

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

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**Re: Fountain Hills Plaza Assisted Living
4551 Vista Fuente Rd NW
60-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection**

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www.cabq.gov

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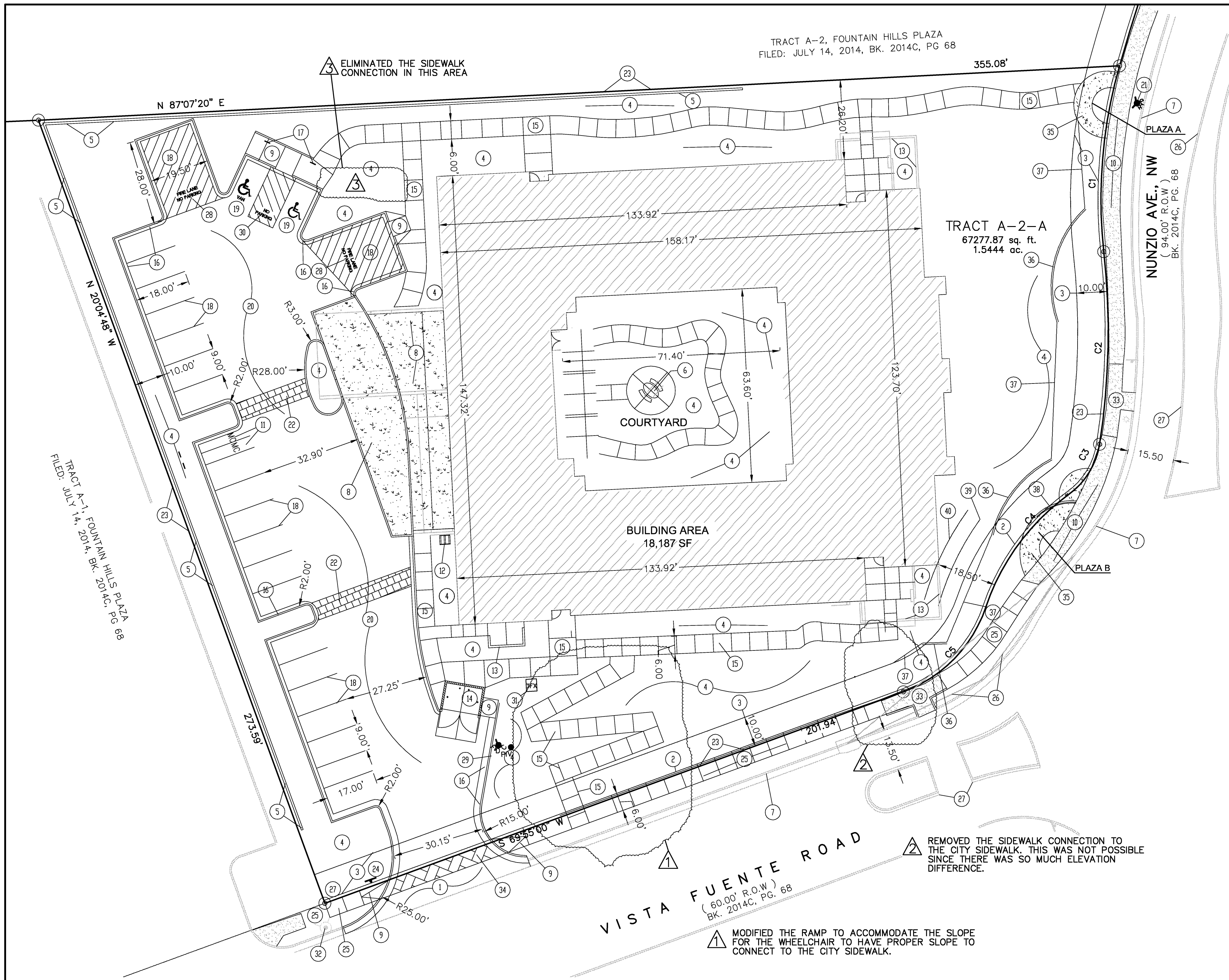
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LEGEND	
	BOUNDARY LINE
	EASEMENT LINE
	EXISTING OVERHEAD UTILITY
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING FIRE HYDRANT
	EXISTING DROP INLET
	PROPOSED SIDEWALK
	NEW FIRE HYDRANT



VICINITY MAP: C-12-Z

LEGAL DESCRIPTION:
TRACT A-2-A, FOUNTAIN HILLS PLAZA
CONTAINING 1.5444 ACRE
ZONING: SU-1 FOR PDA TO INCLUDE C-3 USES
ADDRESS: 4590 PARADISE BLVD NW

- ### SHEET INDEX
1. SITE PLAN FOR BUILDING PERMIT
 2. SITE PLAN FOR SUBDIVISION
 - 3 LANDSCAPING PLAN
 4. GRADING AND DRAINAGE PLAN
 5. UTILITY PLAN
 6. ELEVATIONS

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 5-18-2007, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

- #### KEYED NOTES
- | | | |
|--|--|---|
| 1. CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2426 | 12. BICYCLE RACK (2 BICYCLES). | 26. 50-FT SITE TRIANGLE. (NO VISIBILITY OBSTRUCTIONS SHALL OCCUR WITHIN) |
| 2. EXISTING 1' (FT) PUBLIC ROADWAY EASEMENT (REC. 7-14-2014, BK. 2014C, PG 68). | 13. CMU WITH STUCCO FINISH PATIO OR SCREEN WALL. | 27. EXISTING MEDIAN CURB AND GUTTER. |
| 3. EXISTING 10' (FT) WIDE PUBLIC UTILITY EASEMENT (REC. 7-14-2014, BK. 2014C, PG 68). | 14. REFUSE ENCLOSURE. PER C. O. A. STANDARD. | 28. 4-INCH HIGH WHITE LETTERS "FIRE LANE NO PARKING" OVER RED PAINTED CURB. SEE FIRE 1 PLAN, SHOWN AS A HEAVY LINE AT REQUIRED CURBS. |
| 4. LANDSCAPING AREA, SEE LANDSCAPE PLAN. | 15. PROPOSED 6' CONCRETE SIDEWALK. | 29. PIPE BOLLARD. |
| 5. RETAINING WALL, (GRAY OR TAN COLOR) AS REQUIRED, ALONG PROPERTY LINE, SEE GRADING PLAN. | 16. PROPOSED MEDIAN CURB AND GUTTER TYP., STD DWG # 2415B. | 30. TRAFFIC PAINTED "NO PARKING". DESIGNATION AS SHOWN. MINIMUM 12"H AND 5-1/2"W LETTERS. PLACED AS SHOWN. |
| 6. PRECAST CONCRETE PICNIC TABLES (42"x72" OVAL, MATERIALS INC. "FIESTA") ON 16 FEET DIAMETER CONCRETE PATIO AS SHOWN. | 17. HANDICAP SIGN PER COA STANDARDS. MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978. VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING. MINIMUM 50% OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. | 31. ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD. |
| 7. EXISTING STANDARD CURB AND GUTTER. | 18. 9.00' WIDE X 18' DEEP PARKING SPACES, TYP. TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT). | 32. EXISTING FIRE HYDRANT. |
| 8. PROPOSED CONCRETE PAVEMENT. | 19. HANDICAPPED PARKING SYMBOL PER COABQ STANDARD. | 33. EXISTING WHEELCHAIR RAMP. |
| 9. WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441, ALL RAMP SHALL COMPLY WITH ADA REQUIREMENTS. 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES. WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF ALL RAMP WITHIN PUBLIC R.O.W., SEE DETAIL THIS SHEET. | 20. ASPHALT PAVING AREA, TYP., MIN. 3" ASPHALT OVER COMPACTED SUBGRADE. (PAVING PER GEOTECHNICAL REPORT) | 34. CROSS WALK. |
| 10. EXISTING 6' (FT) SIDEWALK ALONG LOMA FUENTE AS SHOWN. | 21. NEW FIRE HYDRANT PER CITY STD. DWG 2340. | 35. DECORATIVE CONCRETE IN URBAN PAZA AREA. |
| 11. 4'x8' MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE. | 22. 6' WIDE PEDESTRIAN WALK, COLORED CONCRETE. | 36. 72" DECORATIVE METAL PANEL FENCE. |
| | 23. PROPERTY LINE. | 37. 42" METAL PIPE RAIL. |
| | 24. INSTALL STANDARD COABQ STOP SIGN AND POST. | 38. SITE BENCH. |
| | 25. NEW 6' SIDEWALK, PER CITY STD. DWG #2430. INFILL AREAS WHERE EXISTING WALK IS NOT OCCURRING. MATCH EXISTING. | 39. 15' SETBACK LINE. |
| | | 40. 20' SETBACK LINE. |

REZA AFAGHPOUR
P.E. #11814
NEW MEXICO
11814
9/29/2021
LICENSED PROFESSIONAL ENGINEER

SBS CONSTRUCTION AND ENGINEERING, LLC

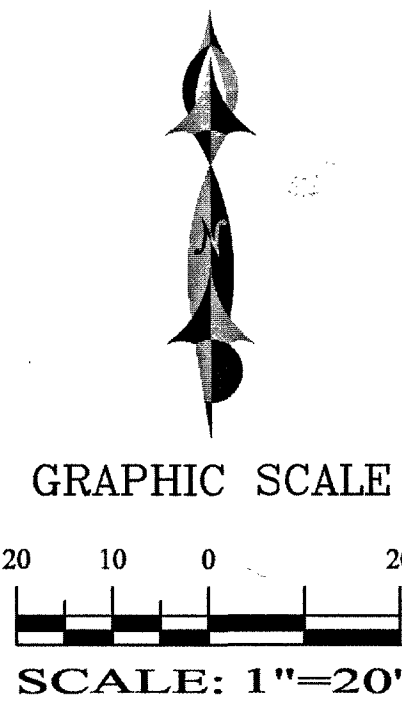
10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

FOUNTAIN HILLS PLAZA ASSISTED LIVING SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201725-SITE.DWG	SDR	12-7-2017	1 OF 6

TRACT A-2, FOUNTAIN HILLS PLAZA
FILED: JULY 14, 2014, BK. 2014C, PG. 68

TRACT A-1, FOUNTAIN HILLS PLAZA
FILED: JULY 14, 2014, BK. 2014C, PG. 68



CURVE	RADIUS	ARC LENGTH	CHORD DISTANCE	CHORD BEARING
C1	160.00'	61.55'	61.17'	S 04°51'08" W
	(160.00')	(61.46')	(61.08')	(S 04°44'33" W)
C2	240.00'	63.42'	63.23'	S 01°14'58" W
	(240.00')	(63.38')	(63.20')	(S 01°08'17" W)
C3	25.00'	19.77'	19.26'	S 31°31'23" W
	(25.00')	(19.26')	(19.26')	(S 31°31'23" W)
C4	75.00'	46.59'	45.84'	S 36°22'45" W
	(75.00')	(46.59')	(45.84')	(S 36°22'45" W)
C5	45.00'	40.22'	38.90'	S 44°10'46" W
	(45.00')	(40.30')	(38.96')	(S 44°14'13" W)
C6	6486.09'	55.42'	55.42'	S 55°21'16" E
C7	30.10'	46.73'	42.17'	S 10°33'18" E
C8	522.49'	166.52'	165.81'	S 24°51'36" E

KEYED NOTES

- CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2426
- EXISTING 1' (FT) PUBLIC ROADWAY EASEMENT (REC. 7-14-2014, BK. 2014C, PG. 68).
- EXISTING 10' (FT) WIDE PUBLIC UTILITY EASEMENT (REC. 7-14-2014, BK. 2014C, PG. 68).
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- RETAINING WALL, (GRAY OR TAN COLOR) AS REQUIRED, ALONG PROPERTY LINE, SEE GRADING PLAN.
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- PIPE BOLLARD.
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- ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD.
- EXISTING FIRE HYDRANT.
- EXISTING WHEELCHAIR RAMP.
- CROSS WALK.
- DECORATIVE CONCRETE IN URBAN PAZA AREA.
- 72" DECORATIVE METAL PANEL FENCE.
- 42" METAL PIPE RAIL.
- SITE BENCH.
- 15' SETBACK LINE.
- 20' SETBACK LINE.

LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING DROP INLET
- PROPOSED SIDEWALK
- NEW FIRE HYDRANT



VICINITY MAP:

C-12-Z

LEGAL DESCRIPTION:

TRACT A-2-A, FOUNTAIN HILLS PLAZA
CONTAINING 1.5444 ACRE
ZONING: SU-1 FOR PDA TO INCLUDE C-3 USES
ADDRESS: 4590 PARADISE BLVD NW

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- SITE PLAN FOR BUILDING PERMIT
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- UTILITY PLAN
- ELEVATIONS

PROJECT NUMBER: 1003446

APPLICATION NUMBER: 17DRB-70370

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 5-18-2007, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Ramona M. Murrill 1/24/18
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
Kristi Cochran 03-02-18
ABCWA DATE
Joe C. Hays 1/24/18
PARKS AND RECREATION DEPARTMENT DATE
R. J. Hays 1/24/18
CITY ENGINEER DATE
Paul Williams 1-04-18
SOLID WASTE MANAGEMENT DATE
W. J. Hays 03-2018
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



REZA AFGHPOUR
P.E. #11814

SBS CONSTRUCTION
AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

FOUNTAIN HILLS PLAZA ASSISTED LIVING SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201725-SITE.DWG	SDR	12-7-2017	1 OF 6

LAST REVISION: 1-19-2018

SBS CONSTRUCTION AND ENGINEERING, LLC

SEPTEMBER 29, 2021

TRAFFIC ENGINEERING, PLANNING DEPT.
DEVELOPMENT AND BUILDING PERMIT
600 2nd STREET, SW
ALBUQUERQUE, NM 87102

RE: TRACT A-2-A, FOUNTAIN HILLS PLAZA, 4551 VISTA FUENTE ROAD., NW.
FINAL CERTIFICATE OF OCCUPANCY, DRB PROJ.# 1003445, APP# 17DRB-73070
BUILDING PERMIT# BP2019-49252

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN FOR BUILDING PERMIT DATED 05-30-2018, DRB PROJ.# 1003445, APP.# 17DRB-73070

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LEONARD MARTINEZ OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 25TH, 2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



REZA AFAGHPOUR, PE

9/29/2021

DATE



SBS CONSTRUCTION AND ENGINEERING, LLC

September 29, 2021

Mr. Ernest Gomez
Plan Checker
Development Review Services
City of Albuquerque Planning Department
PO Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: 4551 Vista Fuente Rd., NW, File #C12D003B8, Building Permit #BP-2019-49252, DRB
Project #1003445-17DRB-70370

Dear Mr Gomez;

Attached please find original approval copy of the site plan by DRB and also another copy with highlighted changes with revision cloud to show the changes on the site plan. This letter is the respond your for the transportation certification for final CO.

- 1) The stop sign is installed.
- 2) The area of the ramp that did not comply with 6' wide has been removed and replaced.
- 3) There is a second sheet added to the submittal to show the sidewalk connections. These changes are shown with revision cloud 1, 2, and 3.
- 4) The ADA ramps lips in the public right of way has been shaved.
- 5) All the ADA signs have been added.
- 6) All the pavement marking is complete, site is cleaned up and all the equipment has been removed.

I did make a mistake on the submittal sheet. The address of the site is 4551 Vista Fuente Road, NW. I marked 4051. There is another issue that City GIS shows this address as 4551 Vista Vuento, NW. That's how the building permit is issued. I have tried with City address assignment to modify the address but until now has not been changed.

If you require additional information regarding this project, items please do not hesitate to contact me at (505) 804-5013.

Sincerely,

Shawn Biazar

Shawn Biazar, Managing Member



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: FOUNTAIN HILLS PLAZA ASSISTED LIVING **Building Permit #:** BP-2019-49252 **Hydrology File #:** C12D003B8
DRB#: 1003445-17DRB-70370 **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT A-2-A, FOUNTAIN HILL PLAZA
City Address: 4551 VISTA FUENTE RD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 7632 WILLIAM MOYERS AVE., NE, ALBUQUERQUE, NM 87122
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 09-29-2021 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____