CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

April 11, 2024

Gilbert Aldaz, P.E.
Applied Engineering & Surveying, Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

RE: Las Miradas Townhouses – Lot 10
9012 El Ojito Court NW
Revised Grading and Drainage Plan
Engineer's Stamp Date: 04/01/24
Hydrology File: C12D003B3A

Dear Mr. Aldaz:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 04/03/2024, the Revised Grading & Drainage Plan is approved for Building Permit, and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: LOTS 9 & 10, LAS MIRADAS TOWNHOUSES Hydrology File # C12/D003B3A
Legal Description: LOTS 9 AND 10, LAS MIRADAS TOWNHOUSES
City Address, UPC, OR Parcel: 9012 EL OJITO COURT NW

Applicant/Agent: APPLIED ENGINEERING & SURVEY Contact: GILBERT ALDAZ
Address: 1605 BLAIR DRIVE NE, ALBUQ, NM 87112 Phone: 505-480-8125
Email: galdaz47@yahoo.com

Applicant/Owner: PHP INVESTMENTS LLC Contact: DIANA SANCHEZ
Address: 4500 STEINER RANCH RD, #404, AUSTIN, TX 78732 Phone: 505-315-4057
Email: diana@php4solutions.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☑ RESIDENCE ☐ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☑ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☑ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☑ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)_____

TYPE OF APPROVAL SOUGHT:

- ☑ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY)_____

DATE SUBMITTED: 04-01-2024

REV. 09/13/23

DRAINAGE CALCULATIONS

DRAINAGE PLAN

THIS DRAINAGE PLAN IS FOR TWO NEW TOWNHOUSES ON EL OJITO COURT NW WITHIN LOTS 9 & 10 LAS MIRADAS TOWNHOUSES PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M. TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE,BERNALILLO COUNTY, NEW MEXICO, CONTAINING THE FOLLOWING ITEMS FOR THE GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. DRAINAGE CALCULATIONS
2. VICINITY MAP (C-12)
3. FLOOD INSURANCE RATE MAP 35001 C0116G
4. GRADING PLAN

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS APPROXIMATELY 0.17 ACRES AND IS WITHIN AN EXISTING SUBDIVISION AND THESE 2 LOTS REMAIN UNDEVELOPED. THERE IS AN EXISTING GRADING AND DRAINAGE PLAN (C12D003B3) DEVELOPED FOR THE ORIGINAL SUBDIVISION IN 2006 WHICH WAS APPROVED BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT.

THE EXISTING TOPOGRAPHY HAS THE WEST HALF SLOPING TOWARDS THE ASPHALT PAVED EL OJITO COURT FOR THE WEST ENTRY AREA AND THE EAST HALF OF THE SITE SLOPES TO A PAVED PRIVATE ACCESS ON THE EAST SIDE OF THE LOTS 9 AND 10. THIS SITE IS LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD AND IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN, (SEE ATTACHED FIRM MAP 35001 C0116G).

THERE IS AN EXISTING RESIDENCE ON THE NORTH SIDE OF LOT 9 AND AN EXISTING RESIDENCE ON THE SOUTH SIDE OF LOT 10.

OFFSITE FLOWS

BASED ON A FIELD VISIT AND TOPOGRAPHIC CONTOUR INFORMATION ON THE NORTH SIDE OF LOT 9, IT APPEARS THE EXISTING RESIDENCE HAS SOME ROOF DRAINAGE THAT MAY COME INTO THIS SITE. A DRAINAGE SWALE WILL BE PROVIDED TO DIVERT ANY FLOWS AWAY FROM THE PROPOSED RESIDENCE FOR LOT 9.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF 2 NEW TOWNHOUSES. THE PLAN IS TO HAVE THE GARAGES FACE THE EAST ALLEY WAY. THE RESIDENCE WILL BE DESIGNED AS A SPLIT LEVEL TO REFLECT THE ORIGINAL GRADING DESIGN INTENT. THE MAIN FINISH FLOOR ELEVATION WILL BE SET BASED AT A ELEVATION ABOVE THE CURB OF EL OJITO COURT NW AND THE GARAGE WILL BE SET AT 4 FEET LOWER IN ORDER FOR EASE OF ACCESS TO THE EXISTING ALLEY ON THE EAST SIDE OF THE PROPERTY. A 4 FOOT RETAINING WALL WILL BE REQUIRED BETWEEN THE MAIN FLOOR AND THE GARAGE AS SHOWN ON THIS PLAN.

THE ROOF DRAINAGE WILL BE DIVERTED TO THE EAST END USING A ROOF DRAIN CANALE AND WILL BE DISCHARGED INTO THE PAVED ALLEY DRIVE ON THE EAST SIDE. THE FRONT PORTION OF THE ENTRY ON THE WEST END WILL BE GRADED TO DRAIN TO THE WEST AND ONTO EL OJITO COURT NW. PER THE ORIGINAL APPROVED GRADING AND DRAINAGE PLAN (C12D003B3) FREE DISCHARGE IS APPROPRIATE FOR THESE TWO LOTS.

THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6 HOUR RAINFALL RUNOFF FOR PEAK FLOWS AND STORM DURATION FOR VOLUME REQUIREMENTS. THE PROCEDURE WILL FOLLOW THE DEVELOPMENT PROCESS MANUAL (DPM), CHAPTER 6 (DRAINAGE, FLOOD AND EROSION CONTROL) FOR CALCULATIONS AND DRAINAGE REQUIREMENTS.

DRAINAGE CALCULATIONS:

1. PRECIPITATION ZONE = 1

2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR STORM TABLE 6.2
   6-HOUR = 2.17 INCHES
   24-HOUR = 2.49 INCHES
   10 DAY = 3.90 INCHES

3. PEAK DISCHARGE (CFS/ACRE) FOR 100-YEAR, TABLE 6.8
   Q = 1.54 CFS/ACRE SOIL UNCOMPACTED "A"
   Q = 2.16 CFS/ACRE LANDSCAPED "B"
   Q = 2.87 CFS/AC COMPACTED SOIL "C"
   Q = 4.12 CFS/ACRE IMPERVIOUS AREA "D"
   FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES

4. EXCESS PRECIPITATION, E (INCHES), FOR 100-YEAR, TABLE 6.7
   E = 0.55 INCHES SOIL UNCOMPACTED "A"
   E = 0.73 INCHES LANDSCAPED "B"
   E = 0.95 INCHES COMPACTED SOIL "C"
   E = 2.24 INCHES IMPERVIOUS AREA 'D"

5. EXISTING CONDITIONS ONSITE FLOWS
   TOTAL AREA OF SITE = 0.17ACRES
   IMPERVIOUS AREA "D" = 0 ACRES
   SOIL COMPACTED BY HUMAN ACTIVITY "C" = 0.17ACRES
   Q(EXISTING-6HR) = (2.87 X 0.17) = 0.49CFS (6HR) EXISTING 100-YEAR ONSITE FLOW RATE INTO EL OJITO COURT AND PAVED PRIVATE ACCESS
   V(PROPOSED-6HR) = ((0.95 X 0.0.17)/ 12) =
   0.0135AC-FT = 586CF EXISTING 100-YEAR ONSITE FLOW VOLUME INTO EL OJITO COURT AND PAVED PRIVATE ACCESS

6. PROPOSED CONDITIONS ONSITE FLOWS IN EL OJITO COURT
   DRAINAGE BASIN INTO EL OJITO COURT
   TOTAL AREA = 1,323SF = 0.030ACRES
   DRIVEWAY AREA, TYPE "D" = 1,096SF = 0,025ACRES
   SOIL COMPACTED BY HUMAN ACTIVITY "C" = 337SF = 0,007ACRES

TREATMENT	AREA(ACRES)
A	0
B	0
C	0.005
D	0.025

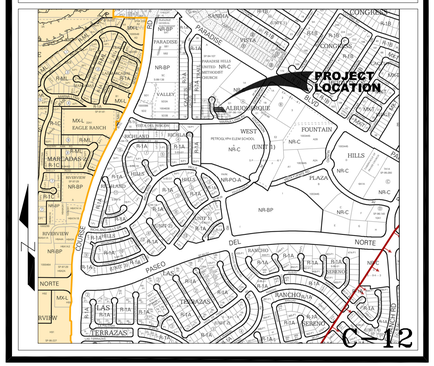
   Q(PROPOSED-6HR) = (2.87 X 0.005) + ((4.12 X 0.025) =
   0.12CFS (6HR) PROPOSED 100-YEAR ONSITE FLOW RATE INTO EL OJITO COURT NW
   V(PROPOSED-6HR) = ((0.95 X 0.005) + (2.24 X 0.025))/ 12) =
   0.005AC-FT = 220CF PROPOSED 100 YEAR ONSITE VOLUME INTO EL OJITO COURT NW

7. PROPOSED CONDITIONS ONSITE FLOWS IN PAVED PRIVATE DRIVE
   DRAINAGE BASIN INTO PAVED PRIVATE DRIVE
   TOTAL AREA = 6,030SF = 0.138ACRES
   ROOF, SIDEWALK, ALLEY AND DRIVEWAY AREA, TYPE "D" = 5,025SF = 0.115ACRES
   SOIL COMPACTED BY HUMAN ACTIVITY "C" = 1,005SF = 0.023ACRES

TREATMENT	AREA(ACRES)
A	0
B	0
C	0.023
D	0.115

   Q(PROPOSED-6HR) = (2.87 X 0.023) + ((4.12 X 0.115) =
   0.54CFS (6HR) PROPOSED 100-YEAR ONSITE FLOW RATE INTO EL OJITO COURT NW
   V(PROPOSED-6HR) = ((0.95 X 0.023) + (2.24 X 0.115))/ 12) =
   0.023AC-FT = 1,014CF PROPOSED 100 YEAR ONSITE VOLUME INTO EL OJITO COURT NW

VICINITY MAP

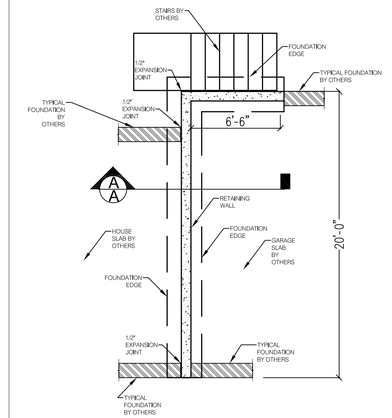


FLOOD INSURANCE RATE MAP

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 04/11/24
BY: Renée C. Brissette
HydroTrans # C12D003B3A

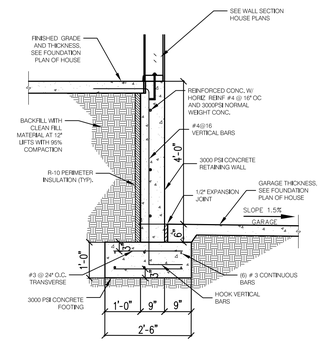
THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



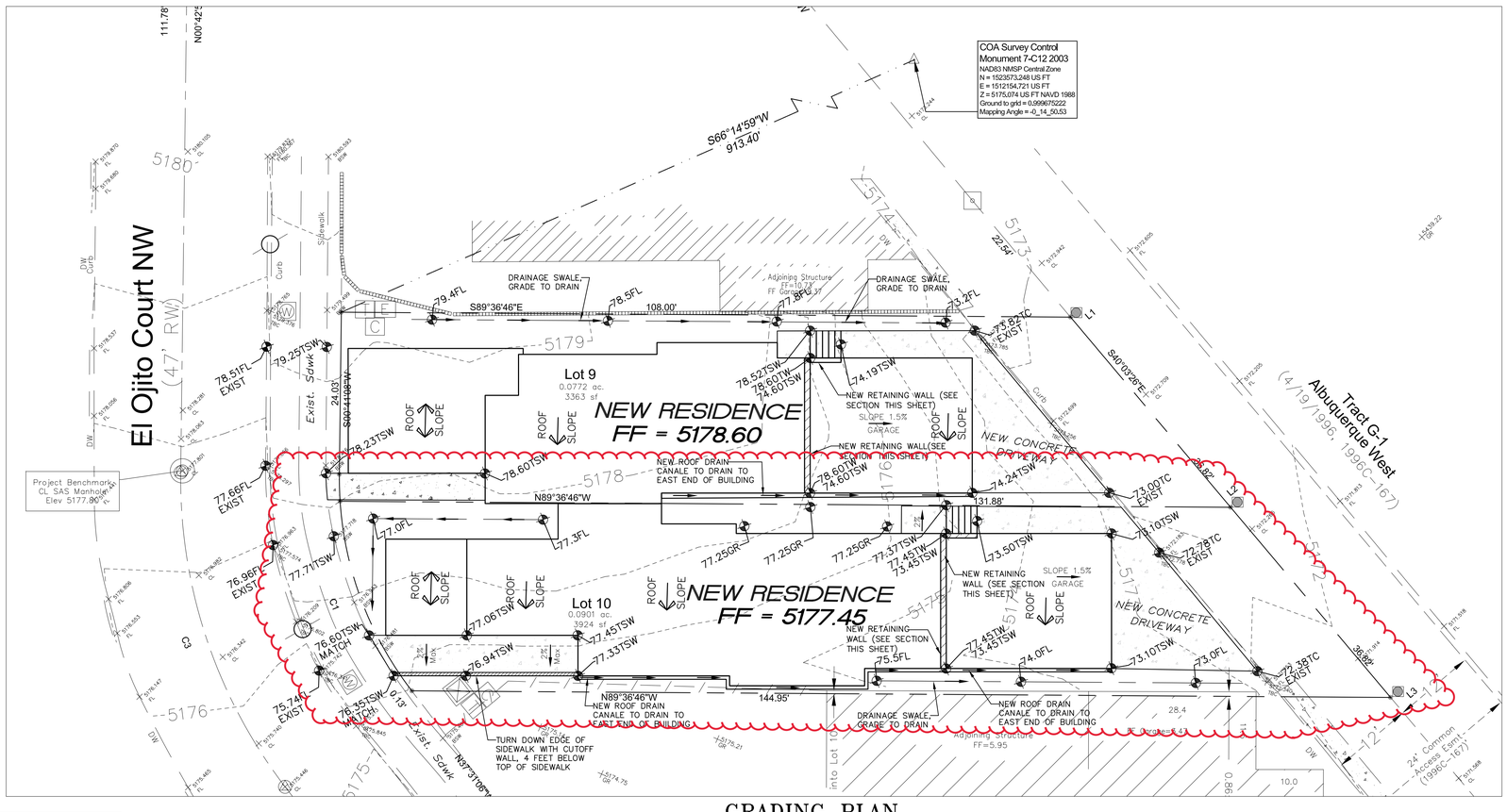
RETAINING WALL PLAN VIEW

SCALE 1" = 5'



SECTION A-A
RETAINING WALL CROSS SECTION

SCALE 1" = 2'



GRADING PLAN

SCALE 1" = 10'

LEGEND

6798 — NEW FINAL SURFACE GRADE	95.83TC / 95.33FL — EXISTING TOP OF CURB ELEVATION
6514 — EXISTING CONTOUR GRADE	EXISTING FLOWLINE ELEVATION
DRAINAGE FLOW DIRECTION	4.3.90R — NEW SURFACE GRADE ELEVATION
4.3.90TC — NEW TOP OF CURB ELEVATION	4.3.90FL — FLOWLINE SWALE ELEVATION
4.3.90FL — NEW FLOWLINE OF CURB ELEVATION	4.3.90TW — NEW TOP OF WALL ELEVATION
4.3.90TA — NEW TOP OF ASPHALT ELEVATION	4.3.90BW — NEW BOTTOM OF WALL ELEVATION AT ADJACENT GRADE
4.3.90TSW — NEW TOP OF SIDEWALK ELEVATION	
DRAINAGE SWALE	

EXCAVATION/UTILITY NOTES:

ITHE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AN UNDERGROUND UTILITIES, OR EXISTING PIPELINES, THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR, THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, THE CONTRACT SHALL COMPLY WITH STATE STATUES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

GRAPHIC SCALE
10 0 10 20
(IN FEET)
1 inch = 10ft.

FILE: 240101

GILBERT ALDAZ — STATE — NEW MEXICO — 10648 — REGISTERED PROFESSIONAL ENGINEER
04-01-2024

DRAINAGE PLAN
LOTS 9 & 10
LAS MIRADAS TOWNHOUSES

APPLIED Engineering & Suveying, Inc.
1605 BLAIR DRIVE NE
ALBUQUERQUE, NEW MEXICO 87112 PH: (505)480-8125

DATE/REVISIONS:

SHEET NUMBER: 1