

Glenn Broughton

From: Mazur, Lynn <lmazur@amafca.org>
Sent: Monday, September 28, 2015 9:35 AM
To: Glenn Broughton
Cc: Harmon Rita T. (rharmon@cabq.gov)
Subject: RE: Presbyterian Paradise Clinic Construction Plan Review

These revisions are acceptable.

**Albuquerque Metropolitan Arroyo
Flood Control Authority**

Lynn M. Mazur, P.E., C.F.M.
Development Review Engineer
2600 Prospect Ave NE
Albuquerque, NM 87107
Office: (505) 884-2215
Mobile: (505) 362-1273

The unauthorized disclosure or interception of e-mail is a federal crime. See 18 U.S.C. § 2517(4). This e-mail is intended only for the use of those to whom it is addressed and may contain information which is privileged, confidential and exempt from disclosures under the law. If you have received this e-mail in error, do not distribute or copy it. Return it immediately with attachments, if any, and notify me by telephone at (505) 884-2215.

From: Glenn Broughton [<mailto:gbrought@bhinc.com>]
Sent: Friday, September 25, 2015 1:17 PM
To: Mazur, Lynn
Cc: Harmon Rita T. (rharmon@cabq.gov)
Subject: RE: Presbyterian Paradise Clinic Construction Plan Review

Lynn,
I have attached our updated sheet which addresses your review comments.
Thanks,
Glenn

From: Mazur, Lynn [<mailto:lmazur@amafca.org>]
Sent: Wednesday, September 23, 2015 8:14 AM
To: Glenn Broughton
Cc: Harmon Rita T. (rharmon@cabq.gov)
Subject: RE: Presbyterian Paradise Clinic Construction Plan Review

Glenn,
I know you have DRC this afternoon. I don't need to be there. I have attached a few comments on Sheet C-101. Let me know if you have any questions.
Lynn

From: Glenn Broughton [<mailto:gbrought@bhinc.com>]
Sent: Wednesday, September 09, 2015 11:25 AM
To: Mazur, Lynn
Cc: Harmon Rita T. (rharmon@cabq.gov)
Subject: Presbyterian Paradise Clinic Construction Plan Review

Lynn,
I have attached the construction drawings for your review and comment. I believe I have addressed your comments from our initial submittal to you. I have also included the Drainage Master Plan for Fountain Hills for reference. I will be submitting to City Hydrology for building permit approval this afternoon.
Thank you,
Glenn Broughton, P.E., LEED AP
Senior Project Manager

Community Development & Planning

Direct line: 505-798-7872

Bohannon Huston

Courtyard I

7500 Jefferson St. NE

Albuquerque, NM 87109-4335

www.bhinc.com

voice: 505.823.1000 **facsimile:** 505.798-7988 **toll free:** 800.877.5332

DISCLAIMER: This e-mail, including attachments, may include confidential and/or proprietary information, and may be used only by the person or entity to which it is addressed. Any unauthorized review, use, disclosure or dissemination is strictly prohibited. If you received this e-mail in error, please notify the sender by reply e-mail and delete this e-mail immediately.

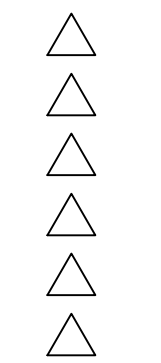


PROJECT

PMG Paradise Clinic
4588 PARADISE BLVD
ALBUQUERQUE, NM 87114

100%
CONSTRUCTION
DOCUMENTS

REVISIONS



DRAWN BY BO
REVIEWED BY GSB
DATE 09-03-2015
PROJECT NO: 15-0028.001
DRAWING NAME
GRADING &
DRAINAGE PLAN

SHEET NO.

C-100

SEGMENTAL RETAINING WALL CONSTRUCTION NOTES:

RETAINING WALL CONTRACTOR TO MEET CONTRACTOR'S QUALIFICATIONS LISTED BELOW (UNLESS OTHERWISE APPROVED BY OWNER)

CONTRACTOR TO PROVIDE SHOP DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN NEW MEXICO & QUALIFIED TO DESIGN SEGMENTAL RETAINING WALLS TO BOHANNAN HUSTON FOR REVIEW PRIOR TO SUBMITTING TO GOVERNING ENTITY.

RETAINING WALL SYSTEM REQUIREMENTS (PROVIDED BY MANUFACTURER OR CONTRACTOR).

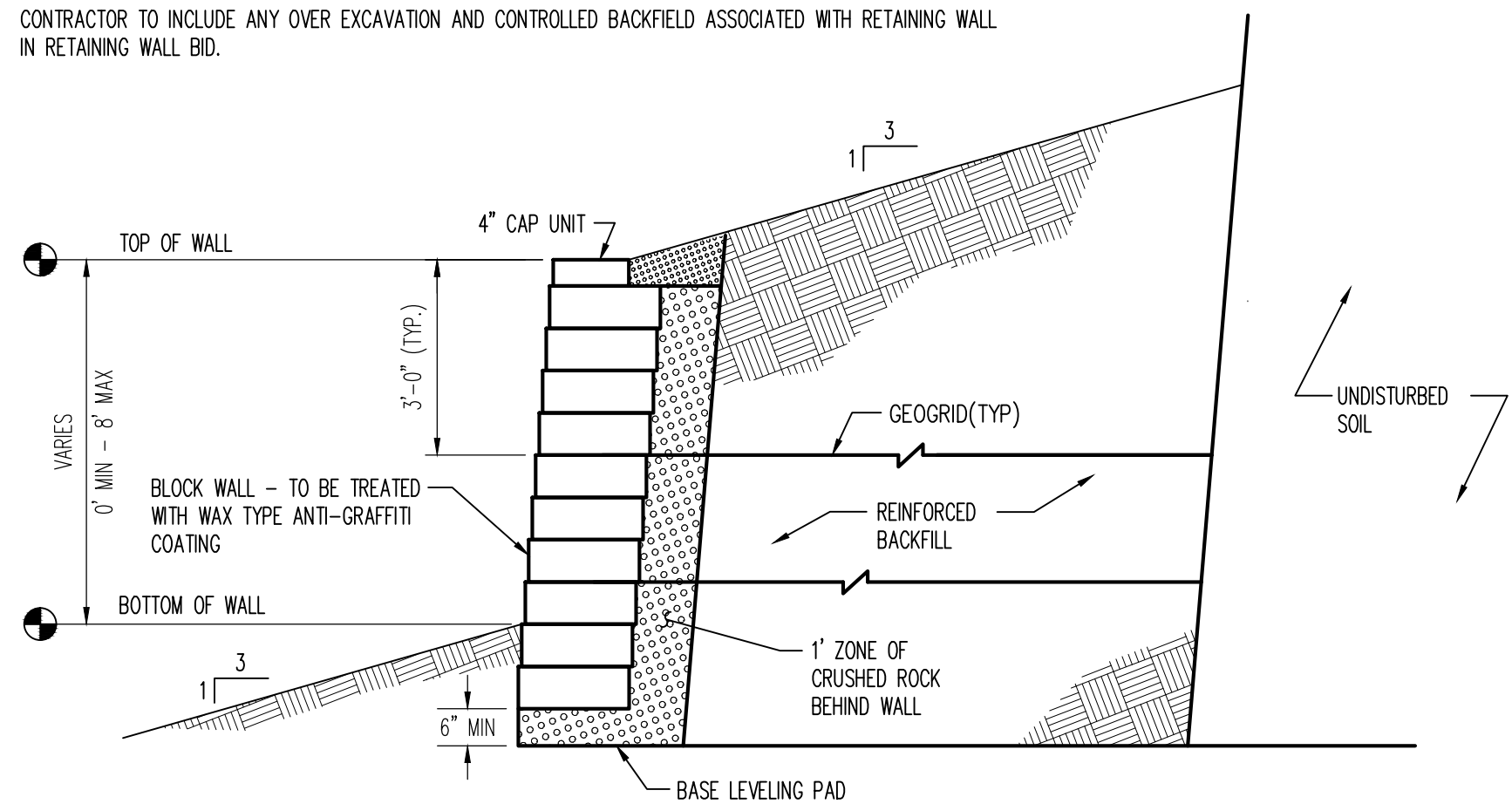
SOIL AND COMPACTION TESTING SHALL BE PERFORMED DURING CONSTRUCTION (BASE, 1/2 HEIGHT, AND FINAL).

APPROVED SHOP DRAWINGS MUST BE AVAILABLE ON-SITE AT ALL TIMES.

CONTRACTOR TO PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL COLOR SELECTION.

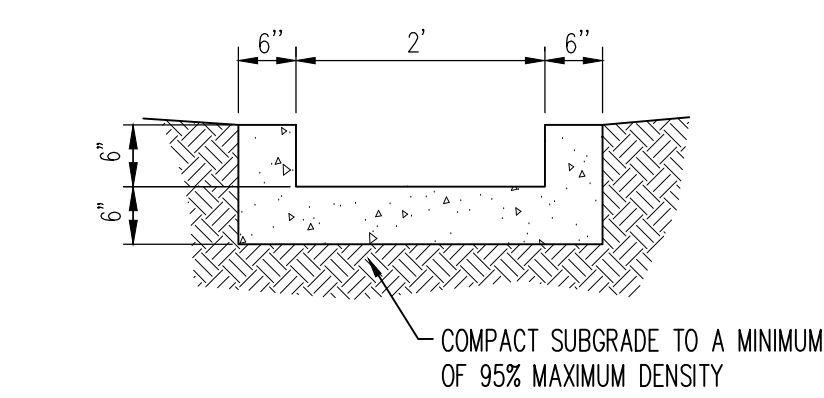
ELEVATIONS SHOWN ARE TO TOP OF WALL AND BOTTOM OF WALL AT FINAL GRADE (DOES NOT INCLUDE FOOTER).

CONTRACTOR TO INCLUDE ANY OVER EXCAVATION AND CONTROLLED BACKFILL ASSOCIATED WITH RETAINING WALL IN RETAINING WALL BID.



1 TYPICAL SEGMENTAL RETAINING WALL SECTION
N.T.S.

(NOTE: RETAINING WALL CONTRACTOR TO PERMIT WALL DIRECTLY THROUGH THE PERMITTING AUTHORITY. CONTRACTOR TO PROVIDE BOHANNAN HUSTON INC. WITH SHOP DRAWINGS (FOR APPROVAL) FOR EACH WALL PRIOR TO CONSTRUCTION.)



2 CONCRETE RUNDOWN / RIBBON CHANNEL
N.T.S.

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.

2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.

5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).

10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.

11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.

14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

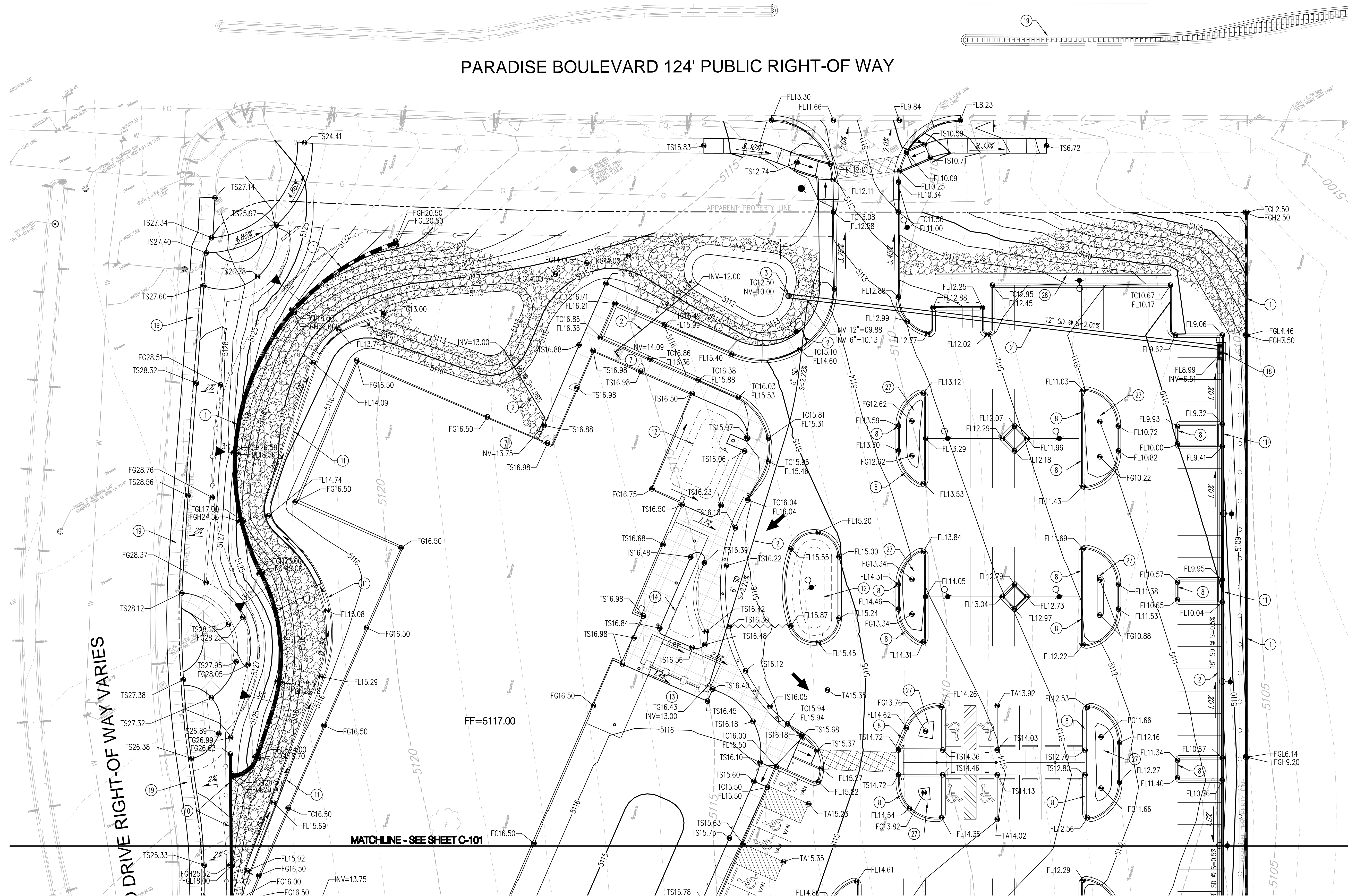
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL, OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

PARADISE BOULEVARD 124' PUBLIC RIGHT-OF-WAY

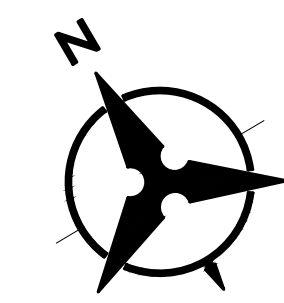


LEGEND

---	PROPERTY LINE
---	EXISTING CONTOURS
---	EXISTING GROUND SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	TC=TOP OF CURB, FL=LOW LINE
---	TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
---	EX=EXISTING, FG=FINISHED GRADE
---	TO=TOP OF GRADE, INV=INVERT
---	FGH=FINISHED GRADE HIGH
---	FG=FINISHED GRADE LOW
---	PROPOSED DIRECTION OF FLOW
---	WATER BLOCK / RIDGE OR HIGH POINT
---	PROPOSED RETAINING WALL
---	PROPOSED INDEX CONTOURS
---	PROPOSED INTER CONTOURS
---	PROPOSED CURB & GUTTER
---	EASEMENT
---	PROPOSED STORM DRAIN LINE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED STORM DRAIN INLET
---	EROSION/SLOPE PROTECTION CORBLE
---	SEE LANDSCAPE PLAN FOR DETAILS

WORK ORDER NOTES

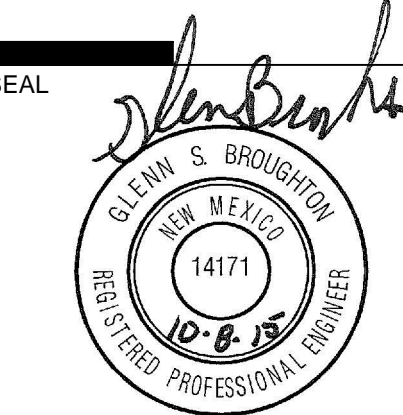
1. SIDEWALK & ROADWAY IMPROVEMENTS WITHIN RIGHT OF WAY WILL BE A PART OF THE CONTRACT, HOWEVER CITY WORK ORDER (INCLUDING APPROVED DRAWINGS) IS REQUIRED FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING WITH A REGISTERED PROFESSIONAL ENGINEER FOR CONSTRUCTION ENGINEERING SERVICES (CITY OF ALBUQUERQUE REQUIRED INSPECTIONS DURING CONSTRUCTION). THE ENGINEER SHALL BE LICENSED IN THE STATE OF NEW MEXICO. THE ENGINEER SHALL BE RESPONSIBLE FOR CONSTRUCTION OVERSIGHT, CONSTRUCTION OBSERVATION REPORTS, CERTIFICATION CLOSE OUT AND ACCEPTANCE BY THE CITY IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS REVISED THROUGH UPDATE #9.



20 10 0 20
SCALE: 1"=20'

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG



PROJECT

PMG Paradise Clinic
4588 PARADISE BLVD
ALBUQUERQUE, NM 87114

100%
CONSTRUCTION
DOCUMENTS

REVISIONS
△
△
△
△
△
△

DRAWN BY BO
REVIEWED BY GSB
DATE 09-03-2015
PROJECT NO: 15-0028.001
DRAWING NAME
GRADING &
DRAINAGE PLAN

SHEET NO.

C-101

KEYED NOTES

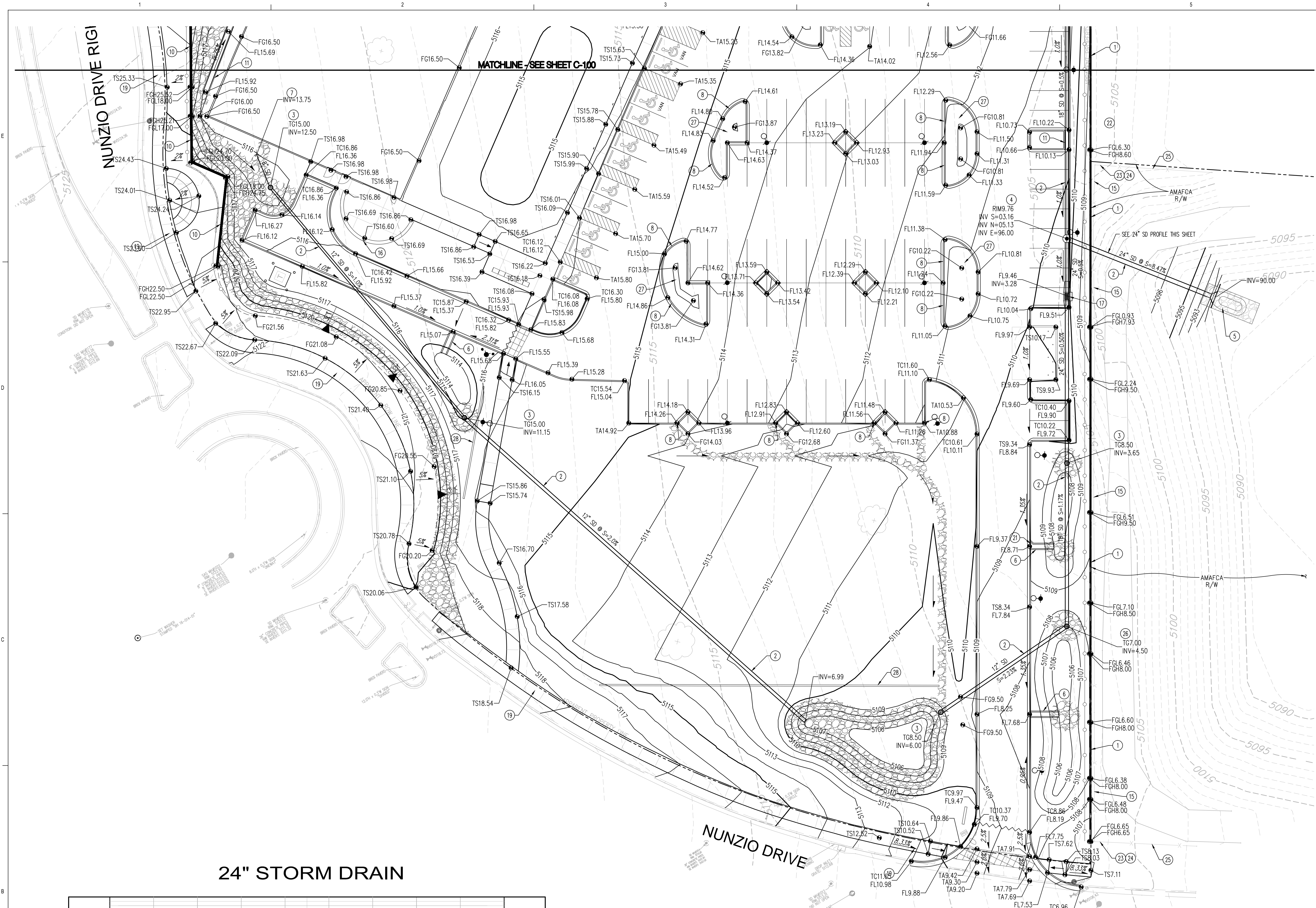
- SEGMENTAL RETAINING WALL, SEE DETAIL 1/C-100.
- INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
- INSTALL 18" NYLOPLAST DRAIN BASIN WITH DOME GRATE. TOP OF GRATE ELEVATION SHOWN ON PLAN IS BASE OF DOME.
- CONSTRUCT 4" DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2102.
- CONSTRUCT RIP-RAP BOWL DISSIPATER, SEE 1/C-101.
- CONSTRUCT CONCRETE RUNDOWN, SEE DETAIL 2/C-100.
- INSTALL STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 12" CURB OPENING FOR DRAINAGE.
- NOT USED.
- INSTALL SHORING WALL, SEE STRUCTURAL PLANS FOR DETAILS.
- CONSTRUCT 2" WIDE CONCRETE RIBBON CHANNEL, SEE DETAIL 2/C-100.
- CONSTRUCT 2" HIGH LANDSCAPE BERM. SEE LANDSCAPE PLAN FOR DETAILS. MAINTAIN POSITIVE DRAINAGE AROUND BERM ADJACENT TO BUILDING.
- INSTALL NYLOPLAST INLINE DRAIN WITH 12" ROUND PEDESTRIAN GRATE. SEE ARCHITECTURAL DETAILS FOR "RAIN CHAIN" CONNECTION DETAIL.
- CONSTRUCT 1" HIGH LANDSCAPE BERM, SEE LANDSCAPE PLAN FOR DETAILS.
- REMOVE AND SALVAGE EXISTING TEE POSTS. DISPOSE OF WIRE FENCING. CONTACT KURT WAGNER AT (505) 884-2215 TO COORDINATE DELIVERY OF SALVAGED MATERIALS.
- INSTALL 4" PIPE SLEEVE THRU WALL FOR DRAINAGE.
- CONSTRUCT TYPE "C" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- CONSTRUCT TYPE "C" DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- SIDEWALK AND ROADWAY IMPROVEMENTS WITHIN RIGHT OF WAY TO BE CONSTRUCTED UNDER CITY WORK ORDER, CITY PROJECT NUMBER 674481.
- INSTALL END SECTION.
- CONSTRUCT FLARED OPENING IN CONCRETE RUNDOWN PER 2/C101.
- INSTALL 11.25" VERTICAL BEND.
- REMOVE AND SALVAGE EXISTING WIRE FENCE CORNER PANELS. CONTACT KURT WAGNER AT (505) 884-2215 TO COORDINATE DELIVERY OF SALVAGED MATERIALS.
- CONSTRUCT WIRE FENCE PULL PANEL AT END OF EXISTING WIRE FENCE PER AMAFCA STD DWG 203. NEW PULL PANEL TO ABUT NEW RETAINING WALL.
- EXISTING WIRE FENCE TO REMAIN.
- INSTALL 24" NYLOPLAST DRAIN BASIN WITH DOME GRATE. TOP OF GRATE ELEVATION SHOWN ON PLAN IS BASE OF DOME.
- DEPRESS LANDSCAPE ISLAND. SEE PLAN FOR GRADES & LANDSCAPE PLAN FOR DETAILS.
- SCREEN WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.

LEGEND

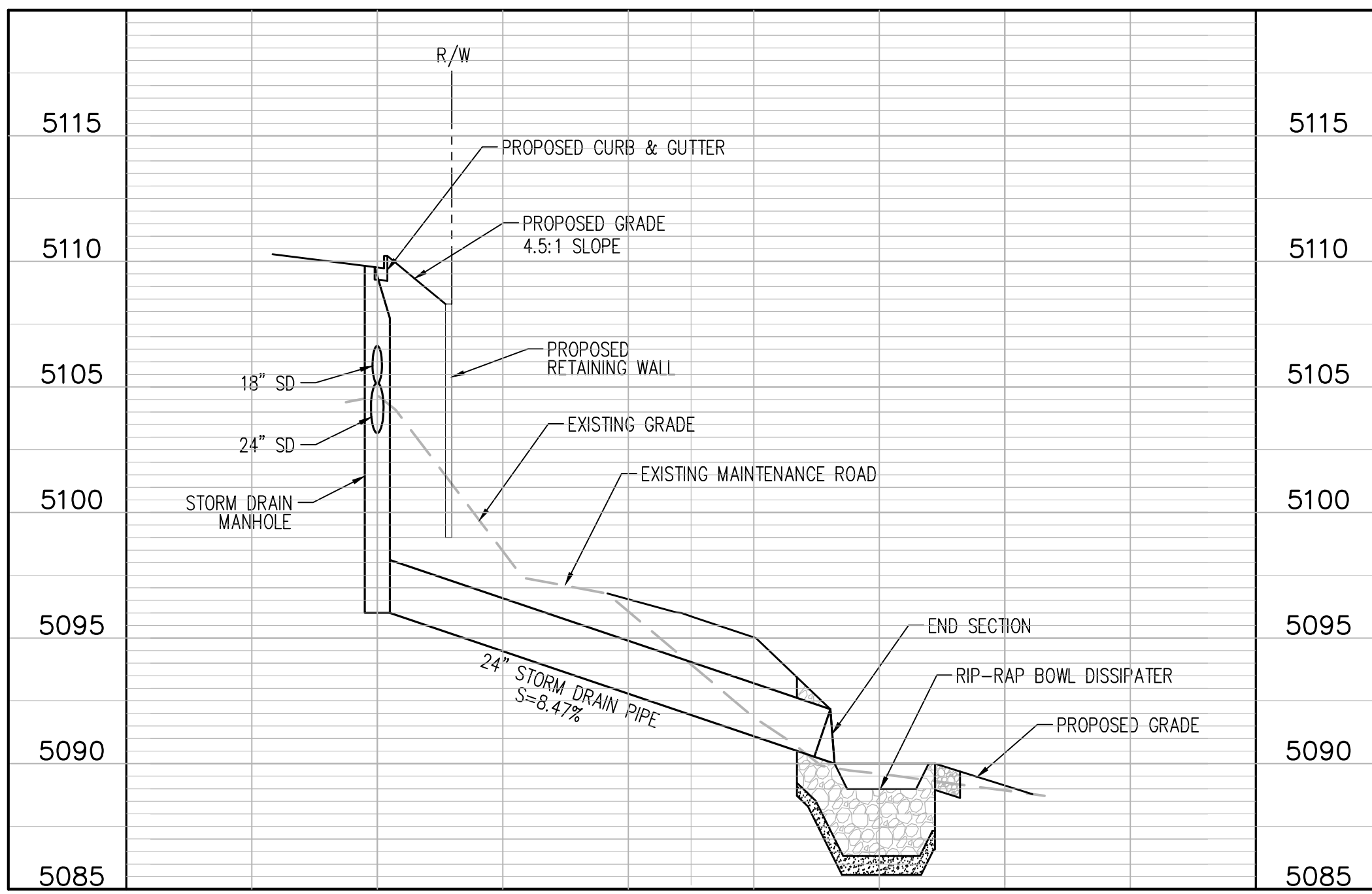
- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK / RIDGE OR HIGH POINT
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- SD
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EROSION/SLOPE PROTECTION CORBLE
- SEE LANDSCAPE PLAN FOR DETAILS

WORK ORDER NOTES

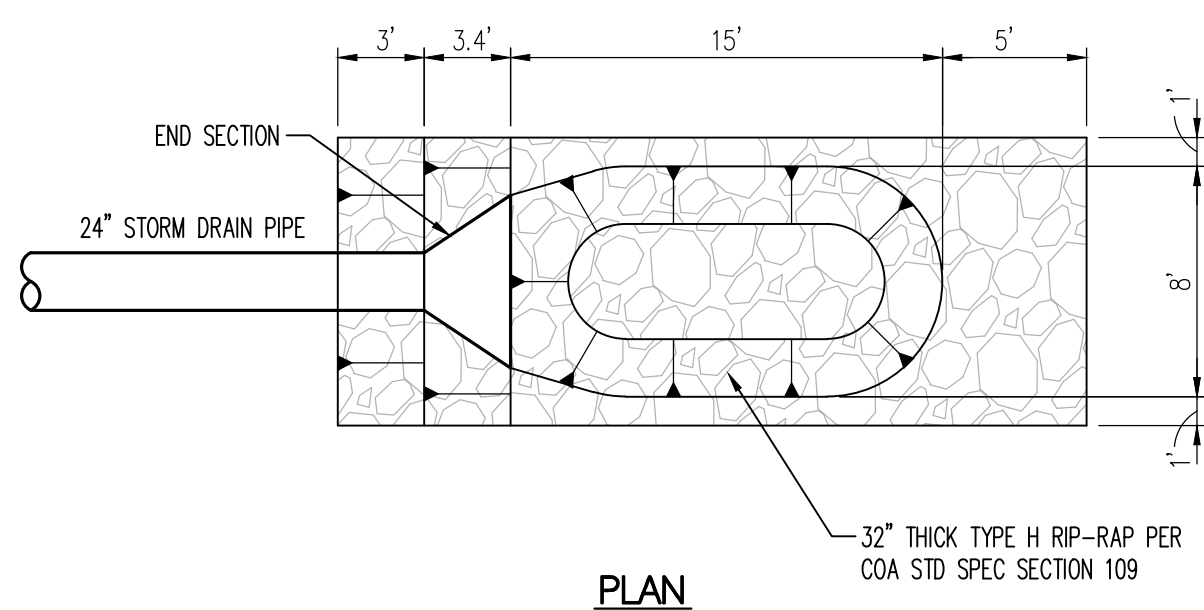
- SIDEWALK & ROADWAY IMPROVEMENTS WITHIN RIGHT OF WAY WILL BE A PART OF THE CONTRACT, HOWEVER CITY WORK ORDER (INCLUDING APPROVED DRAWINGS) IS REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING WITH A REGISTERED PROFESSIONAL ENGINEER FOR CONSTRUCTION ENGINEERING SERVICES (CITY OF ALBUQUERQUE REQUIRED INSPECTIONS DURING CONSTRUCTION). THE ENGINEER SHALL BE LICENSED IN THE STATE OF NEW MEXICO. THE ENGINEER SHALL BE RESPONSIBLE FOR CONSTRUCTION OVERSIGHT, CONSTRUCTION OBSERVATION REPORTS, CERTIFICATION CLOSE OUT AND ACCEPTANCE BY THE CITY IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS REVISED THROUGH UPDATE #9.



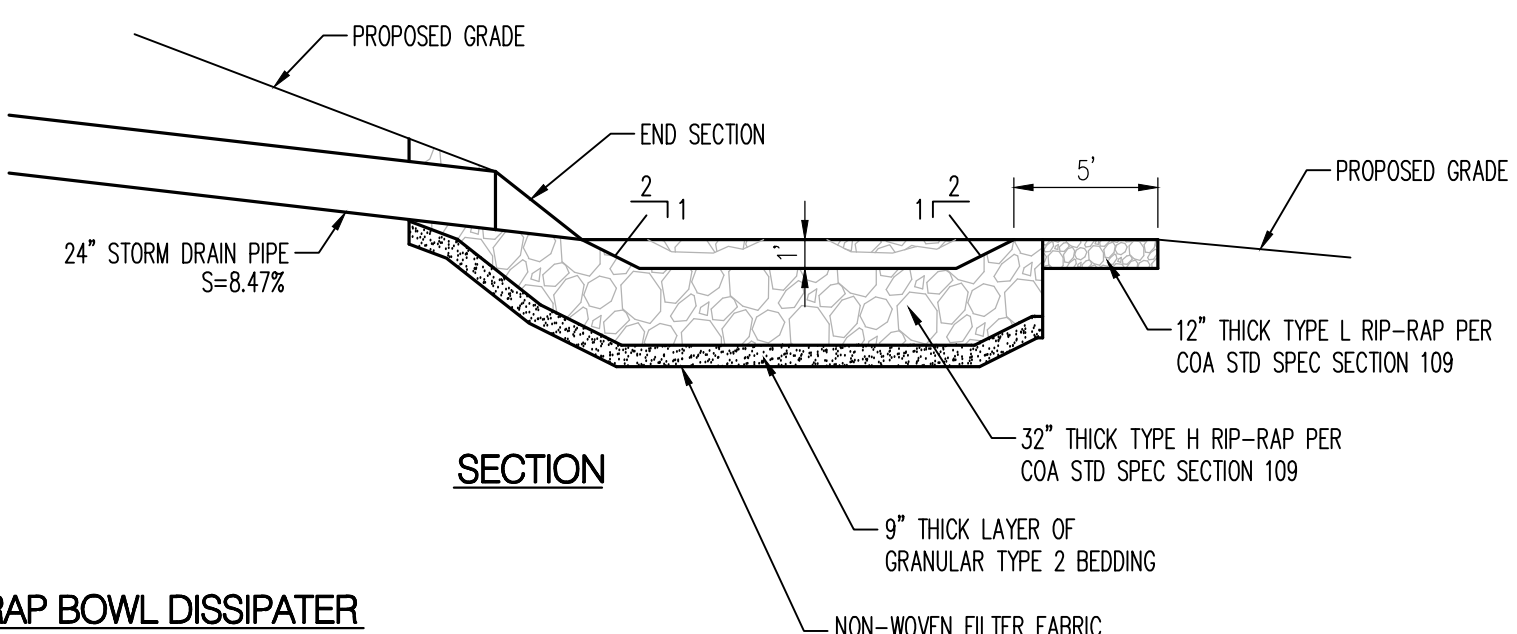
24" STORM DRAIN



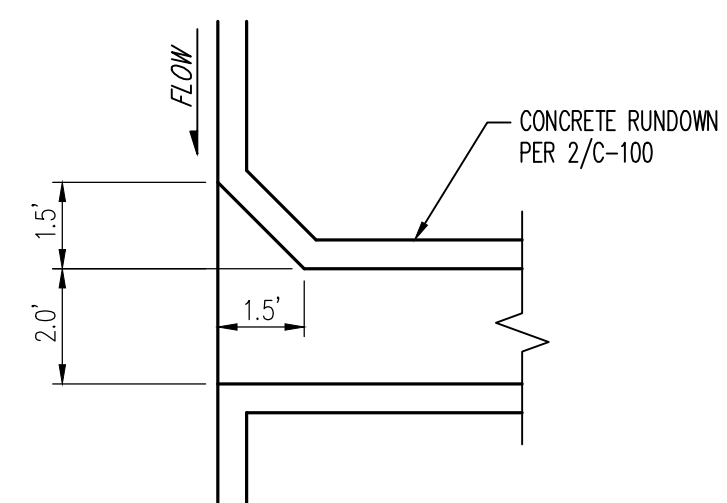
SCALE: 1"=20' (HORIZ.)
1"=5' (VERT.)



PLAN

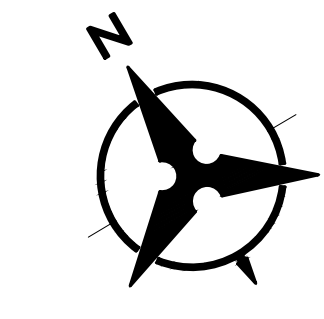


SECTION



2 FLARED RUNDOWN OPENING
N.T.S.

1 RIP-RAP BOWL DISSIPATER
N.T.S.



SCALE: 1"=20'

Bohannon & Huston
www.bhinc.com 800.877.5332

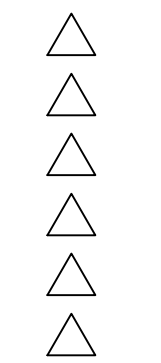


PROJECT

PMG Paradise Clinic
4588 PARADISE BLVD
ALBUQUERQUE, NM 87114

100%
CONSTRUCTION
DOCUMENTS

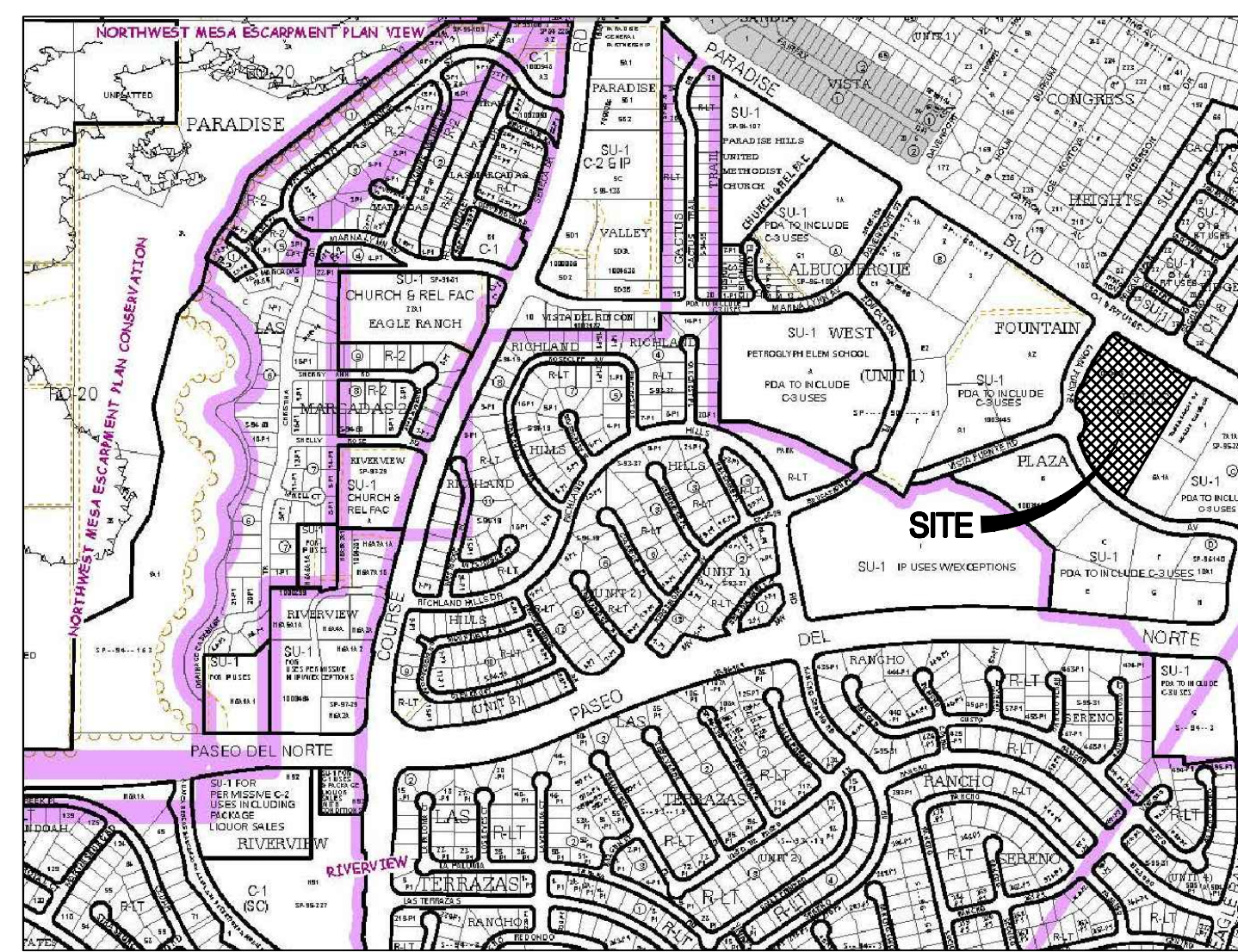
REVISIONS



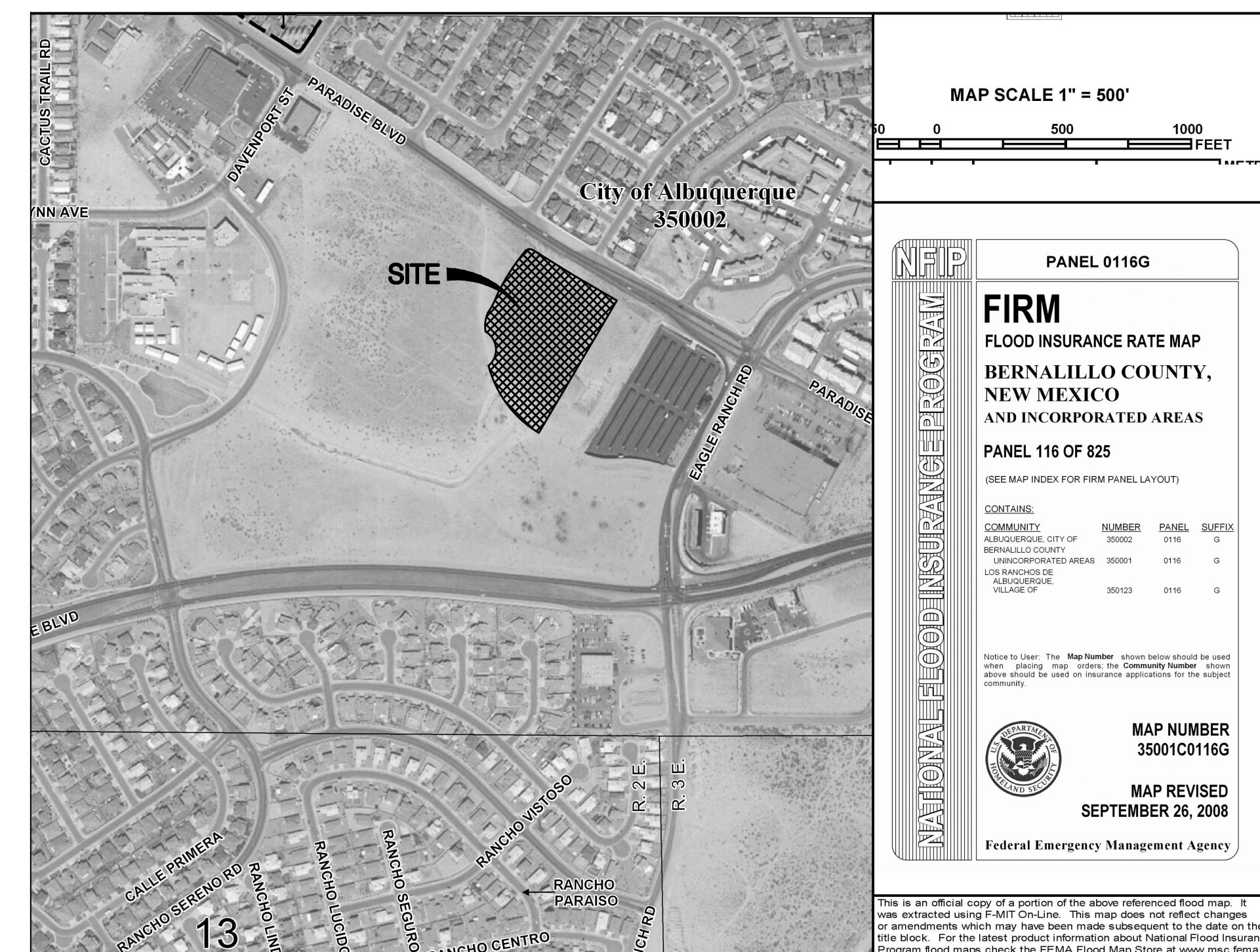
DRAWN BY	BO
REVIEWED BY	GSB
DATE	09-03-2015
PROJECT NO.	15-0028.001
DRAWING NAME	DRAINAGE MANAGEMENT PLAN

SHEET NO.

--



VICINITY MAP: C-12



FEMA FIRM MAP # 35001C0116G

PREBYTERIAN PARADISE CLINIC Proposed Ultimate Development Conditions Basin Data Table												
This table is based on the OPM Section 22.2, Zone: 1												
Basin ID	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q (100yr.) (cfs/sec.)	Q (100yr.) (cfs)	WT E (Inches)	V (100yr.) (cfs)	V (100yr.) (100yr.)	"First Flush" Vol. Calc.
			A	B	C	D						
Proposed												
1	36392	0.84	0.0%	0.0%	34.0%	66.0%	3.86	3.22	1.64	4964	7906	0.34 24019 681 1650
2	41613	0.96	0.0%	0.0%	15.0%	85.0%	4.15	3.96	1.82	6322	10655	0.34 35371 1002 560
3	13109	0.30	0.0%	0.0%	6.0%	94.0%	4.28	1.29	1.91	2088	3597	0.34 12322 349 295
4	62956	1.45	0.0%	0.0%	17.0%	83.0%	4.12	5.95	1.80	9461	15852	0.34 52253 1481 1350
5	24352	0.56	0.0%	0.0%	63.0%	37.0%	3.43	1.92	1.35	2746	3850	0.34 9014 255 2750
6	28527	0.65	0.0%	0.0%	27.0%	73.0%	3.97	2.60	1.71	4054	6605	0.34 20825 590 375
7	5114	0.12	0.0%	0.0%	73.0%	27.0%	3.28	0.38	1.25	535	704	0.34 1381 39 0
8	10309	0.24	0.0%	0.0%	85.0%	15.0%	3.10	0.73	1.14	977	1166	0.34 1546 44 0
9	549	0.02	0.0%	0.0%	59.0%	41.0%	3.49	0.08	1.39	170	158	0.34 388 11 0
TOTAL	212073	5.13						20.1			50503	157120 4452 6940

*Precipitation depth includes a deduction for initial abstraction of 0.1" for Land Treatment D.

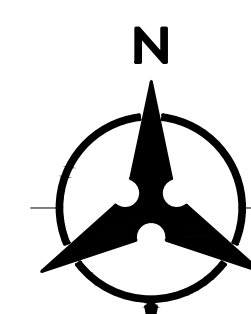
PREBYTERIAN PARADISE CLINIC STORM DRAIN PIPE TABLE									
PIPE #	Contributing Basins & Pipes	Size in.	Slope	Capacity cfs	ACTUAL FLOW cfs	Velocity fps	PIPE LENGTH ft	INVERT IN	INVERT OUT
STORM DRAIN PIPE									
P1	B1	12	2.01%	5.0	3.2	6.8	174.0	5110.00	5106.51
P2	B1+B2	18	0.50%	7.4	7.2	4.8	275.0	5106.51	5105.13
P3	B6	12	1.00%	3.6	2.6	4.9	135.0	5112.50	5111.15
P4	B6	12	2.00%	5.0	2.6	6.4	208.0	5111.15	5108.99
P5	B5+B6	12	2.22%	5.3	4.5	7.6	67.5	5106.00	5104.50
P6	B4+B5+B6	18	1.17%	11.4	10.5	8.6	72.5	5104.50	5103.65
P7	B3+B4+B5+B6	24	0.50%	16.0	11.7	5.5	74.0	5103.65	5103.28
P8	P2+P7	24	8.47%	65.9	18.9	18.1	70.8	5096.00	5090.00

CAPACITY IS BASED ON GRAVITY FLOW, USING MANNING'S EQUATION WITH n=0.013

PREBYTERIAN PARADISE CLINIC INLET TABLE									
INLET #	CONTRIBUTING BASIN	INLET TYPE	TOP OF GRADE	ACTUAL FLOW	AVAIL. HEAD FT	CAPACITY	CAPACITY WITH 50% CLOGGING	Grate Calculation	
IN-1	B1	18" DOME	5112.50	3.2	1.0	5.6	2.6	Sump	
IN-2	B2	TYPE C DBI	5108.99	4.0	0.5	7.6	3.8	Sump	
IN-3	B3	TYPE C SGL	5109.46	1.3	0.5	5.1	2.5	Sump	
IN-4	B4	24" DOME	5107.00	5.9	1.0	9.0	4.5	Sump	
IN-5	B5	18" DOME	5108.50	1.9	1.0	5.6	2.8	Sump	
IN-6	B6	18" DOME	5115.00	2.6	1.1	6.0	3.0	Sump	

LEGEND

---	PROPERTY LINE
---	EXISTING CONTOURS
65.23	PROPOSED SPOT ELEVATION
TO=TOP OF CURB, FL=FLOW LINE	
FDL=FINISHED GRADE LOW SIDE OF WALL	
FDH=FINISHED GRADE HIGH SIDE OF WALL	
EX=EXISTING, TO=TOP OF GRATE	
S=2.0%	PROPOSED DIRECTION OF FLOW
~~~~~	WATER BLOCK
---	PROPOSED RETAINING WALL
---	PROPOSED INDEX CONTOURS
---	PROPOSED INTER CONTOURS
---	EASEMENT
SD	PROPOSED STORM DRAIN LINE
← RD1	ROOF DRAIN ID & DISCHARGE LOCATION



40 20 0 40  
SCALE: 1"=40'

**Bohannon & Huston**  
www.bhinc.com 800.877.5332





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

**Engineering Firm:** _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

**Owner:** _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

**Architect:** _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

**Surveyor:** _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

**Contractor:** _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

### TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

**PRIVATE LICENSE AGREEMENT FOR STORM DRAIN  
CONNECTION TO FOUNTAIN HILLS POND**

This License Agreement is made and entered into this 10th day of August, 2015, by and between the Albuquerque Metropolitan Arroyo Flood Control Authority ("AMAFCA"), a political subdivision of the State of New Mexico, and Presbyterian Healthcare Services, a New Mexico Corporation ("LICENSEE"), collectively referred to as the "PARTIES".

**RECITALS:**

**WHEREAS**, a 1.44 acre parcel, identified as Lot 6, Block C, was dedicated to AMAFCA by Plat C25-138 for Albuquerque West, a Subdivision in Paradise Hills Development, in 1984, with language for "the construction, operation and maintenance of related facilities"; and

**WHEREAS**, a regional detention/desiltation pond was constructed on Lot 6 to limit discharge from the northern section of the Albuquerque West property to the Eagle Ranch storm drain system, which has limited downstream capacity; and

**WHEREAS**, the property has continued to subdivide and develop, and Lot 6 is now identified as Lot 6-A-1-A on current platting for Albuquerque West Unit 1; and

**WHEREAS**, in July 2008, AMAFCA entered into a Turnkey Agreement with the owner of the remainder of the Albuquerque West property, known as Fountain Hills Plaza, for expansion and maintenance of the regional pond, known as the Fountain Hills Pond ("Pond"); and

**WHEREAS**, LICENSEE proposes to develop Tract D of Fountain Hills Plaza and to install a twenty-four inch (24") storm drain pipe outfall to the Pond ("IMPROVEMENTS"); and

**WHEREAS**, the IMPROVEMENTS will provide a benefit to AMAFCA by providing a controlled drainage outfall and reducing maintenance needs of the Pond.

NOW THEREFORE, for good and valuable consideration, the receipt of which is hereby acknowledged:

AMAFCA hereby grants to LICENSEE, and its successors and assigns, a non-exclusive License to construct, operate and maintain the IMPROVEMENTS the Licensed Area, as graphically shown on the attached Exhibit "A", together with full ingress thereto, subject to the following terms and conditions:

1. LICENSEE shall obtain AMAFCA's prior written approval for the following:
  - a. All changes to the construction drawings for installation of the IMPROVEMENTS. The drawings, with an Engineer's stamp and as approved and signed by AMAFCA, shall be used.

- b. All future repairs, modifications, removal, or other activities affecting the IMPROVEMENTS.
2. LICENSEE or its contractor shall notify the AMAFCA Project Manager by phone call to 884-2215 at least forty-eight (48) hours prior to beginning work on or in the Property.
3. LICENSEE shall be responsible for all damages caused by the construction activities to AMAFCA's facilities or Property, whether caused by or in any way resulting from the actions of LICENSEE, its successors or assigns, or its contractor. To ensure repair of such damages, LICENSEE shall require its contractor, if work will be performed by a second party, to obtain a Temporary Construction and Access License from AMAFCA prior to construction.
4. All construction by LICENSEE or its contractor and materials within the limits of the Licensed Area shall be subject to inspection and approval by AMAFCA's Project Manager or his representative to ensure compliance with the approved plans. Any AMAFCA comments shall be directed to LICENSEE.
5. AMAFCA shall have the authority to cause the installation of any of the IMPROVEMENTS to be stopped, or to require that the IMPROVEMENTS be removed by LICENSEE from AMAFCA's Property, if the construction does not comply with the approved plans.
6. LICENSEE shall revegetate the ground area within the Licensed Area, with the exception of the maintenance road and the Pond bottom, that is disturbed by construction in accordance with City of Albuquerque Standard Specifications for Public Works Construction, Section 1012 Native Grass Seeding, as currently updated.
7. All construction, operation, maintenance, repair, relocation and removal of the IMPROVEMENTS shall be accomplished at the sole expense of LICENSEE. Any existing survey control or right-of-way monuments that are moved or destroyed as a result of the actions permitted by this License Agreement shall be replaced by a registered surveyor at the sole expense of LICENSEE.
8. LICENSEE agrees that all rights granted herein are subordinate to the flood control function of and access to AMAFCA's facilities. All work shall be performed in such a manner as will not damage or interfere with the operation and maintenance of and access to AMAFCA's flood control facilities and equipment.
9. LICENSEE shall indemnify and hold AMAFCA harmless from all claims or judgments for damages or injury to property or persons to the extent caused by LICENSEE arising from the construction, operation, maintenance, relocation or removal of the IMPROVEMENTS and related equipment, and shall defend AMAFCA against any such claim. LICENSEE shall reimburse AMAFCA for all costs and expenses incurred by AMAFCA resulting from the installation, operation, maintenance or removal of the IMPROVEMENTS should such



activities be required to prevent damage to AMAFCA or others. Determination of whether such damage is likely shall be by AMAFCA, which determination shall be reasonable. This agreement to indemnify shall not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by AMAFCA, its agents or employees.

10. Should LICENSEE fail to comply with the provisions of this License Agreement, or should LICENSEE fail to properly maintain the IMPROVEMENTS, this License Agreement and all rights and privileges herein granted may be terminated by AMAFCA. Any damage or maintenance issue caused by AMAFCA shall be excluded. However, such termination shall be preceded by written notice, giving LICENSEE at least thirty (30) days to effect a cure. If the notice concerns repair or lack of maintenance, and LICENSEE fails to effect a cure within thirty (30) days, AMAFCA may perform the required repair or maintenance and invoice LICENSEE for incurred costs, without impairing its right to terminate this License Agreement. LICENSEE shall pay such costs within sixty (60) days of the date of said invoice.
11. All notices with respect to this License Agreement shall be in writing and shall be delivered personally, via electronic mail with receipt request, or sent postage prepaid by United States Mail, via certified mail with return receipt requested, to the addresses set forth below or other such addresses as hereafter specified in writing by one Party to the others:

AMAFCA  
2600 Prospect Ave. NE  
Albuquerque, NM 87107  
Attn: Jerry Lovato, Executive Engineer  
Email: JLovato@amafca.org

Presbyterian Healthcare Services  
9521 San Mateo Blvd. NE  
Albuquerque, NM 87113  
Attn: James R. Jeppson, Direc. Real Estate  
Email: PHF@phs.org

12. This License Agreement shall be construed according to the laws of the State of New Mexico.
13. Each individual signing for each of the PARTIES hereafter warrants and represents that he is an authorized agent of such PARTY, on whose benefit he is executing this License, and is authorized to execute the same.
14. This License Agreement shall be in full force and effect for a period of twenty (20) years from the date of signature by AMAFCA and may be renewed for an additional twenty (20) year period upon request of LICENSEE and acceptance by AMAFCA. The burden of timely renewal is on LICENSEE.
15. In the event of a dispute between any of the PARTIES, each PARTY shall be responsible for its own costs and attorney's fees.

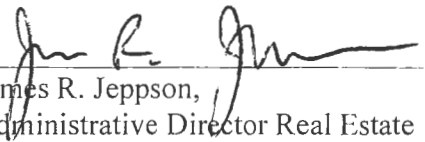






**LICENSEE:**

PRESBYTERIAN HEALTHCARE SERVICES

By:   
James R. Jeppson,  
Administrative Director Real Estate

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO            )  
                                                  )SS  
COUNTY OF BERNALILLO        )

This instrument was acknowledged before me on August 4, 2015  
by James R. Jeppson, as Administrative Director Real Estate of Presbyterian Healthcare Services, a  
New Mexico Corporation, on behalf of said corporation.


My Commission Expires:

Sept 22, 2018



**Official Seal**  
**Linda C. Vath**  
Notary Public  
State of New Mexico

(SEAL)  
My Commission Expires: _____

  
Notary Public



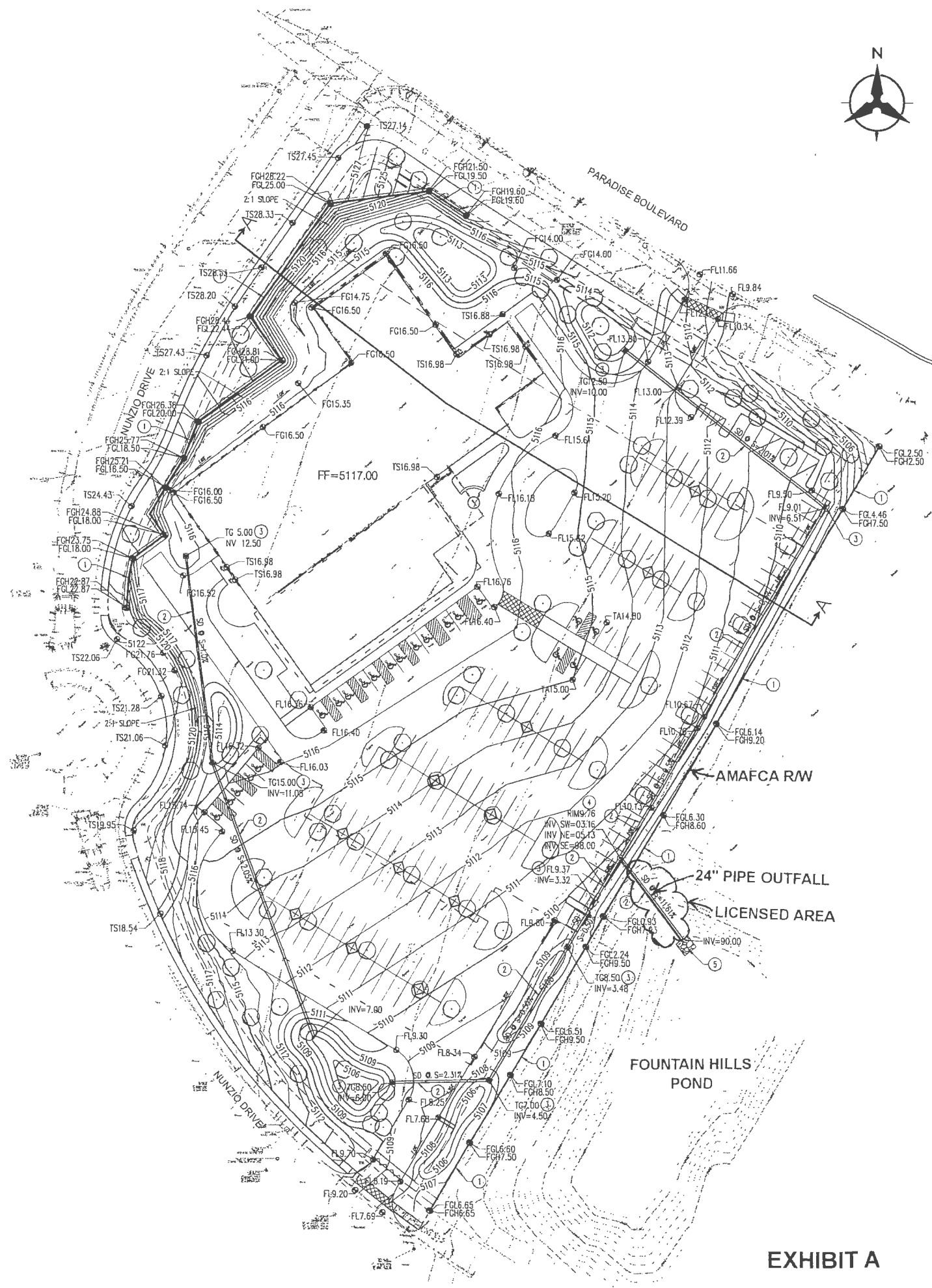


EXHIBIT A



# CITY OF ALBUQUERQUE

*Planning Department*  
Suzanne Lubar, Director



*Mayor Richard J. Berry*

October 19, 2015

Glen Broughton, P.E.  
Bohannon-Huston Inc.  
7500 Jefferson St. NE Court Yard 1  
Albuquerque, New Mexico 87109

**RE: Presbyterian Paradise Clinic  
4588 Paradise Blvd NW  
Grading and Drainage Plan  
Engineers Stamp Date 10/8/15 (C12D003B7)**

Dear Mr. Broughton,

Based upon the information provided in your submittal received 10/8/15, this plan is approved for Grading Permit and Paving Permit.

Please attach a copy of this approved plan dated 10/8/15 to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Hydrology  
Planning Department

RR/RH  
C: File