

CITY OF ALBUQUERQUE



October 22, 2019

Dennis Lorenz
Construction enterprises
6421 thunderbirds Ct NW
Albuquerque, NM 87120

Re: Sprinstone parking
9010 Davenport st. NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 09-18-2019 (C12D003B2)

Dear Mr. Lorenz,

The TCL submittal received 10-18-2019 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\\MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: SPRINGSTONE Building Permit #: — Hydrology File #: C12-D003B2

DRB#: — EPC#: — Work Order#: —

Legal Description: LOT 13, BLK 13, ALBUQUERQUE WEST

City Address: 9010 DAVENPORT ST NW

Applicant: DENNIS LORENZ Contact: D. LORENZ

Address: 2501 RIO GRANDE NW STE A, ABQ NM 87104

Phone#: 220.0869 Fax#: — E-mail: —

Other Contact: CONSTRUCTION ENTERPRISES Contact: R. FRANKS

Address: 6421 THUNDERBIRD CT NW, ABQ, NM 87120

Phone#: 220.6255 Fax#: — E-mail: CEISWH@aol.com

TYPE OF DEVELOPMENT: — PLAT (# of lots) — RESIDENCE — DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes — No

DEPARTMENT X TRANSPORTATION — HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

— ENGINEER/ARCHITECT CERTIFICATION

— PAD CERTIFICATION

— CONCEPTUAL G & D PLAN

— GRADING PLAN

— DRAINAGE REPORT

— DRAINAGE MASTER PLAN

— FLOODPLAIN DEVELOPMENT PERMIT APPLIC

— ELEVATION CERTIFICATE

— CLOMR/LOMR

X TRAFFIC CIRCULATION LAYOUT (TCL)

— TRAFFIC IMPACT STUDY (TIS)

— STREET LIGHT LAYOUT

— OTHER (SPECIFY) —

— PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL

— CERTIFICATE OF OCCUPANCY

— PRELIMINARY PLAT APPROVAL

— SITE PLAN FOR SUB'D APPROVAL

— SITE PLAN FOR BLDG. PERMIT APPROVAL

— FINAL PLAT APPROVAL

— SIA/ RELEASE OF FINANCIAL GUARANTEE

— FOUNDATION PERMIT APPROVAL

— GRADING PERMIT APPROVAL

— SO-19 APPROVAL

— PAVING PERMIT APPROVAL

— GRADING/ PAD CERTIFICATION

— WORK ORDER APPROVAL

— CLOMR/LOMR

— FLOODPLAIN DEVELOPMENT PERMIT

— OTHER (SPECIFY) —

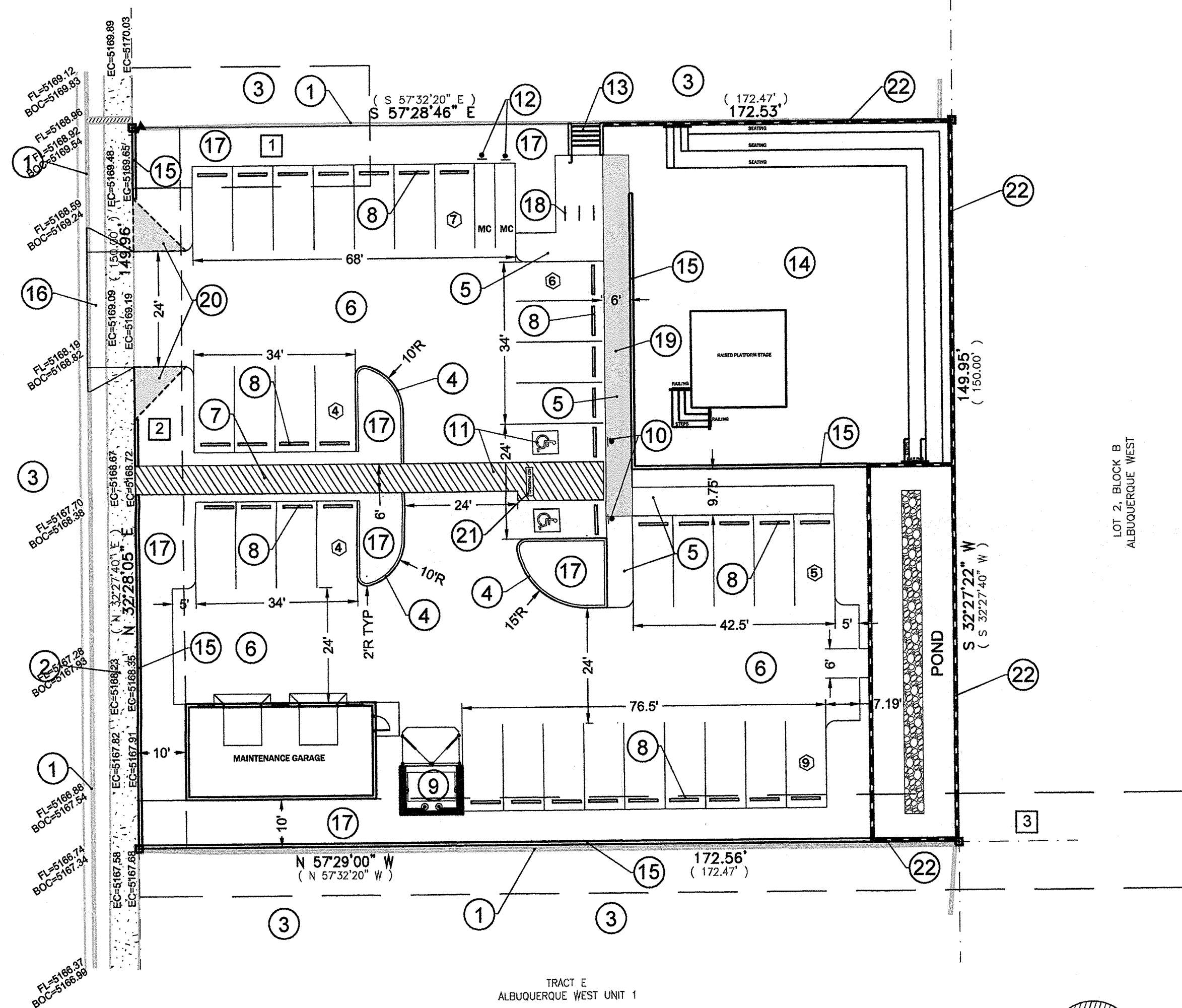
DATE SUBMITTED: 10.18.19 By: DENNIS LORENZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: —

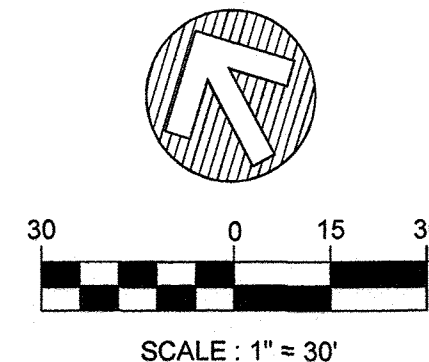
FEE PAID: —

DAVENPORT STREET N.W.
60' RIGHT-OF-WAY
40' F-F



TRACT E
ALBUQUERQUE WEST UNIT 1

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 10-17-19



TRAFFIC CIRCULATION LAYOUT APPROVED

[Signature] 10/21/19
Signed Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

SITE INFORMATION

PROPERTY ADDRESS: 9010 DAVENPORT STREET NW
ALBUQUERQUE, NEW MEXICO 87120

LEGAL DESCRIPTION: LOT 1B, BLOCK B, ALBUQUERQUE WEST

ZONING: NR-C

SITE AREA: 0.5939 ACRES (25,870 SF)

BUILDING AREA: GARAGE 684 SF
AMPHATHEATER 4,620 SF
TOTAL BUILDING AREA 5,304 SF

LANDSCAPING REQUIRED: 15% NET SITE AREA = (25,870 SF - 5,304 SF) X 0.15 = 3,085 SF

LANDSCAPING PROVIDED: 5,800 SF

LANDSCAPE BUFFERS: FRONT 5'
REAR 6'
SIDEYARDS 6'

PARKING CALCULATIONS

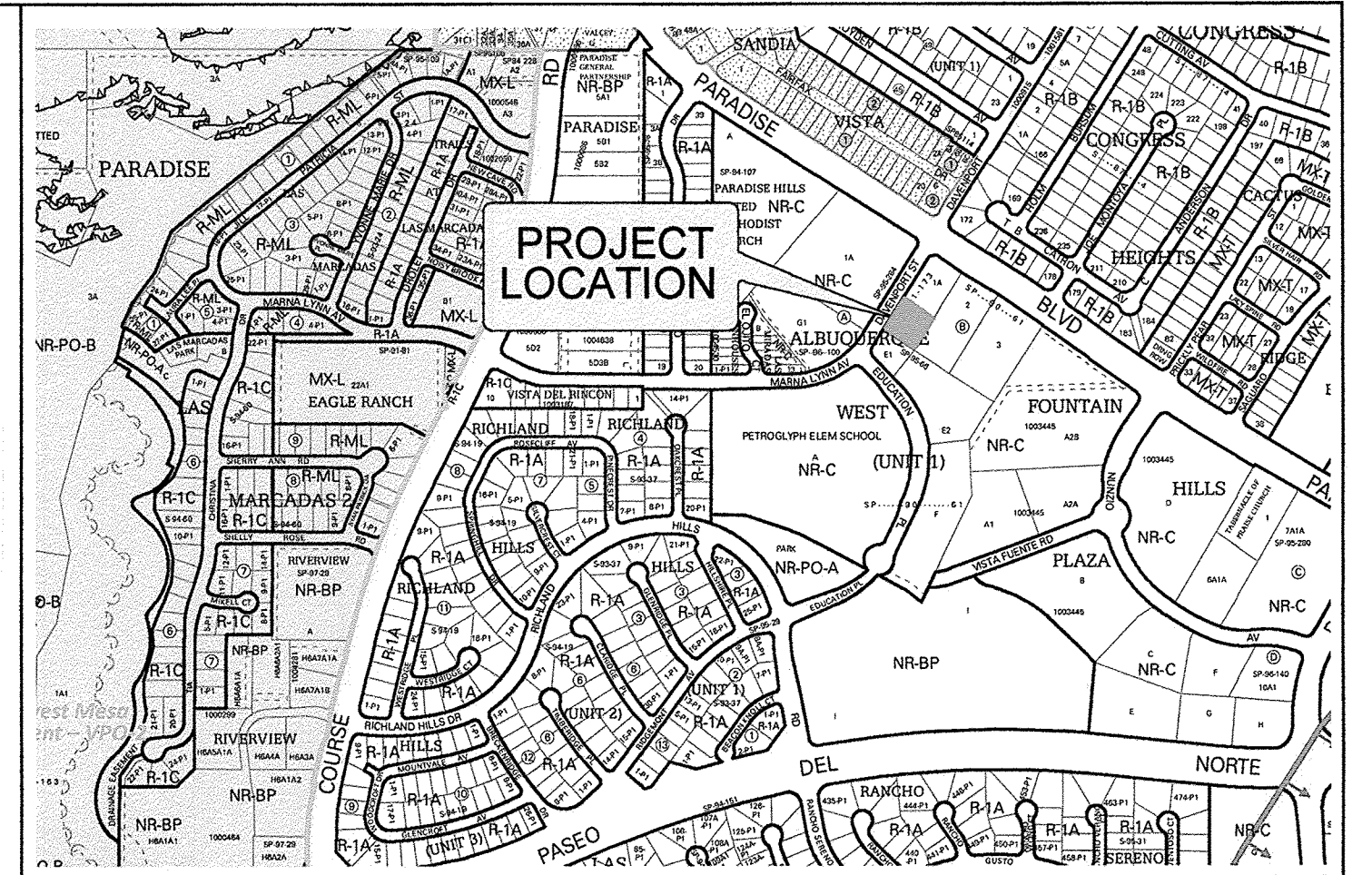
OCCUPANY TYPE	AREA (sf)	PARKING REQUIRED	SPACES REQUIRED
GARAGE	684	NONE	0
AMPHATHEATER	4,620	1 SPACE PER 4 SEATS	32
PARKING SPACES REQUIRED:			32
PARKING SPACES PROVIDED:			35
HANDICAP SPACES REQUIRED:			2
HANDICAP SPACES PROVIDED:			2
ALL REGULAR SPACES ARE 8.5' X 18'			
MOTORCYCLE SPACES REQUIRED:			2
MOTORCYCLE SPACES PROVIDED:			2
BICYCLE SPACES REQUIRED:			3
BICYCLE SPACES PROVIDED:			3

EASEMENTS

1. PRIVATE COMMON ACCESS & DRAINAGE EASEMENT.
2. 10' PUBLIC UTILITY EASEMENT.
3. 20' PRIVATE DRAINAGE AND PUBLIC UTILITY EASEMENT.

GENERAL NOTES

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED
FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



LOCATION MAP

NOT TO SCALE

LEGEND

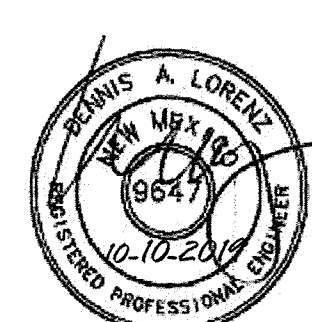
ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
RETAINING WALL	---	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
PARKING COUNT		11
LIGHT POLE AND FIXTURE		11
CONCRETE		

KEYED NOTES

1. EXISTING CONCRETE CURB AND GUTTER.
2. EXISTING 6" PUBLIC SIDEWALK.
3. EXISTING ASPHALT PAVEMENT.
4. CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL B/C.3.
5. CONSTRUCT 6" CONCRETE SIDEWALK.
6. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL A/C.3.
7. CONSTRUCT 6" ASPHALT PEDESTRIAN ACCESS.
8. INSTALL CONCRETE TIRE STOPS.
9. CONSTRUCT NEW REFUSE ENCLOSURE. SEE DETAIL E/C.3.
10. CONSTRUCT ADA ACCESSIBLE PARKING SIGN ASSEMBLY. SEE DETAIL C/C.3.
11. CONSTRUCT HANDICAP STRIPING PER CODE.
12. CONSTRUCT MOTOR CYCLE PARKING SIGN. SEE DETAIL D/C.3.
13. CONSTRUCT ACCESS STAIRS. SEE ARCHITECTURAL PLAN.
14. CONSTRUCT AMPHITHEATER AND SEATING. SEE ARCHITECTURAL PLAN.
15. CONSTRUCT 42 INCH CMU SCREEN WALL. SEE DETAIL K/C.3.
16. CONSTRUCT 24" CONCRETE DRIVEPAD. SEE COA STANDARD DRAWING 2425.
17. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
18. INSTALL NEW BICYCLE RACK - 3 SPACES MINIMUM. SEE DETAILS F&G/C.3.
19. 6" WIDE ADA PEDESTRIAN PATHWAY TO PAVILION.
20. 11' X 11' CLEAR SIGHT TRIANGLE. SEE GENERAL NOTE 1.
21. STENCIL "NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST 12" HIGH AND 2" WIDE. PLACE AT THE REAR OF THE SPACE TO BE AS CLOSE TO THE ADJACENT VEHICLE'S REAR TIRE POSITION.
22. CONSTRUCT CMU RETAINING WALL. SEE DETAIL J/C.4.

SOLID WASTE APPROVAL

SPRINGSTONE PARKING LOT AND GARAGE TRAFFIC CIRCULATION PLAN

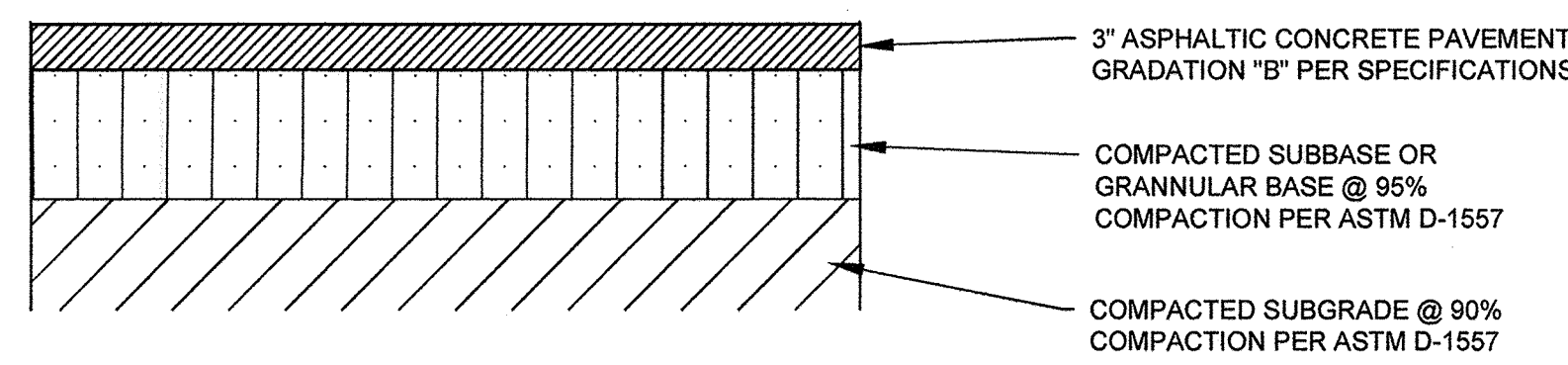


LORENZ
ENGINEERING & CONSULTING, LLC
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2501 Rio Grande Blvd NW, Suite A
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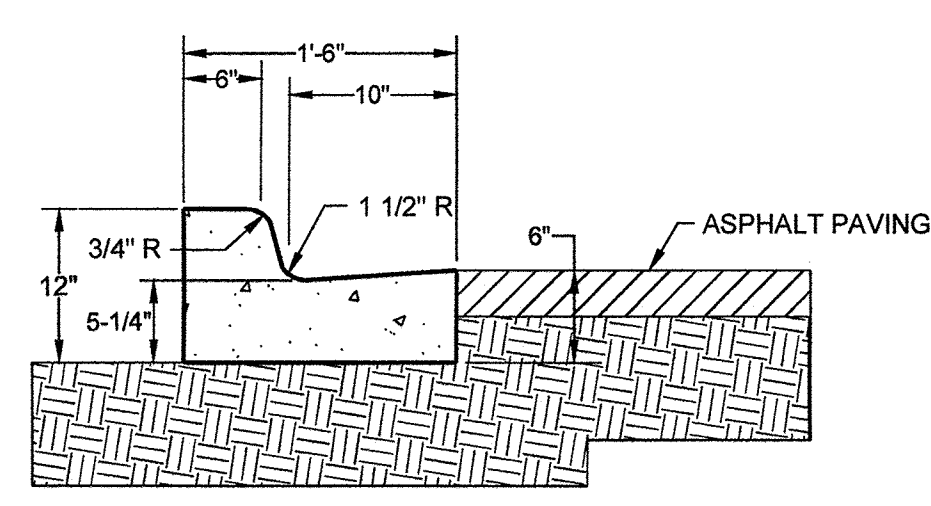
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CHECKED BY: DAL
FILE: 19-018

DATE: September 2019

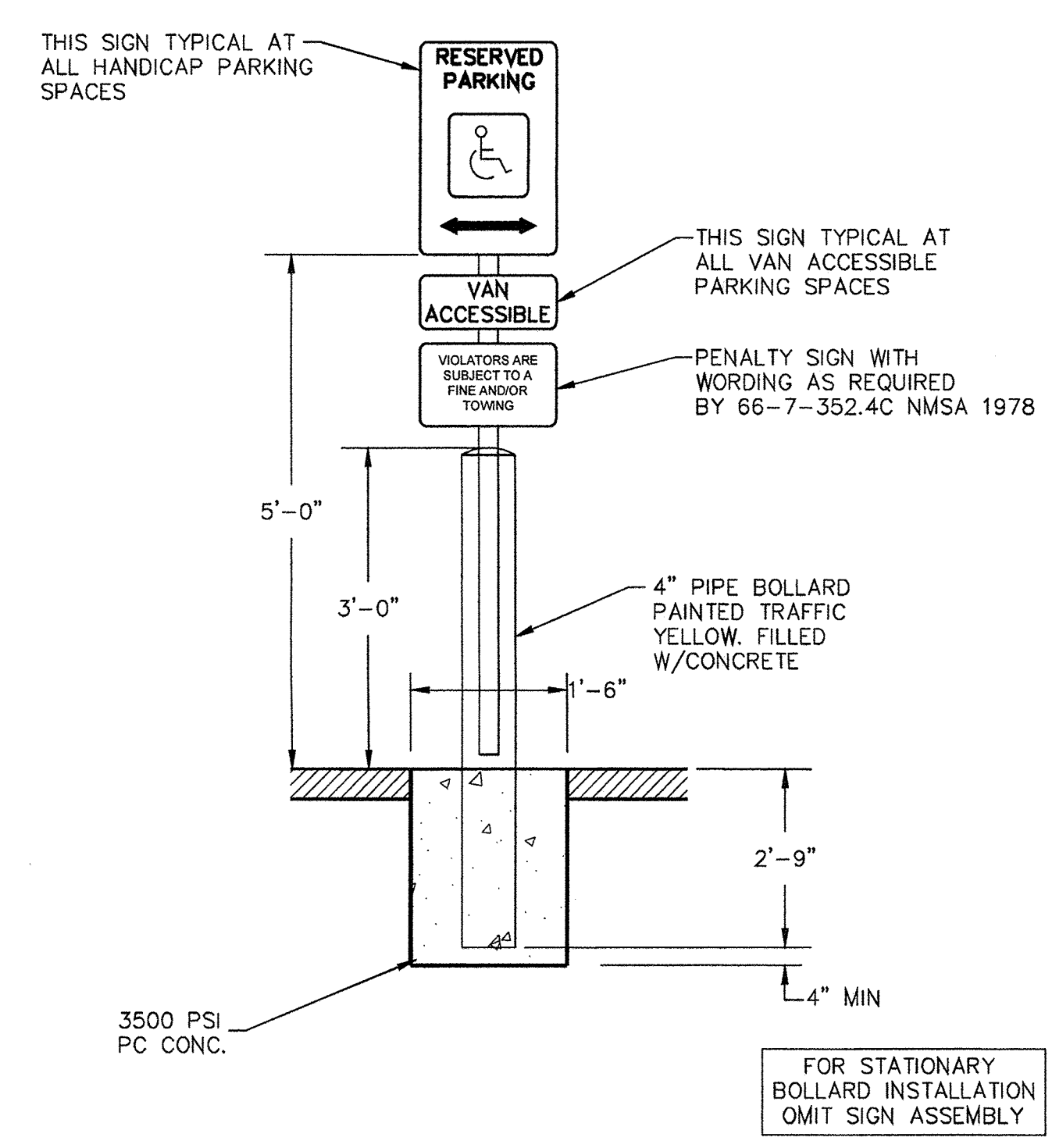
C.1



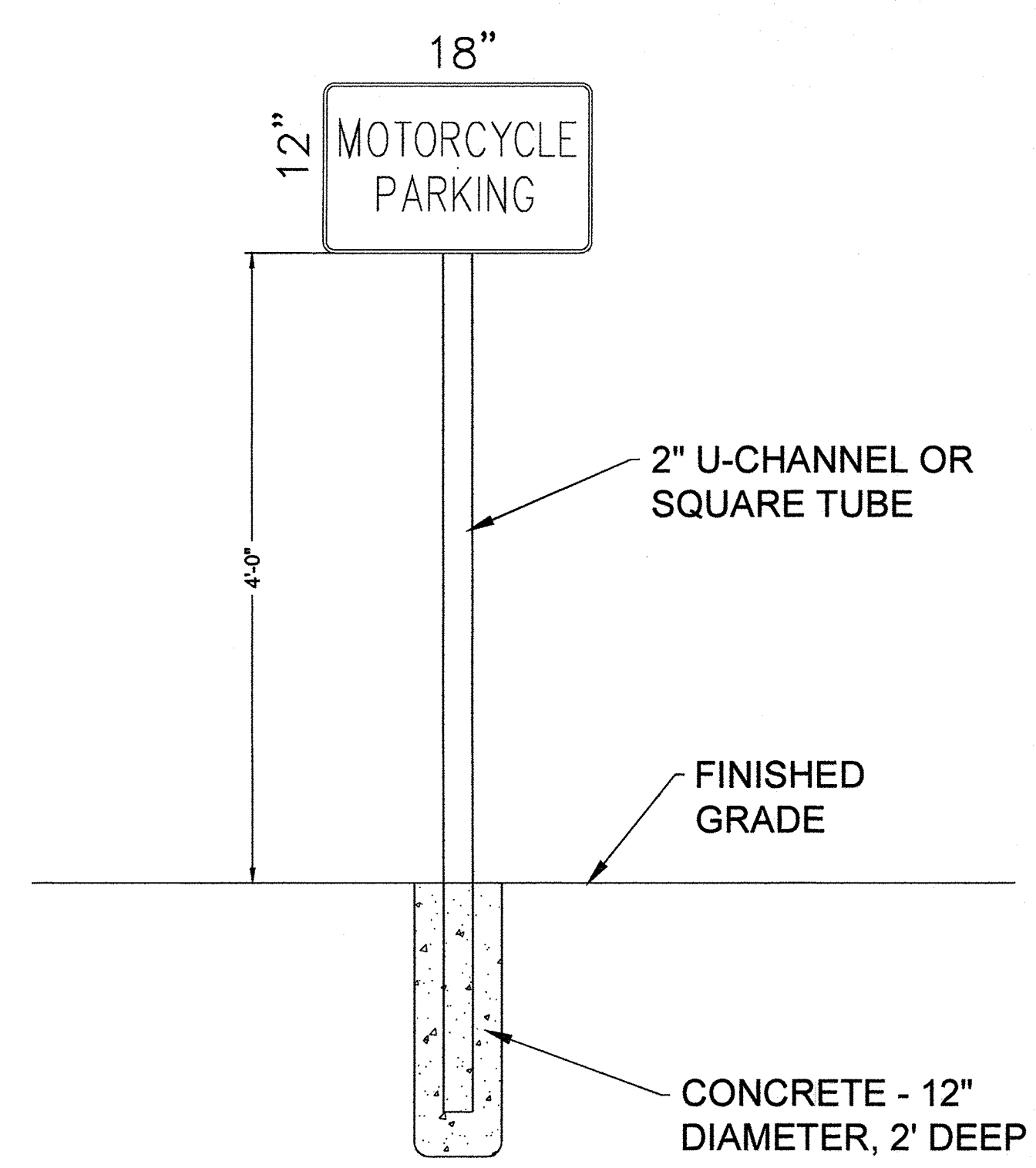
ASPHALT PAVEMENT SECTION
NTS
A
C.3



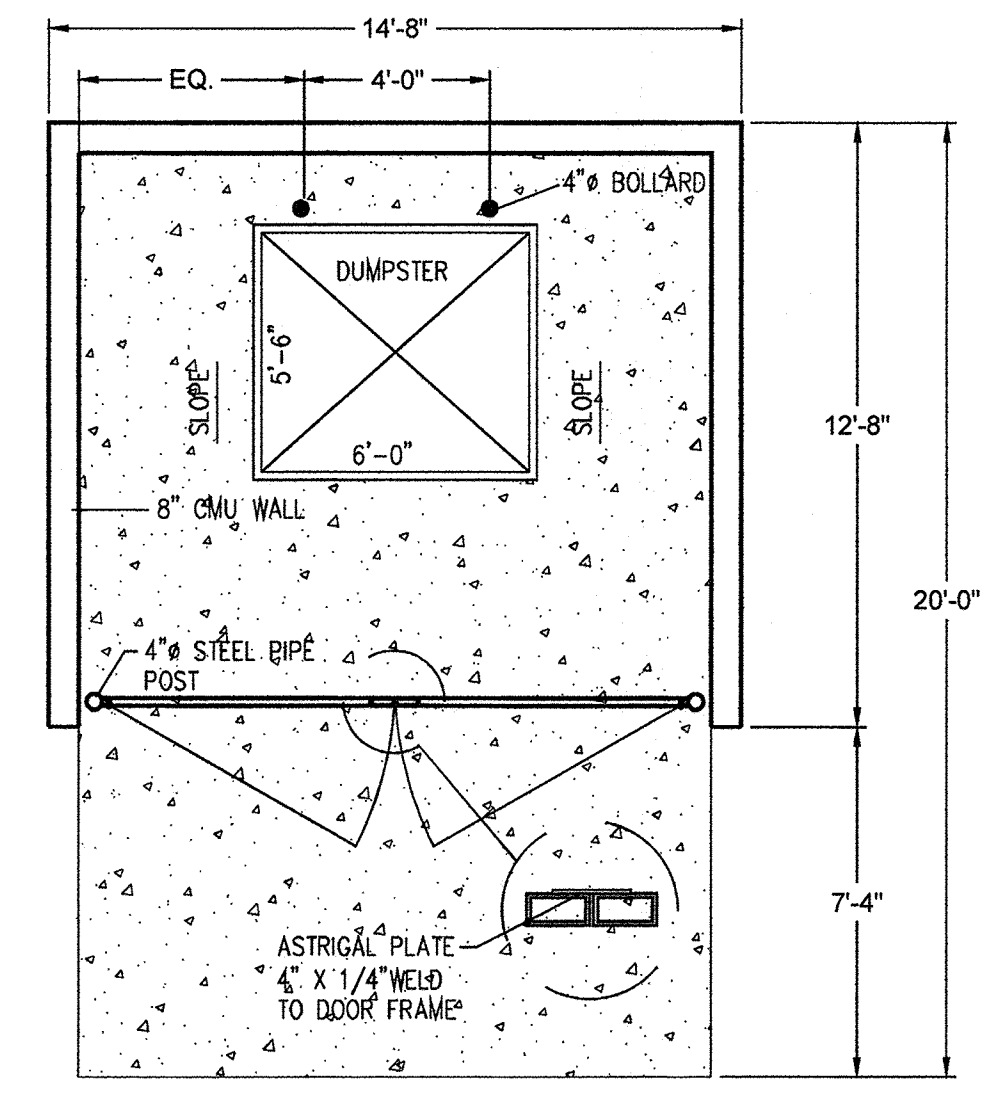
CONCRETE CURB AND GUTTER
NTS
B
C.3



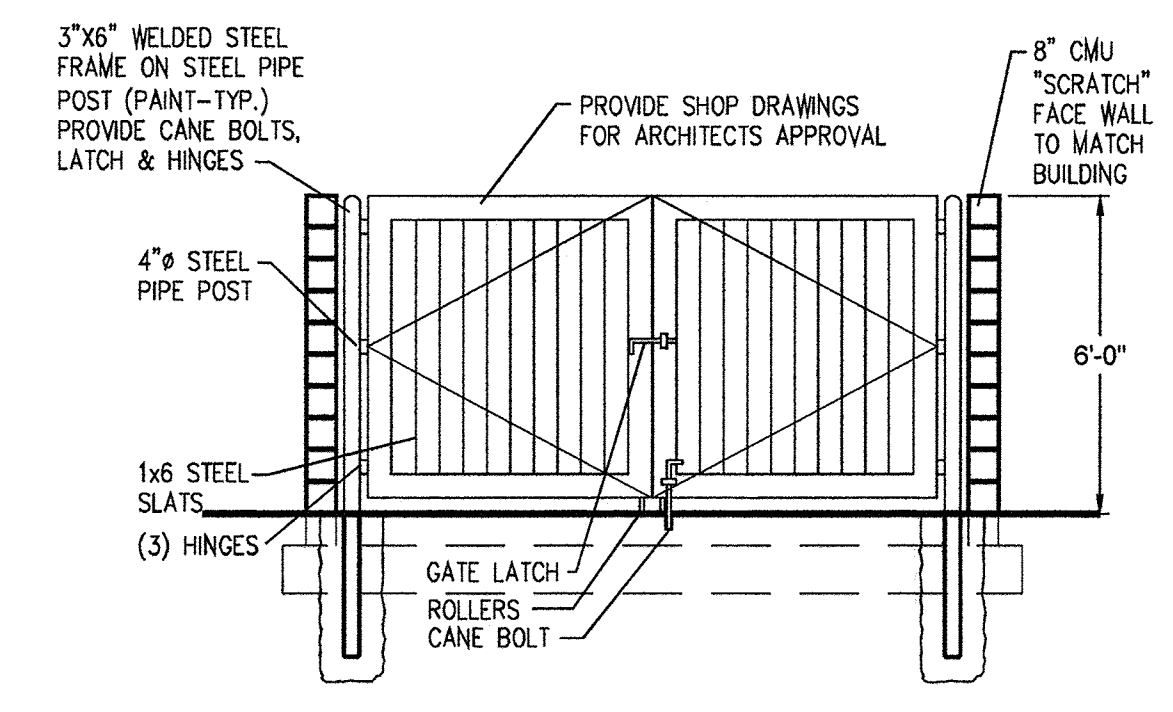
HC SIGN ASSEMBLY / BOLLARD DETAIL
NTS
C
C.3



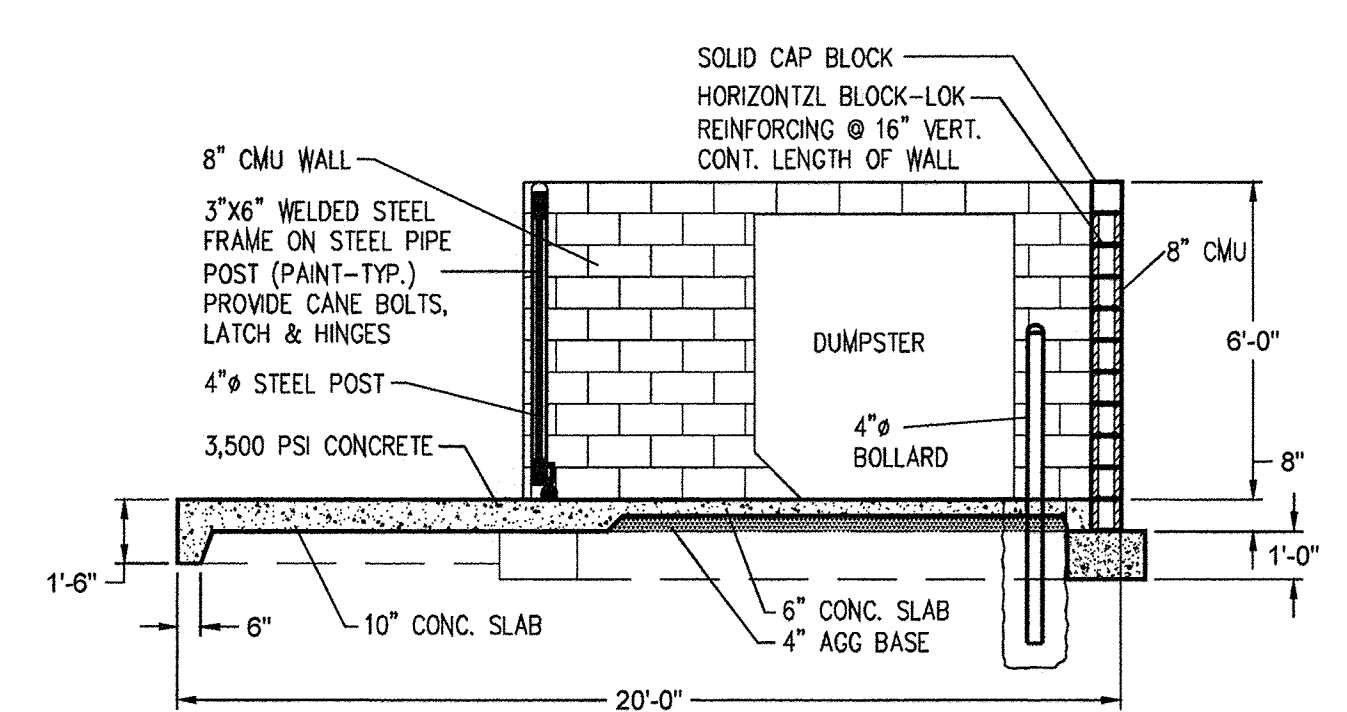
MOTORCYCLE SIGN DETAIL
NTS
D
C.3



DUMPSTER PLAN

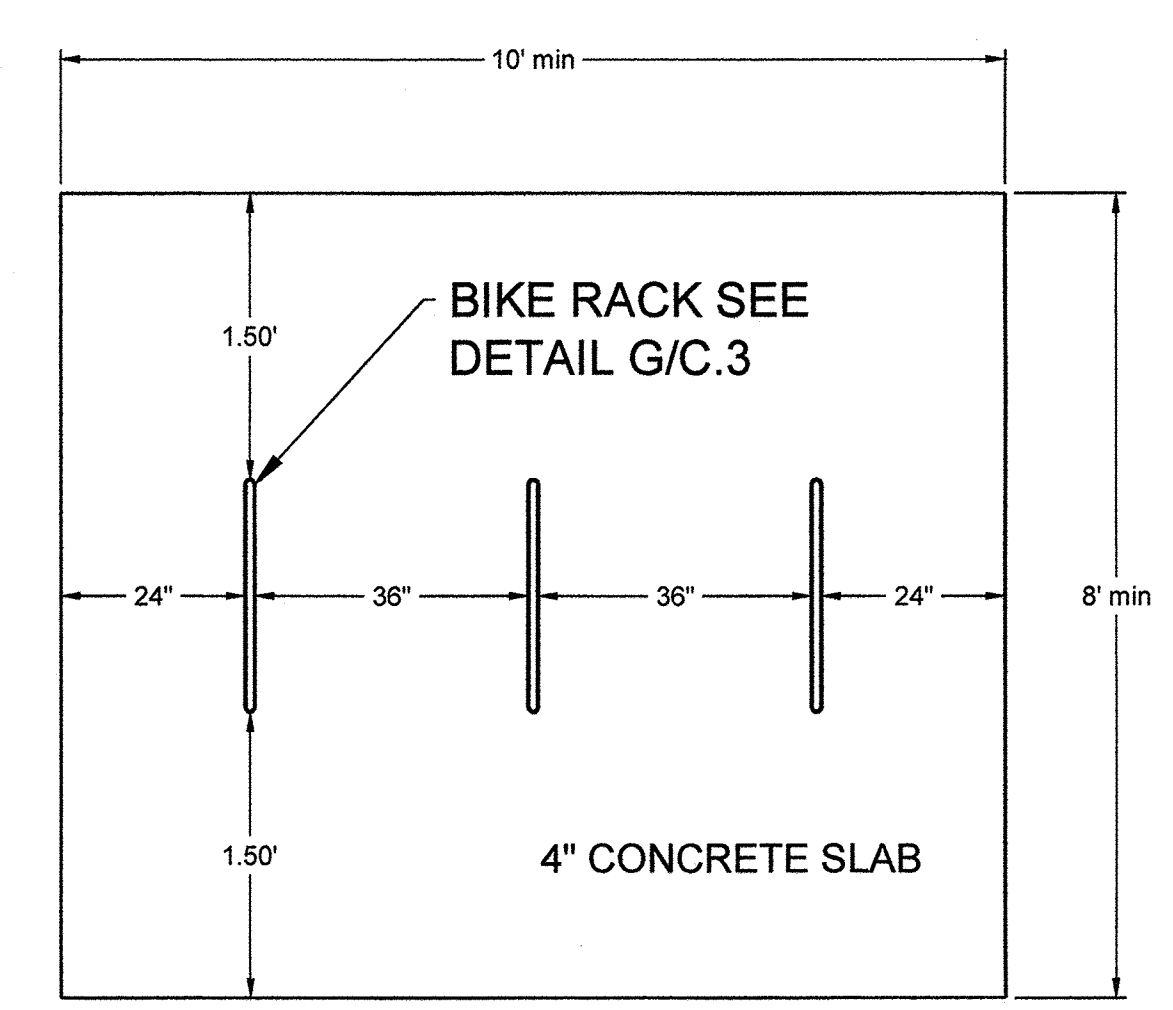


GATE ELEVATION

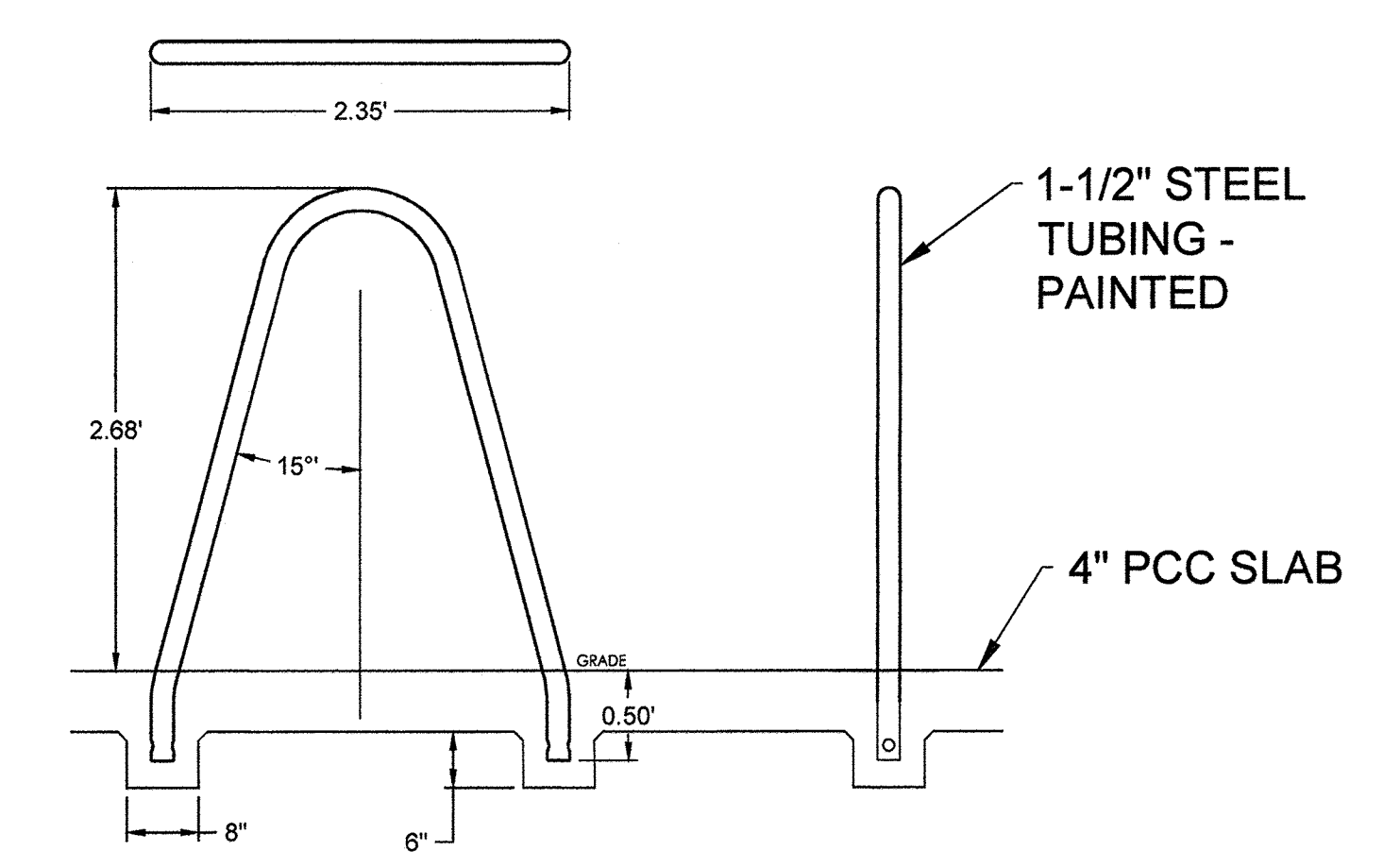


DUMPSTER PAD SECTION

REFUSE ENCLOSURE DETAILS
NTS
E
C.3



BIKE RACK - PLAN
NTS
F
C.3



BIKE RACK - EMBEDDED
NTS
G
C.3

SPRINGSTONE PARKING LOT AND GARAGE
SITE DETAILS

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