PARKING LOT AND GARAGE TRAFFIC CIRCULATION PLAN



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DRAWN BY: DAL	DATE: September 2019
CHECKED BY: DAL	
FILE: 19-018	C.1