

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

January 31, 2022

Reza Afaghpour, PE  
SBS Construction & Engineering LLC  
7632 William Moyers Ave NE  
Albuquerque, NM 87122

**Re: Fountain Hills Plaza Assisted Living  
4551 Vista Fuente Rd NW  
Request for Certificate of Occupancy  
Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 11-19-18 (C12D003B8)  
Certification dated 9-29-21

Dear Mr. Afaghpour,

PO Box 1293

Based upon the information provided in your email received 1-25-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

*Jeanne Wolfenbarger*

www.cabq.gov

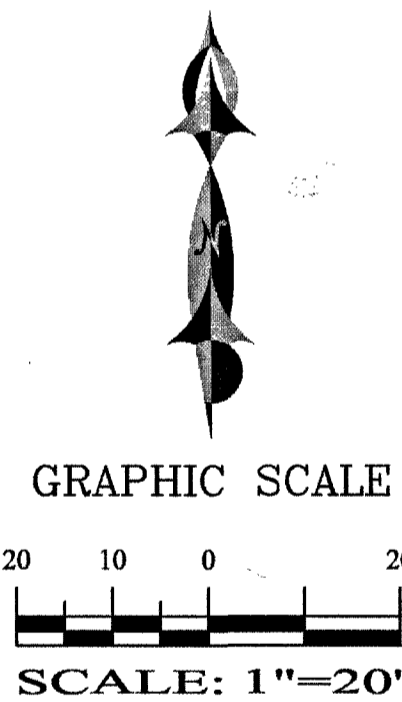
Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

TRACT A-2, FOUNTAIN HILLS PLAZA  
FILED: JULY 14, 2014, BK. 2014C, PG. 68

TRACT A-1, FOUNTAIN HILLS PLAZA  
FILED: JULY 14, 2014, BK. 2014C, PG. 68



| CURVE | RADIUS    | ARC LENGTH | CHORD DISTANCE | CHORD BEARING   |
|-------|-----------|------------|----------------|-----------------|
| C1    | 160.00'   | 61.55'     | 61.17'         | S 04°51'08" W   |
|       | (160.00') | (61.46')   | (61.08')       | (S 04°44'33" W) |
| C2    | 240.00'   | 63.42'     | 63.23'         | S 01°14'58" W   |
|       | (240.00') | (63.38')   | (63.20')       | (S 01°08'17" W) |
| C3    | 25.00'    | 19.77'     | 19.26'         | S 31°31'23" W   |
|       | (25.00')  | (19.26')   | (19.26')       | (S 31°31'23" W) |
| C4    | 75.00'    | 46.59'     | 45.84'         | S 36°22'45" W   |
|       | (75.00')  | (46.59')   | (45.84')       | (S 36°22'45" W) |
| C5    | 45.00'    | 40.22'     | 38.90'         | S 44°10'46" W   |
|       | (45.00')  | (40.30')   | (38.96')       | (S 44°14'13" W) |
| C6    | 6486.09'  | 55.42'     | 55.42'         | S 55°21'16" E   |
| C7    | 30.10'    | 46.73'     | 42.17'         | S 10°33'18" E   |
| C8    | 522.49'   | 166.52'    | 165.81'        | S 24°51'36" E   |

#### KEYED NOTES

- CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2426
- EXISTING 1' (FT) PUBLIC ROADWAY EASEMENT (REC. 7-14-2014, BK. 2014C, PG. 68).
- EXISTING 10' (FT) WIDE PUBLIC UTILITY EASEMENT (REC. 7-14-2014, BK. 2014C, PG. 68).
- LANDSCAPING AREA, SEE LANDSCAPE PLAN.
- RETAINING WALL, (GRAY OR TAN COLOR) AS REQUIRED, ALONG PROPERTY LINE, SEE GRADING PLAN.
- PRECAST CONCRETE PICNIC TABLES (42"x72" OVAL, MATERIALS INC. "FIESTA") ON 16 FEET DIAMETER CONCRETE PATIO AS SHOWN.
- EXISTING STANDARD CURB AND GUTTER.
- PROPOSED CONCRETE PAVEMENT.
- WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441, ALL RAMPS SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES, WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF ALL RAMPS WITHIN PUBLIC R.O.W., SEE DETAIL THIS SHEET.
- EXISTING 6' (FT) SIDEWALK ALONG LOMA FUENTE AS SHOWN.
- 4'x8" MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.
- BICYCLE RACK (2 BICYCLES).
- CMU WITH STUCCO FINISH PATIO OR SCREEN WALL.
- REFUSE ENCLOSURE. PER C. O. A. STANDARD.
- PROPOSED 6' CONCRETE SIDEWALK.
- PROPOSED MEDIAN CURB AND GUTTER TYP., STD DWG # 2415B.
- HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING, MINIMUM 50% OF HC SPACES SHALL BE SIGNED FOR VAN PARKING.
- 9.00' WIDE X 18' DEEP PARKING SPACES, TYP. TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT).
- HANDICAPPED PARKING SYMBOL PER COABQ STANDARD.
- ASPHALT PAVING AREA, TYP., MIN. 3" ASPHALT OVER COMPACTED SUBGRADE. (PAVING PER GEOTECHNICAL REPORT)
- NEW FIRE HYDRANT PER CITY STD. DWG 2340.
- 6' WIDE PEDESTRIAN WALK, COLORED CONCRETE.
- PROPERTY LINE.
- INSTALL STANDARD COABQ STOP SIGN AND POST.
- NEW 6' SIDEWALK, PER CITY STD. DWG #2430. INFILL AREAS WHERE EXISTING WALK IS NOT OCCURRING. MATCH EXISTING.
- 50-FT SITE TRIANGLE. (NO VISIBILITY OBSTRUCTIONS SHALL OCCUR WITHIN)
- EXISTING MEDIAN CURB AND GUTTER.
- 4-INCH HIGH WHITE LETTERS "FIRE LANE NO PARKING" OVER RED PAINTED CURB. SEE FIRE 1 PLAN, SHOWN AS A HEAVY LINE AT REQUIRED CURBS.
- PIPE BOLLARD.
- TRAFFIC PAINTED "NO PARKING". DESIGNATION AS SHOWN. MINIMUM 12"H AND 5-1/2"W LETTERS. PLACED AS SHOWN.
- ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD.
- EXISTING FIRE HYDRANT.
- EXISTING WHEELCHAIR RAMP.
- CROSS WALK.
- DECORATIVE CONCRETE IN URBAN PAZA AREA.
- 72" DECORATIVE METAL PANEL FENCE.
- 42" METAL PIPE RAIL.
- SITE BENCH.
- 15' SETBACK LINE.
- 20' SETBACK LINE.

#### LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING DROP INLET
- PROPOSED SIDEWALK
- NEW FIRE HYDRANT



VICINITY MAP:

C-12-Z

#### LEGAL DESCRIPTION:

TRACT A-2-A, FOUNTAIN HILLS PLAZA  
CONTAINING 1.5444 ACRE  
ZONING: SU-1 FOR PDA TO INCLUDE C-3 USES  
ADDRESS: 4590 PARADISE BLVD NW

#### SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- SITE PLAN FOR SUBDIVISION
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- UTILITY PLAN
- ELEVATIONS

PROJECT NUMBER: 1003446

APPLICATION NUMBER: 17DPB-70370

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 5-18-2007, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*Ramona M. Murrill* 1/24/18  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE  
*Kristi Cochran* 03-02-18  
ABCWA DATE  
*Joe C. Hartz* 1/24/18  
PARKS AND RECREATION DEPARTMENT DATE  
*R. J. Smith* 1/24/18  
CITY ENGINEER DATE  
*Paul Williams* 1-04-18  
SOLID WASTE MANAGEMENT DATE  
*W. J. ...* 3-3-2018  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



REZA AFGHPOUR  
P.E. #11814

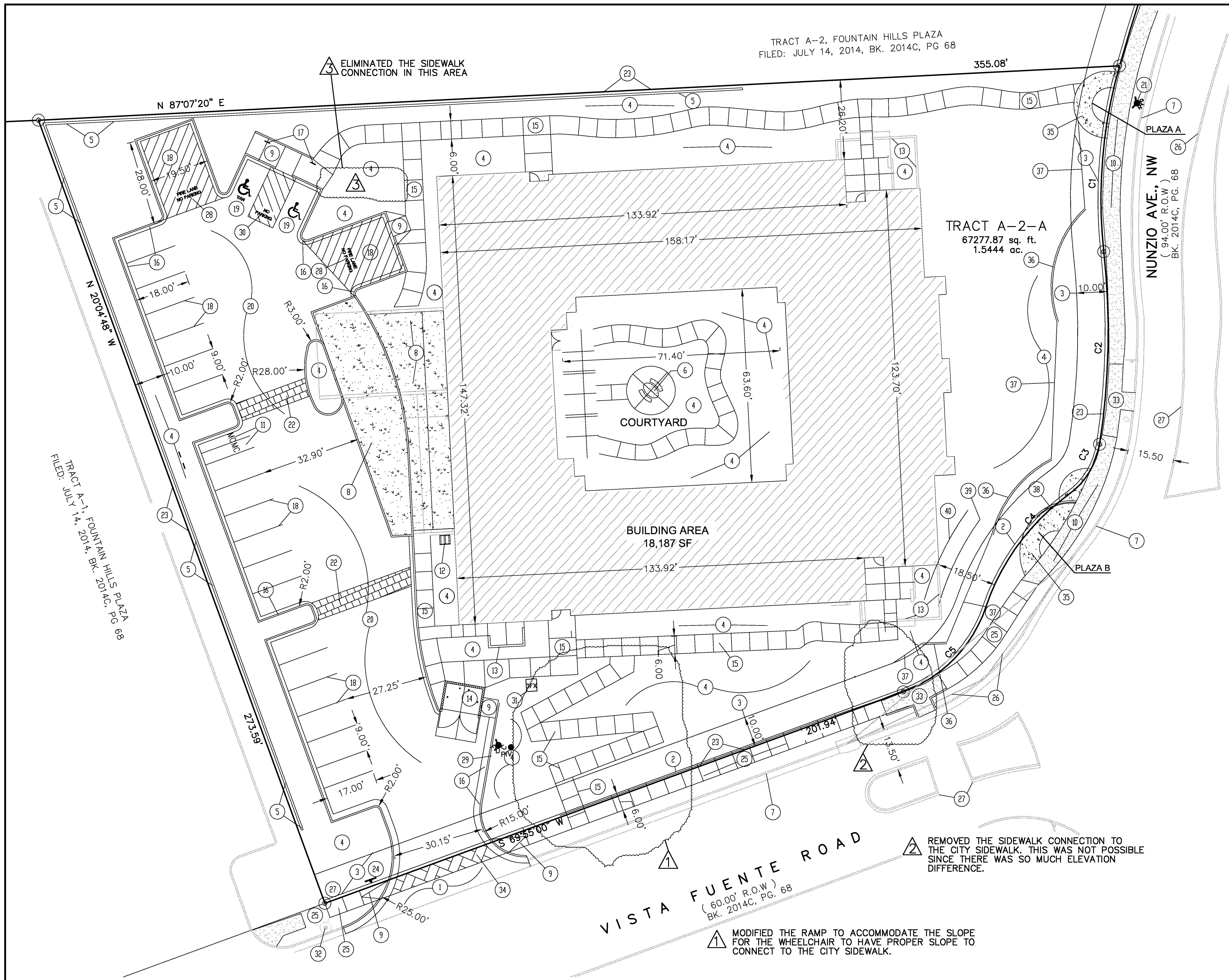
**SBS CONSTRUCTION  
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013

#### FOUNTAIN HILLS PLAZA ASSISTED LIVING SITE PLAN FOR BUILDING PERMIT

|                 |           |           |         |
|-----------------|-----------|-----------|---------|
| DRAWING:        | DRAWN BY: | DATE:     | SHEET # |
| 201725-SITE.DWG | SDR       | 12-7-2017 | 1 OF 6  |

LAST REVISION: 1-19-2018



- LEGEND**
- BOUNDARY LINE
  - EASEMENT LINE
  - EXISTING OVERHEAD UTILITY
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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|  |      |
|--|------|
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE |
| ABCWUA                                       | DATE |
| PARKS AND RECREATION DEPARTMENT              | DATE |
| CITY ENGINEER                                | DATE |
| SOLID WASTE MANAGEMENT                       | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT         | DATE |

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10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013

| FOUNTAIN HILLS PLAZA ASSISTED LIVING<br>SITE PLAN FOR BUILDING PERMIT |           |           |         |
|---|-----------|-----------|---------|
| DRAWING:  | DRAWN BY: | DATE:     | SHEET # |
| 201725-SITE.DWG   | SDR       | 12-7-2017 | 1 OF 6  |

# *SBS CONSTRUCTION AND ENGINEERING, LLC*

SEPTEMBER 29, 2021

TRAFFIC ENGINEERING, PLANNING DEPT.  
DEVELOPMENT AND BUILDING PERMIT  
600 2nd STREET, SW  
ALBUQUERQUE, NM 87102

RE: TRACT A-2-A, FOUNTAIN HILLS PLAZA, 4551 VISTA FUENTE ROAD., NW.  
FINAL CERTIFICATE OF OCCUPANCY, DRB PROJ.# 1003445, APP# 17DRB-73070  
BUILDING PERMIT# BP2019-49252

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN FOR BUILDING PERMIT DATED 05-30-2018, DRB PROJ.# 1003445, APP.# 17DRB-73070

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LEONARD MARTINEZ OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 25TH, 2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



REZA AFAGHPOUR, PE

9/29/2021

DATE



# *SBS CONSTRUCTION AND ENGINEERING, LLC*

September 29, 2021

Mr. Ernest Gomez  
Plan Checker  
Development Review Services  
City of Albuquerque Planning Department  
PO Box 1293, 600 Second Street, NW  
Albuquerque, NM 87103

RE: 4551 Vista Fuente Rd., NW, File #C12D003B8, Building Permit #BP-2019-49252, DRB  
Project #1003445-17DRB-70370

Dear Mr Gomez;

Attached please find original approval copy of the site plan by DRB and also another copy with highlighted changes with revision cloud to show the changes on the site plan. This letter is the respond your for the transportation certification for final CO.

- 1) The stop sign is installed.
- 2) The area of the ramp that did not comply with 6' wide has been removed and replaced.
- 3) There is a second sheet added to the submittal to show the sidewalk connections. These changes are shown with revision cloud 1, 2, and 3.
- 4) The ADA ramps lips in the public right of way has been shaved.
- 5) All the ADA signs have been added.
- 6) All the pavement marking is complete, site is cleaned up and all the equipment has been removed.

I did make a mistake on the submittal sheet. The address of the site is 4551 Vista Fuente Road, NW. I marked 4051. There is another issue that City GIS shows this address as 4551 Vista Vuento, NW. That's how the building permit is issued. I have tried with City address assignment to modify the address but until now has not been changed.

If you require additional information regarding this project, items please do not hesitate to contact me at (505) 804-5013.

Sincerely,

*Shawn Biazar*

Shawn Biazar, Managing Member