

CITY OF ALBUQUERQUE



April 14, 2016

Richard Dourte, PE
RHD Engineering, LLC
4305 Purple Sage Ave NW
Albuquerque, NM 87120

Re: Noah's Event Center
4591 Vista Fuente Rd NW
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 8-19-15 (C12D003B4)
Certification dated 04-14-16

Dear Mr. Dourte,

Based upon the information provided in your submittal received 04-14-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Noah's Event Center Building Permit #: _____ City Drainage #: C12D003B4

DRB#: 1003445 EPC#: _____ Work Order#: _____

Legal Description: Tract A-1, Fountain Hills Subdivision

City Address: 4591 Vista Fuente Road, NW

Engineering Firm: RHD Engineering, LLC Contact: Richard Dourte

Address: 4305 Purple Sage Ave. NW, Albuquerque, NM, 87120

Phone#: 505-288-1621 Fax#: _____ E-mail: rhdenengineering@outlook.com

Owner: Noah's Event Center Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Construction Survey Technologies, Inc Contact: John Gallegos

Address: _____

Phone#: 505-917-8721 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 3-11-16

By: [Signature]


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than an part of a larger common plan of development

TRAFFIC CERTIFICATION
For Noah's Event Center
4591 Vista Fuente Road NW

I, Richard Dourte, NMPE 10854, OF THE FIRM RHD Engineering, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-15-15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Richard Dourte OF THE FIRM RHD Engineering, LLC,. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-14-16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT C.O.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

4-14-16
Date





INDEX OF SHEETS

1. SITE PLAN FOR BUILDING PERMIT
2. SITE DETAIL SHEET
3. GRADING PLAN
4. UTILITY PLAN
5. BUILDING ELEVATIONS
6. BUILDING ELEVATIONS
- 7-13 APPROVED SITE PLAN FOR SUBDIVISION

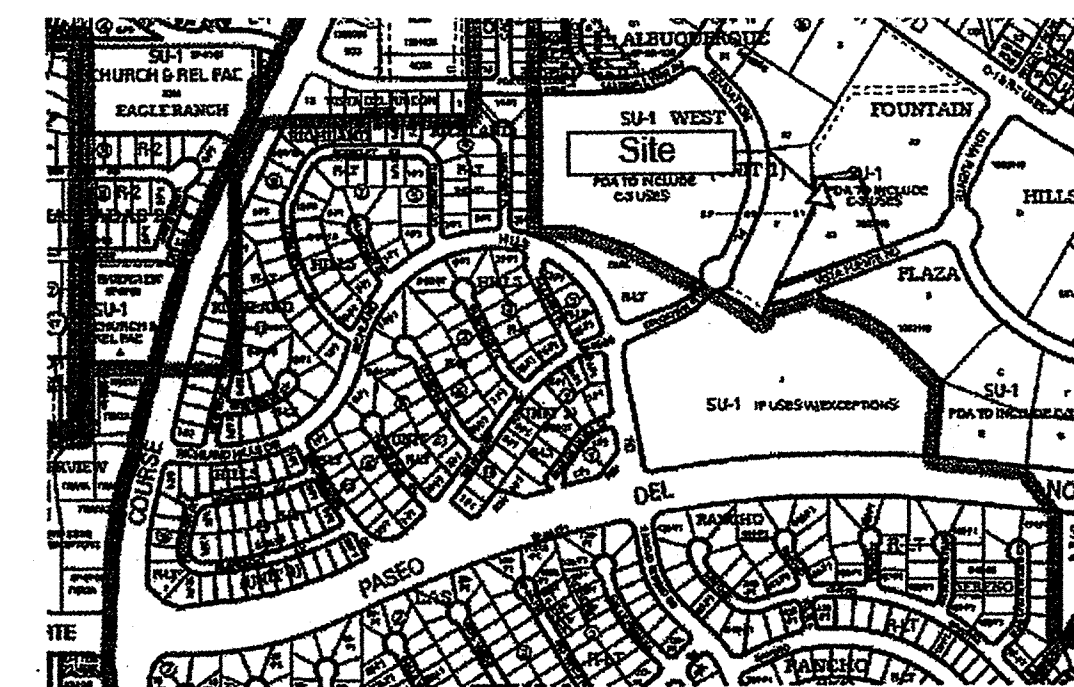
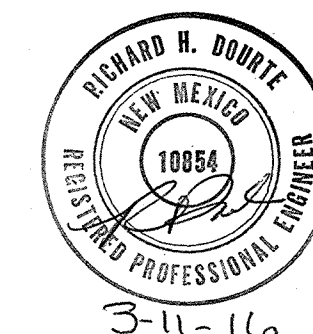
TRAFFIC CERTIFICATION

I, Richard Dourte, NMPE 10854, OF THE FIRM RHD Engineering, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-19-2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RICHARD DOURTE OF THE FIRM RHD ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-10-2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT TRAFFIC CIRCULATION LAYOUT IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A BUILDING C.O. (DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH)

1. The sidewalk was constructed to connect directly to the H.C. ramp and the parking space was built as a standard parking space.
2. The parking lot light was constructed north of the proposed location, thus the two adjacent spaces will need to be marked as compact spaces.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Richard Dourte, NMPE 10854 (SEAL)
DATE 3-11-2016



VICINITY MAP: C-12-Z

LEGAL DESCRIPTION:

Tract A-1,
Fountain Hills Subdivision
Albuquerque, NM

GENERAL NOTES:

1. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STAND DWGS.
2. ALL PRIVATE CURBS SHALL BE 6 INCHES HIGH UNLESS OTHERWISE NOTED, SEE DETAIL SHEET. ALL CURBS WITHIN COA ROW SHALL BE 8 INCHES HIGH PER COA STD DWG 2415.
3. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
4. ALL DRIVEABLE SURFACES SHALL BE 3INCH THICK ASPHALT PAVING PER COA STANDARDS.
5. FOR LANDSCAPING PLAN, REFER TO ORIGINALLY APPROVED SITE PLAN DOCUMENTS.
6. ALL LANDSCAPING WITHIN THE COA ROW WILL BE GOVERNED BY APPROVED STREET TREE AGREEMENT.

SITE DATA:

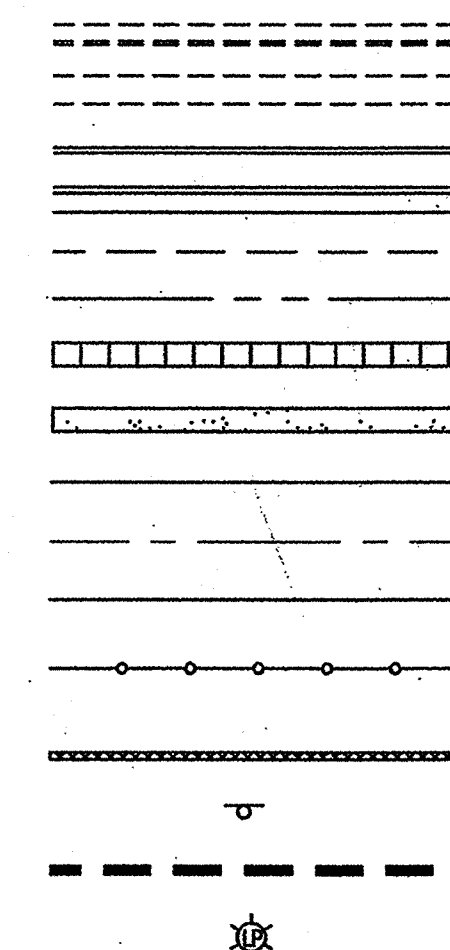
ZONING: SU-1 PRD W/ C-3 USES
BUILDING SF: = 8,700 SF

TOTAL LOT AREA: 2.00 AC ±

PARKING ANALYSIS:
EVENT AREA 247 SEATING CAPACITY:
1 SPACE/3 PERSON (OCCUPANCY LOAD)= 83

TOTAL PARKING REQUIRED = 83
TOTAL PARKING PROVIDED = 89
ACCESSIBLE PARKING (4 REQUIRED) = 4 (PROVIDED)
MOTORCYCLE PARKING (2 REQUIRED) = 2 (PROVIDED)
BICYCLE PARKING (5 REQUIRED) = 5 (PROVIDED)
MAXIMUM BUILDING HEIGHT: 26 FEET

LEGEND



ADMINISTRATIVE AMENDMENT
FILE # 10019 PROJECT # 1003442
REVISIONS TO BLDG FOOTPRINT
AND LANDSCAPING WITHIN AREA
+ REVISED BLDG ELEVATIONS
APPROVED BY [Signature] DATE 8-19-2015

ENGINEER'S SEAL	NOAH'S EVENT CENTER	DRAWN BY
	SITE PLAN FOR BUILDING PERMIT	DATE
RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 505-288-1621		NOAH'S EVENT CENTER/NOAH'S-CAD-04
		SHEET #
		JOB #
		XXXX

STORM MH# 2
RIM EL.=5136.65'
E. INV. (30" RCP)EL.=5128.22'
W. INV. (30" RCP)EL.=5128.42'

STORM MH# 3
RIM FI.=5147.36'

20 10 0 10 20
SCALE: 1"=20'

CITY OF ALBUQUERQUE



March 15, 2016

Richard Dourte, PE
RHD Engineering, LLC
4305 Purple Sage Ave NW
Albuquerque, NM 87120

Re: Noah's Event Center
4591 Vista Fuente Rd NW
30-Day Temporary Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 08-19-15 (C12D003B4)
Certification dated 03-11-16

Dear Mr. Dourte

Based upon the information provided in your submittal received 03-11-16, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- The two adjacent parking spaces adjacent to the relocated parking lot light will need to be painted with the word "COMPACT".
- All construction dumpsters and porta-potties must be removed from the site prior to final Certificate of Occupancy.

New Mexico 87103

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email