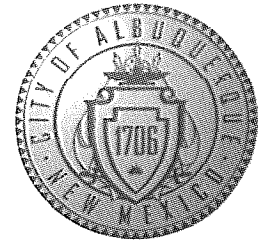


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 17, 2022

Dennis A Lorenz
Lorenz Design & Consulting LLC
3308 Calle De Daniel NW
Albuquerque, NM 87104

Re: The Learning Experience
4580 Nunzio Ave. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 9-17-20 (C12-D003C)
Certification dated 02-15-22

Dear Mr. Elliott,

Based upon the information provided in your submittal received 02-15-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- The missing section of the public sidewalk needs to be constructed prior of release the final CO.
- Tripping hazard on pedestrian pathway from public sidewalk. 2 of Concretes' pieces are not even. (located by the fire hydrant). Please fix this issue.
- The width of the West side (of parking spaces) driveway access is 22' (please red mark the site plan).

NM 87103

www.cabq.gov

Once these corrections are complete, email pictures & redlined TCL plan showing the changes to PLNDRS@cabq.gov, and malnajjra@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: The Learning Experience **Building Permit #:** _____ **Hydrology File #:** C12-D003C
DRB#: NA **EPC#:** NA **Work Order#:** NA
Legal Description: Tract F, Fountain Hills Plaza Subdivision
City Address: 4580 Nunzio Ave NW

Applicant: Lorenz Design & Consulting LLC **Contact:** Dennis A Lorenz
Address: 3308 Calle De Daniel NW, Albuquerque, NM
Phone#: 505-220-0869 **Fax#:** _____ **E-mail:** dennisl@lorenznm.com

Other Contact: SCM Partners **Contact:** S. Haynes
Address: PO Box 9043, Albuquerque, NM 87119
Phone#: 505-898-6622 **Fax#:** _____ **E-mail:** Scooter@SCM Partners.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
 _____ PAD CERTIFICATION
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ DRAINAGE REPORT
 _____ DRAINAGE MASTER PLAN
 _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 _____ ELEVATION CERTIFICATE
 _____ CLOMR/LOMR
 _____ TRAFFIC CIRCULATION LAYOUT (TCL)
 _____ TRAFFIC IMPACT STUDY (TIS)
 _____ STREET LIGHT LAYOUT
 _____ OTHER (SPECIFY) _____
 _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY
 _____ PRELIMINARY PLAT APPROVAL
 _____ SITE PLAN FOR SUB'D APPROVAL
 _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
 _____ FOUNDATION PERMIT APPROVAL
 _____ GRADING PERMIT APPROVAL
 _____ SO-19 APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ GRADING/ PAD CERTIFICATION
 _____ WORK ORDER APPROVAL
 _____ CLOMR/LOMR
 _____ FLOODPLAIN DEVELOPMENT PERMIT
 _____ OTHER (SPECIFY) _____

DATE SUBMITTED: February 15, 2022 **By:** Dennis A. Lorenz PE

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



**TRAFFIC CERTIFICATION
TEMPORARY CERTIFICATE OF OCCUPANCY**

I, DENNIS A. LORENZ, NMPE, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-17-2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BREAKLINE ENGINEERING LLC, AND DENNIS A. LORENZ, NMPE, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01-17-2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE FOLLOWING ITEMS MUST BE COMPLETED PRIOR TO ISSUANCE OF PERMANENT CERTIFICATE OF OCCUPANCY:

1. CONSTRUCTION OF PUBLIC SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTAGE PER PLAN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DENNIS A. LORENZ, NMPE 9647

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	83.26'	805.00'	31.64'	83.24'	S85°49'07"E	4°30'08"
C2	125.83'	412.50'	92.89'	125.81'	S81°32'22"E	27°10'24"

TRAFFIC CIRCULATION LAYOUT
APPROVED

9/23/20

Signed

Date

24' PRIVATE WATER,
DRAINAGE, SEWER AND
UTILITY EASEMENT

TRACT C
FOUNTAIN HILLS PLAZA
Plan 8-19-2007, Sh. 2007C, Pg. 270

TRACT E
FOUNTAIN HILLS PLAZA
Plan 8-19-2007, Sh. 2007C, Pg. 270

TRACT G
FOUNTAIN HILLS PLAZA
Plan 8-19-2007, Sh. 2007C, Pg. 270

TRACT H
FOUNTAIN HILLS PLAZA
Plan 8-19-2007, Sh. 2007C, Pg. 270

NOTE:
ALL AS-BUILT CHANGES
ARE SHOWN IN RED

GENERAL NOTES

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ANY CURB AND GUTTER WITHIN THE PUBLIC RIGHT-OF-WAY BROKEN DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED PER COA STD DWG 2407 AND 2415A.

PARKING CALCULATIONS

OCCUPANCY TYPE	CHILD DAY CARE
BUILDING AREA	9,587 SF
PARKING SPACES REQUIRED	24
PARKING SPACES PROVIDED	34-33
HANDICAP SPACES REQUIRED	2
HANDICAP SPACES PROVIDED	2
ALL REGULAR SPACES ARE 8'5" X 18'	
MOTORCYCLE SPACES REQUIRED	1
MOTORCYCLE SPACES PROVIDED	2
BICYCLE SPACES REQUIRED	3
BICYCLE SPACES PROVIDED	3

KEYED NOTES

- EXISTING CONCRETE CURB AND GUTTER
- EXISTING ASPHALT PAVEMENT
- EXISTING GRAVEL SURFACING
- REMOVE & DISPOSE EXISTING CURB & GUTTER. CONSTRUCT CONCRETE VALLEY GUTTER WITH ACCESSIBLE RAMP. SEE COA STD DWGS 2420 & 2428
- CONSTRUCT 6" PUBLIC SIDEWALK. SEE COA STD DWG 2430
- REMOVE & DISPOSE EXISTING ASPHALT CURB TO LIMITS SHOWN. CONSTRUCT 8-INCH CONCRETE CURB. SEE DETAIL B/C004
- REMOVE & DISPOSE EXISTING ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL A/C004
- CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL B/C004
- CONSTRUCT TURNDOWN SIDEWALK. SEE DETAIL C/C004
- CONSTRUCT 6" CONCRETE PEDESTRIAN CONNECTION TO NUNZIO AVENUE
- CONSTRUCT CONCRETE SIDEWALK
- CONSTRUCT HANDICAP RAMP TYPE-1. SEE DETAIL D/C004
- CONSTRUCT HANDICAP RAMP TYPE-2. SEE DETAIL E/C004
- INSTALL HANDICAP PARKING SIGNAGE. SEE DETAIL F/C004 (BUILDING MOUNTED)
- CONSTRUCT MOTOR CYCLE PARKING SIGN. SEE DETAIL G/C004 (BUILDING MOUNTED)
- PROVIDE STRIPING AT ACCESSIBLE AREA PER CODE. PROVIDE THE WORDS "NO PARKING" IN CAPITAL LETTERS, 1" HIGH AND 2" WIDE AT THE REAR OF THE ACCESSIBLE SPACE.
- INSTALL CONCRETE TIRE STOPS
- CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL A/C004
- CONSTRUCT RETAINING WALL. DETAIL BY OTHERS
- CHILD PLAY AREA
- CONSTRUCT NEW REFUSE ENCLOSURE
- INSTALL NEW BICYCLE RACK - 3 SPACES MINIMUM
- CONSTRUCT PVC FENCING AND GATES
- NEW LANDSCAPING. SEE LANDSCAPE PLAN
- EDGE OF PAVEMENT - NO CURB
- INSTALL 24" WIDE TRUNCATED DOMES AT ALL ACCESSIBLE RAMPS
- 35' X 35' CLEAR SIGHT TRIANGLE. SEE GENERAL NOTE 1
- INSTALL 2 TYPE II BARRICADES PER COA STD DWG 2803 AT TERMINUS OF ACCESS DRIVE

LEGEND

ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
RETAINING WALL	R/R	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
PARKING COUNT		11
CLEAR SIGHT TRIANGLE	---	---
PAVEMENT R/R		---

SITE INFORMATION

PROPERTY ADDRESS	4580 NUNZIO AVENUE NW ALBUQUERQUE, NEW MEXICO 87114
LEGAL DESCRIPTION	TRACT F, FOUNTAIN HILLS PLAZA SUBDIVISION
ZONING	NR-C
SITE AREA	1.1223 ACRES (48,887 SF)
BUILDING AREA	9,587 SF
LANDSCAPING RECOMMENDED	15% NET SITE AREA = (48,887 SF X 0.15) = 7,333 SF
LANDSCAPING PROVIDED	14,810 SF
BUILDING SETBACKS	FRONT 5' REAR 0' SIDE 0'



THE LEARNING
EXPERIENCE
ACADEMY OF
EARLY EDUCATION

NUNZIO AVENUE
ALBUQUERQUE, NM 87114

REVISIONS PER CITY TRAFFIC ENGINEER 9-17-2020

THE LEARNING EXPERIENCE
SITE PLAN - TRAFFIC CIRCULATION PLAN



LORENZ

2501 Rio Grande Blvd NW, Suite A
Albuquerque, New Mexico 87104
PH: 505-840-0500 FAX: 505-243-9808

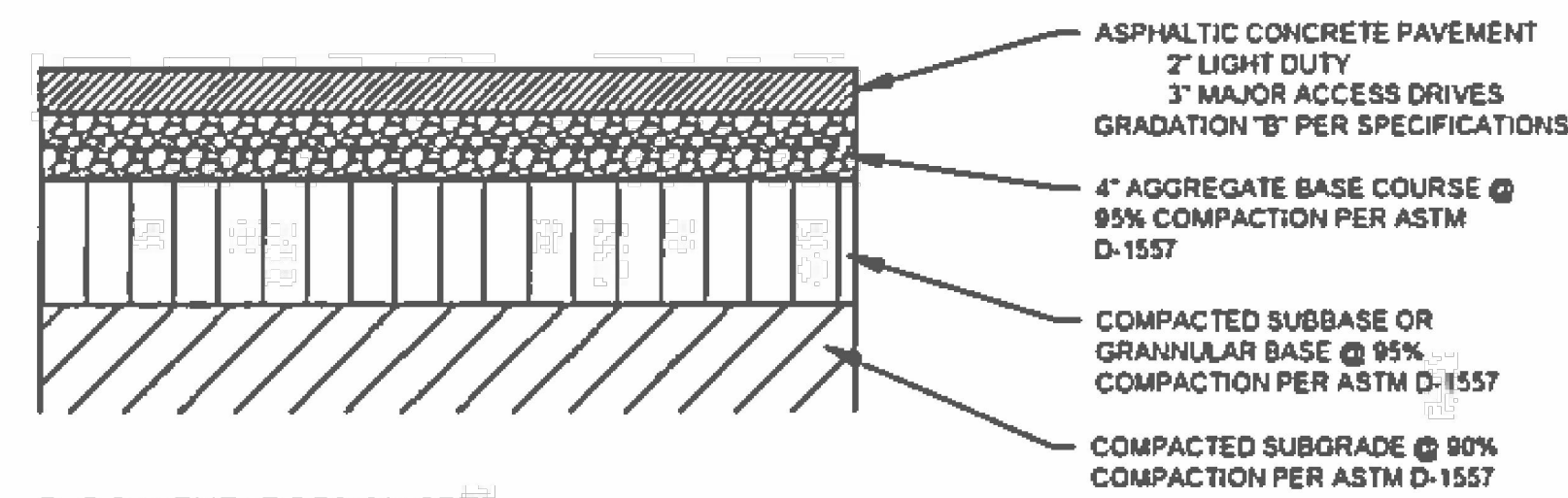
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DATE: June 2020

CHECKED BY: DAL

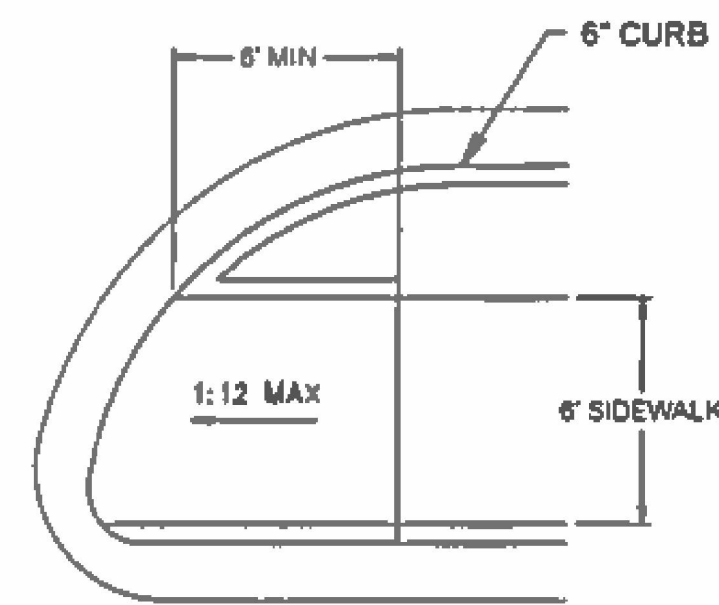
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FILE: 20-005

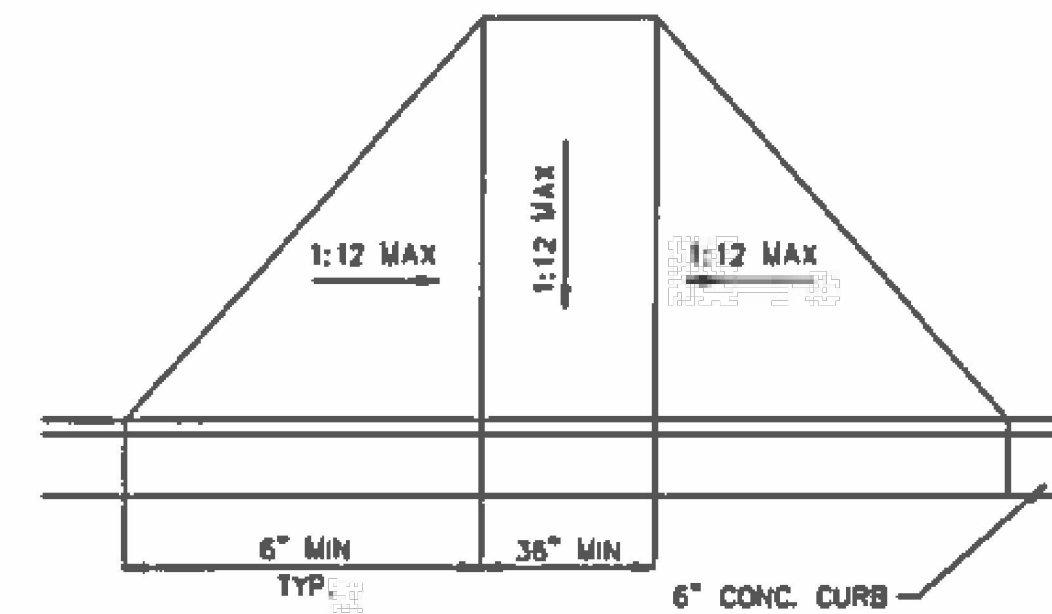


FOR PAVEMENT DESIGN SEE:
GEOTECHNICAL EVALUATION REPORT FOR THE LEARNING CENTER
WESTERN TECHNOLOGIES, INC
MARCH 5, 2020

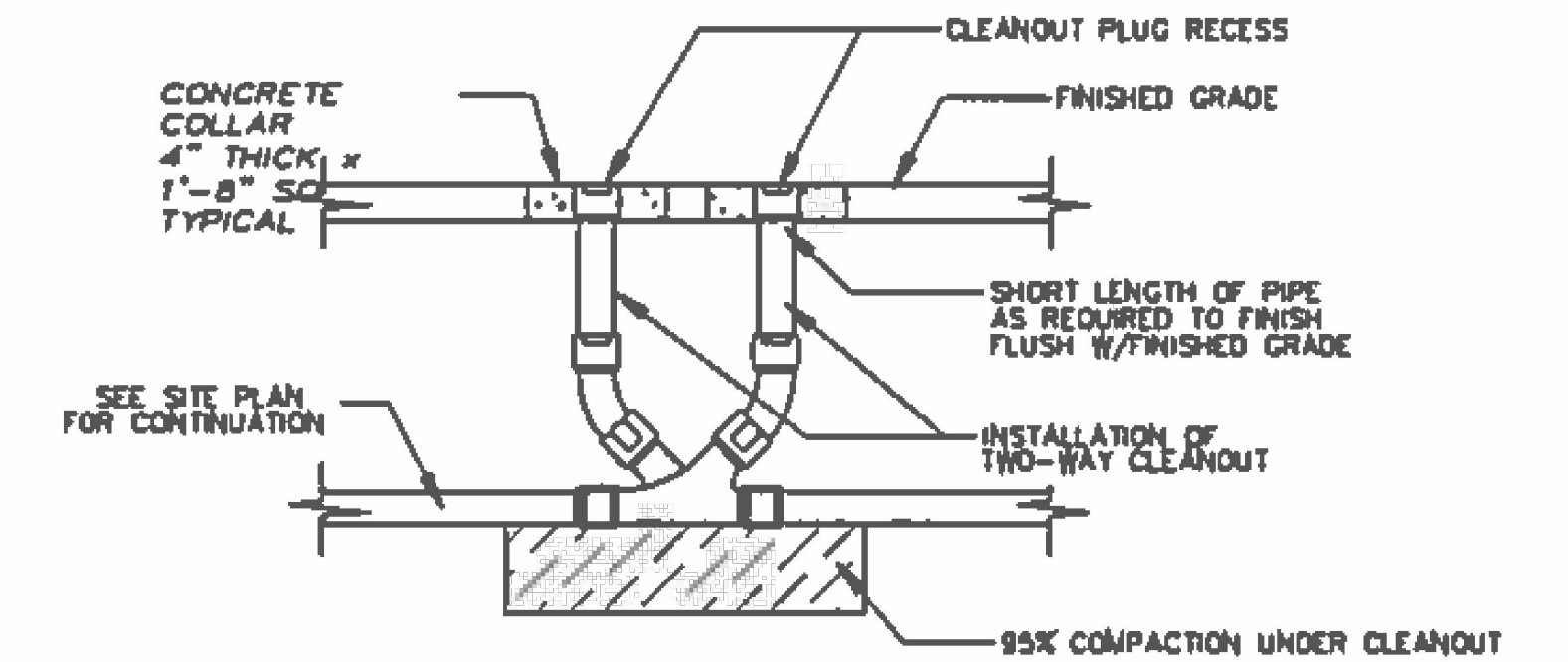
ASPHALT PAVEMENT SECTION
NTS (A) C004



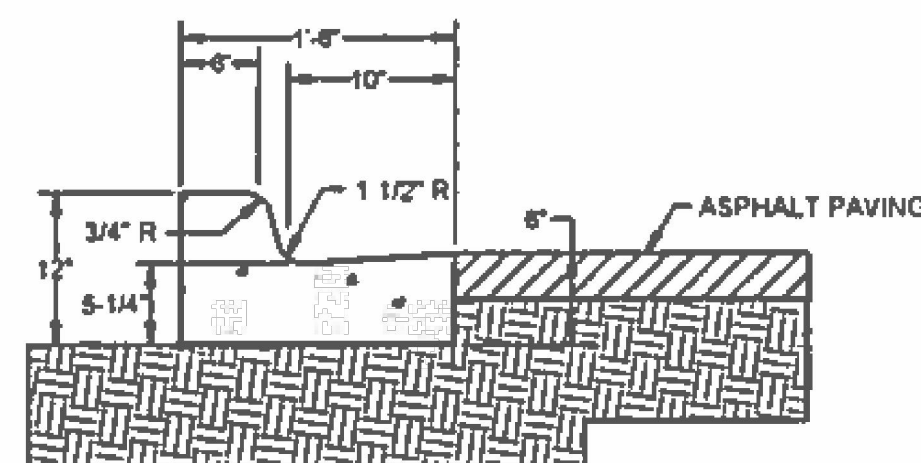
HANDICAP RAMP DETAIL - TYPE 1
NTS (D) C004



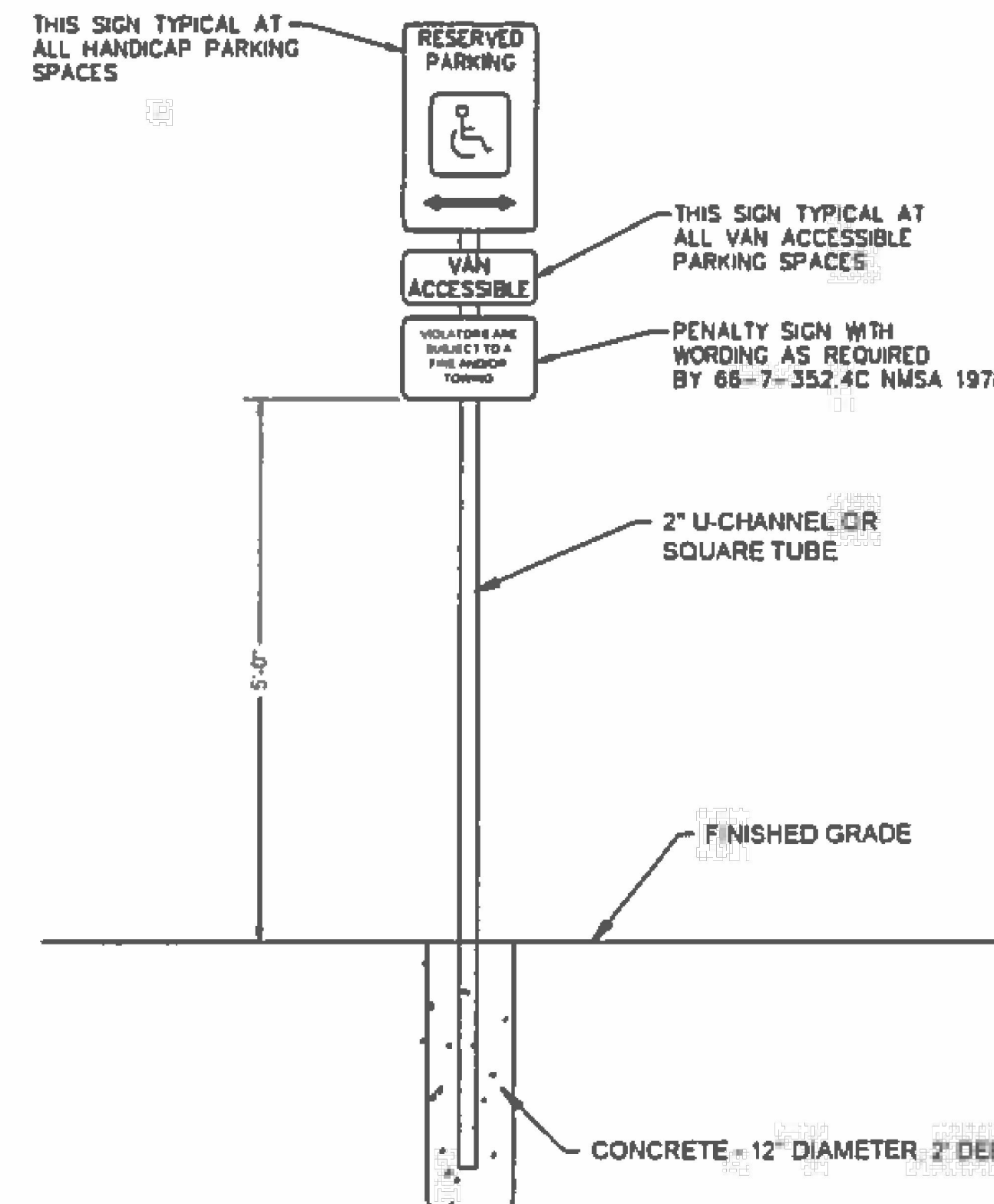
HANDICAP RAMP DETAIL - TYPE 2
NTS (E) C004



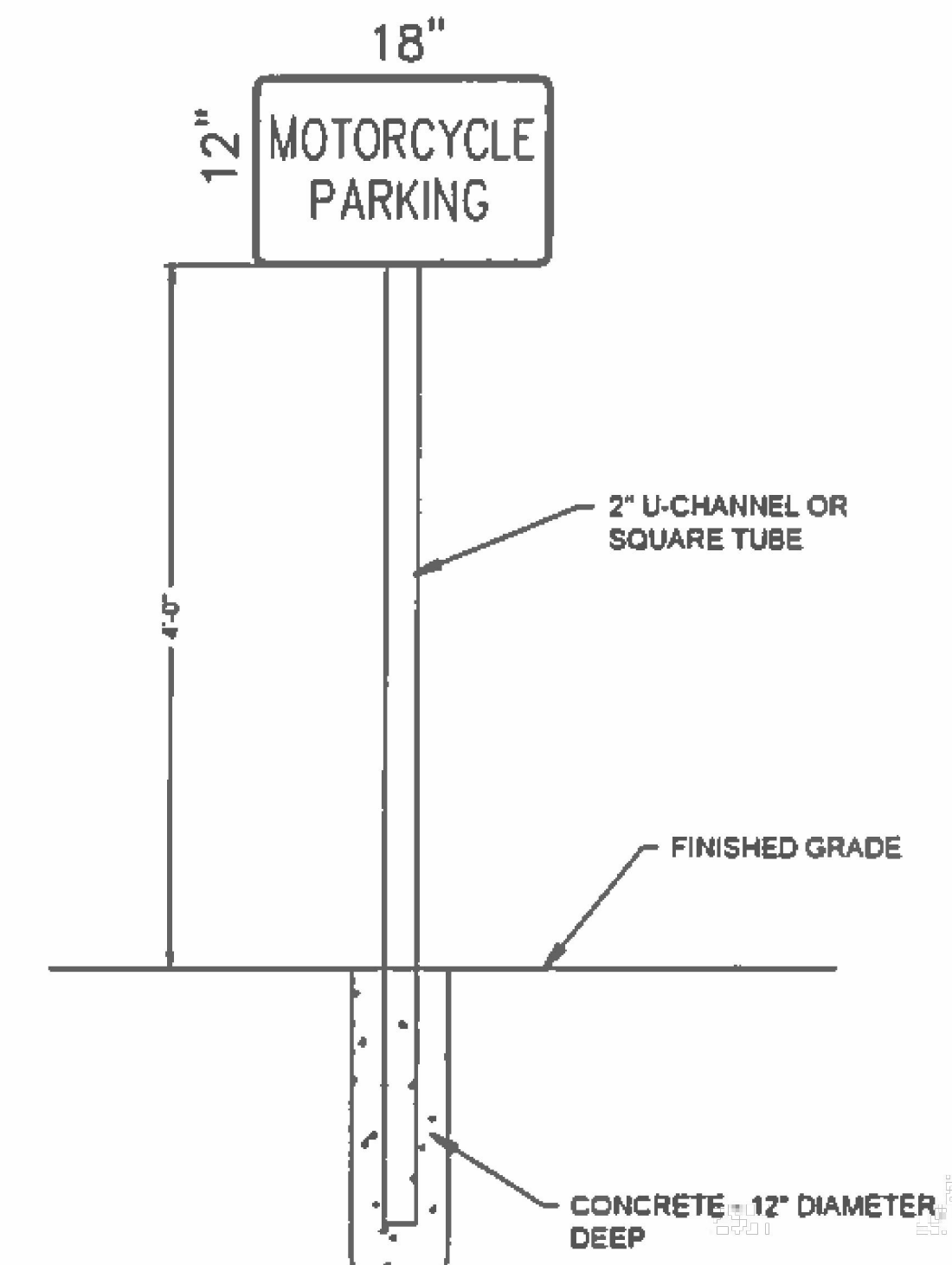
TYPICAL CLEANOUT
NTS (H) C004



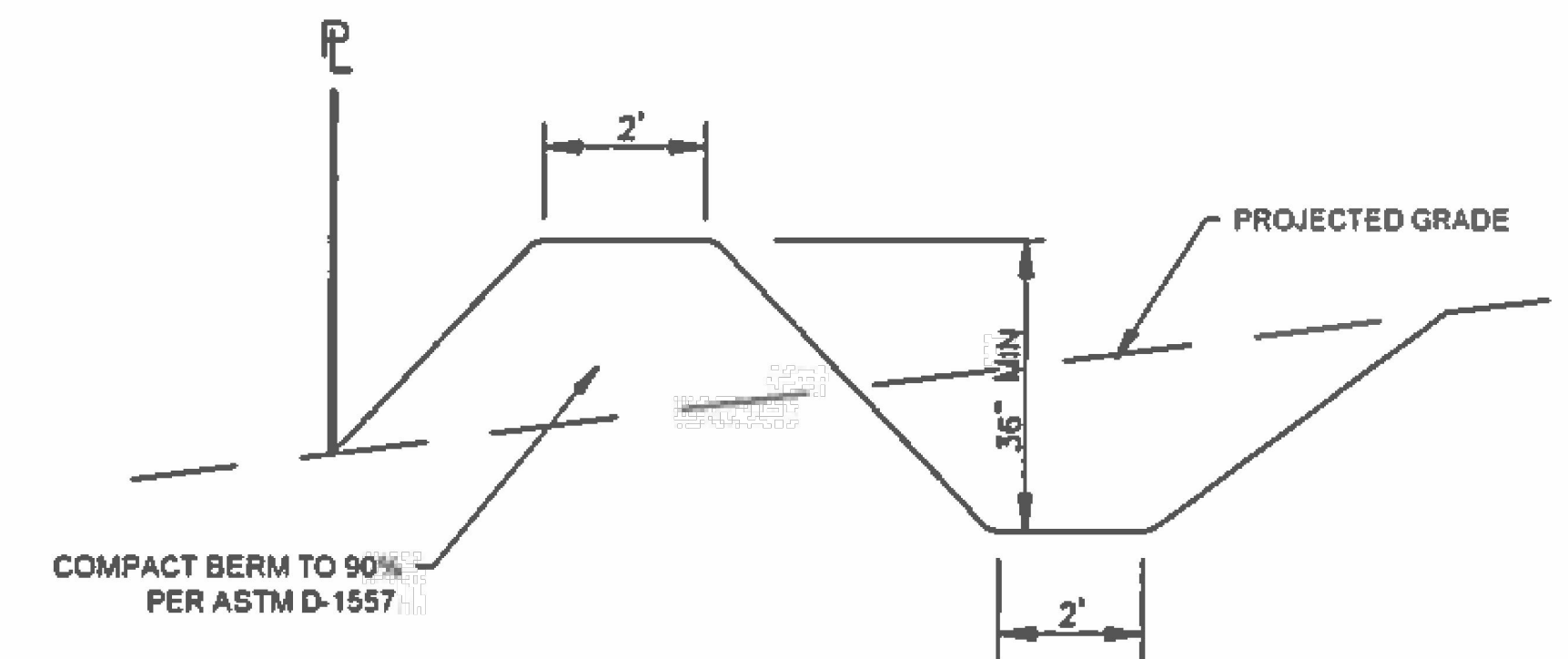
CONCRETE CURB AND GUTTER
NTS (B) C004



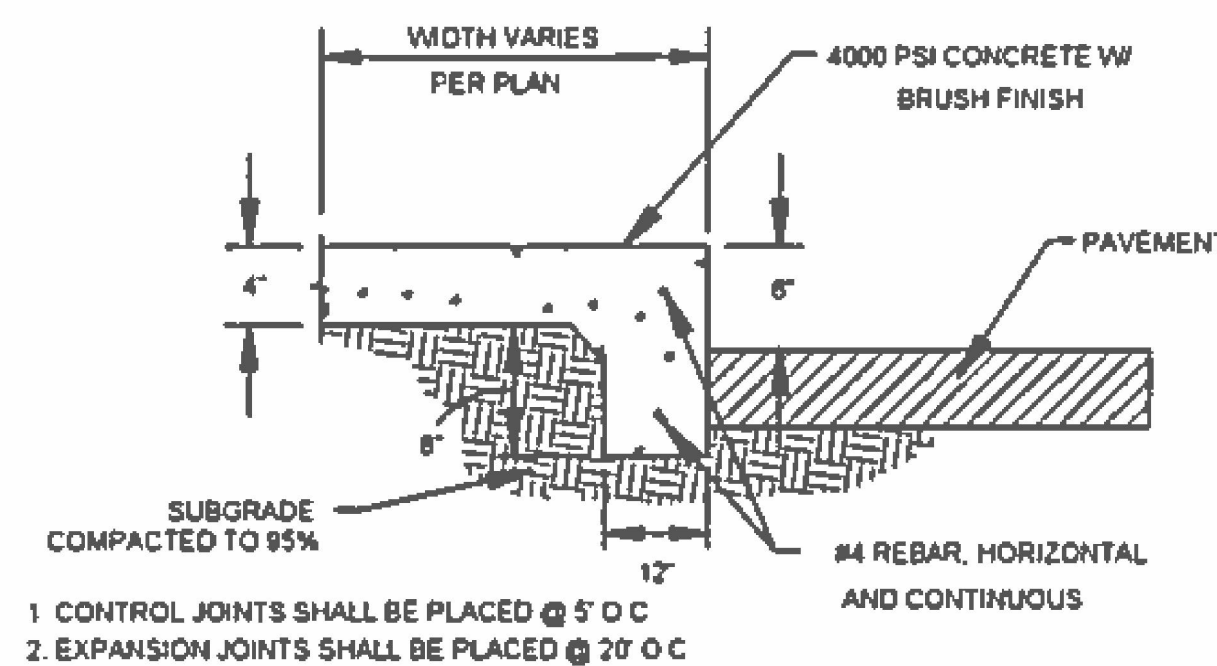
HC SIGN ASSEMBLY / BOLLARD DETAIL
(ALL SIGNS BUILDING MOUNTED) NTS (F) C004



MOTORCYCLE SIGN DETAIL
(ALL SIGNS BUILDING MOUNTED) NTS (G) C004



TEMPORARY BERM/SWALE SECTION
NTS (J) C004



TURNDOWN SIDEWALK DETAIL
NTS (C) C004

NOTE:
ALL AS-BUILT CHANGES
ARE SHOWN IN RED

TRAFFIC CIRCULATION LAYOUT
APPROVED
4/23/20
Date
Signed

THE LEARNING EXPERIENCE
SITE DETAILS

LORENZ
2301 Rio Grande Blvd NE, Suite A
Albuquerque, New Mexico 87104
PH: 505-885-9008 Fax: 505-343-0800

DRAWN BY: DAL
CHECKED BY: DAL
FILE: 20-005

DATE: April 2020
C004

