

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 9, 2020

Reza Afaghpor, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Tract B Fountain Hill Subdivision
Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 10/15/20
Hydrology File: C12D003D**

Dear Mr. Afaghpor:

Based upon the information provided in your submittal received 10/23/20, the Conceptual Grading and Drainage Plan is approved for action by the DRB on Platting.

Please note that once the plat is recorded, each individual tract will need Hydrology approval of their Grading and Drainage Plan prior to Building Permit per the Development Process Manual (DPM) (signed 06/08/20) Chapter 6 Drainage, Flood Control, and Erosion Control.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TRACT B FOUNTAIN HILL SUB. Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT B, FOUNTAIN HILL SUBDIVISION
City Address: _____

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☒ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

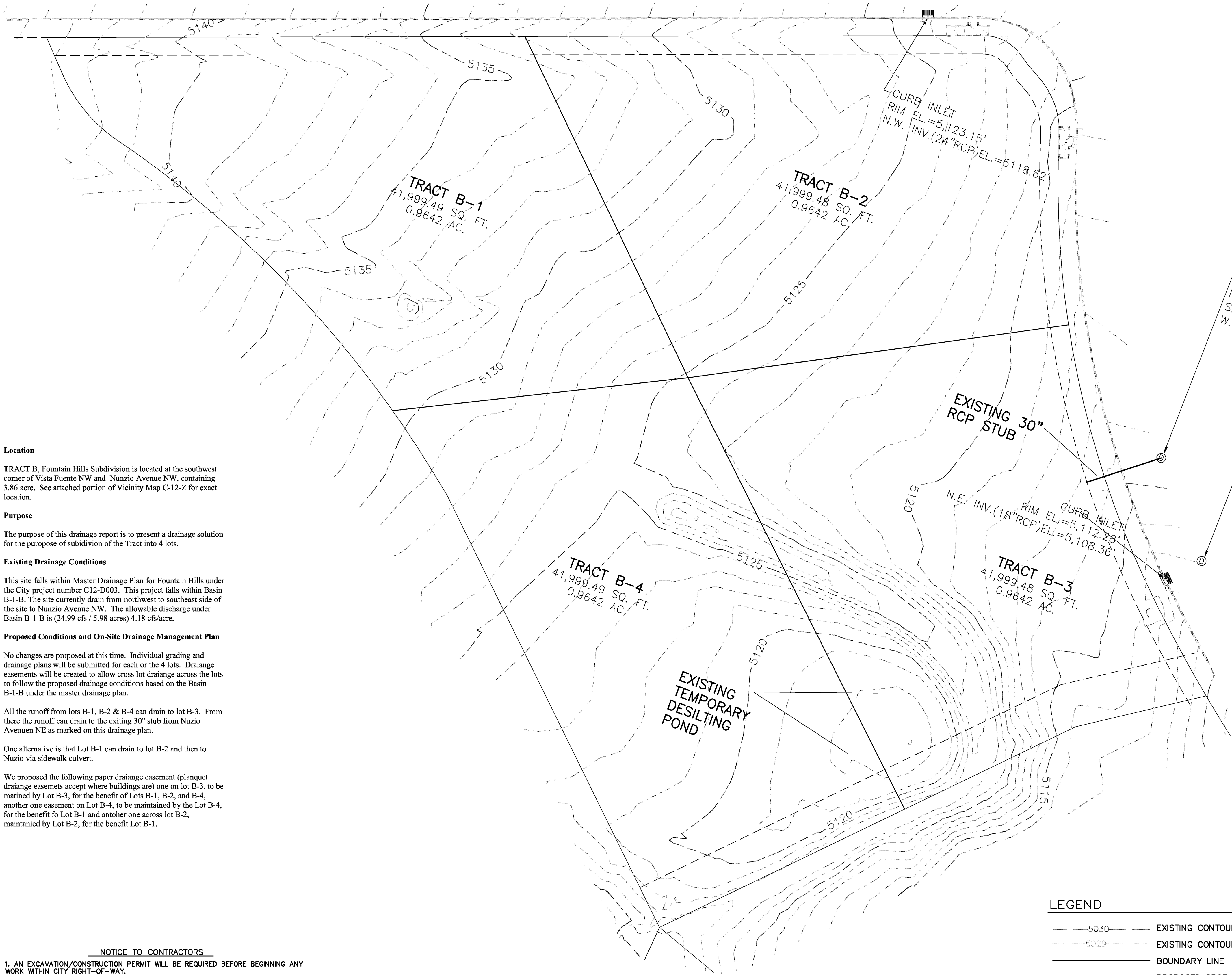
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 10-19-2020 By: SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Location

TRACT B, Fountain Hills Subdivision is located at the southwest corner of Vista Fuente NW and Nunzio Avenue NW, containing 3.86 acre. See attached portion of Vicinity Map C-12-Z for exact location.

Purpose

The purpose of this drainage report is to present a drainage solution for the purpose of subdivision of the Tract into 4 lots.

Existing Drainage Conditions

This site falls within Master Drainage Plan for Fountain Hills under the City project number C12-D003. This project falls within Basin B-1-B. The site currently drain from northwest to southeast side of the site to Nunzio Avenue NW. The allowable discharge under Basin B-1-B is (24.99 cfs / 5.98 acres) 4.18 cfs/acre.

Proposed Conditions and On-Site Drainage Management Plan

No changes are proposed at this time. Individual grading and drainage plans will be submitted for each of the 4 lots. Drainage easements will be created to allow cross lot drainage across the lots to follow the proposed drainage conditions based on the Basin B-1-B under the master drainage plan.

All the runoff from lots B-1, B-2 & B-4 can drain to lot B-3. From there the runoff can drain to the exiting 30" stub from Nuzio Avenue NE as marked on this drainage plan.

One alternative is that Lot B-1 can drain to lot B-2 and then to Nuzio via sidewalk culvert.

We proposed the following paper drainage easement (planguet drainage easements except where buildings are) one on lot B-3, to be maintained by Lot B-3, for the benefit of Lots B-1, B-2, and B-4, another one easement on Lot B-4, to be maintained by the Lot B-4, for the benefit fo Lot B-1 and antoher one across lot B-2, maintained by Lot B-2, for the benefit Lot B-1.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 280-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

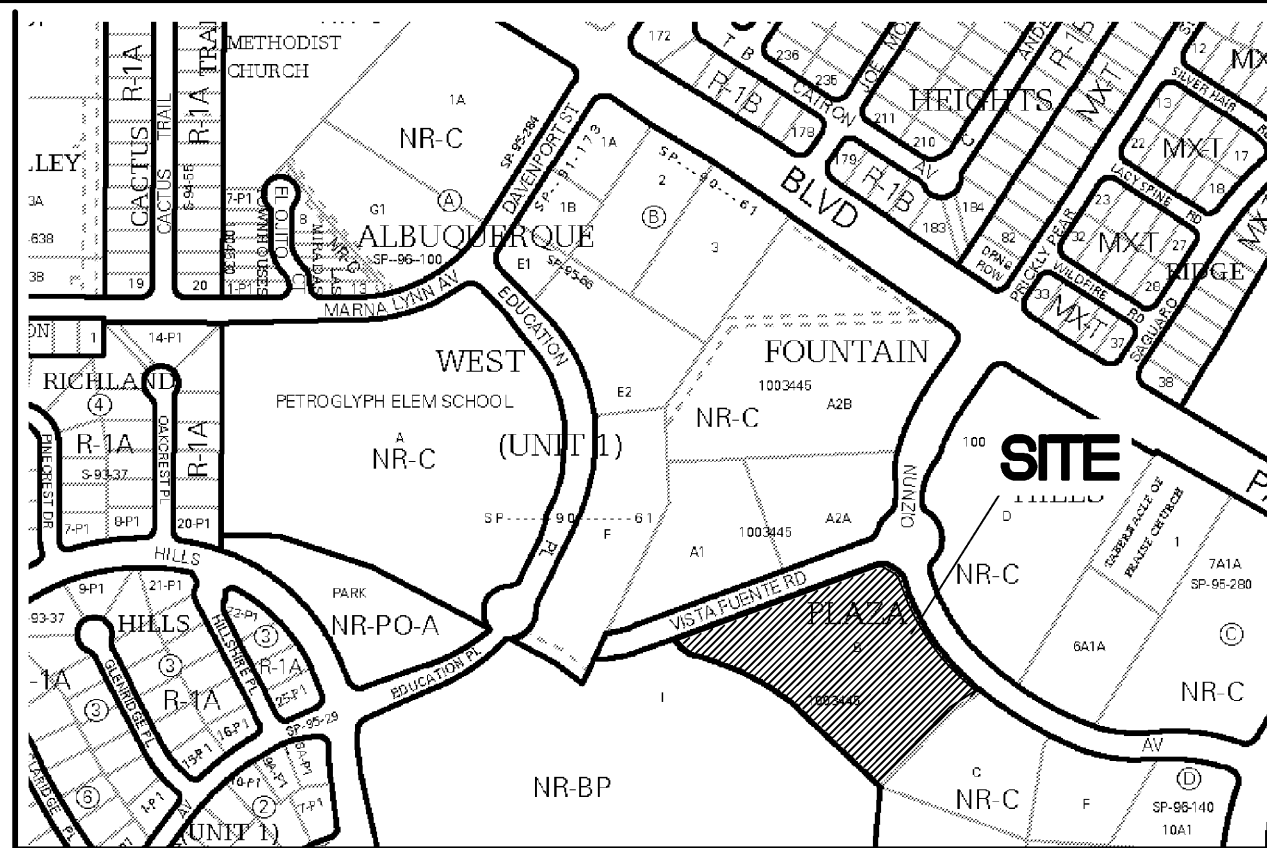
APPROVALS	NAME	DATE
INSPECTOR		

LEGEND

- 5030 — EXISTING CONTOUR (MAJOR)
- 5029 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 28.50 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION
- FL
- PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TC=28.50 TOP OF CURB
- TA=28.00 TOP OF ASPHALT
- HP HIGH POINT
- 86.65 AS-BUILT GRADES
- 85.47 AS-BUILT SPOT ELEVATIONS
- X 86.65

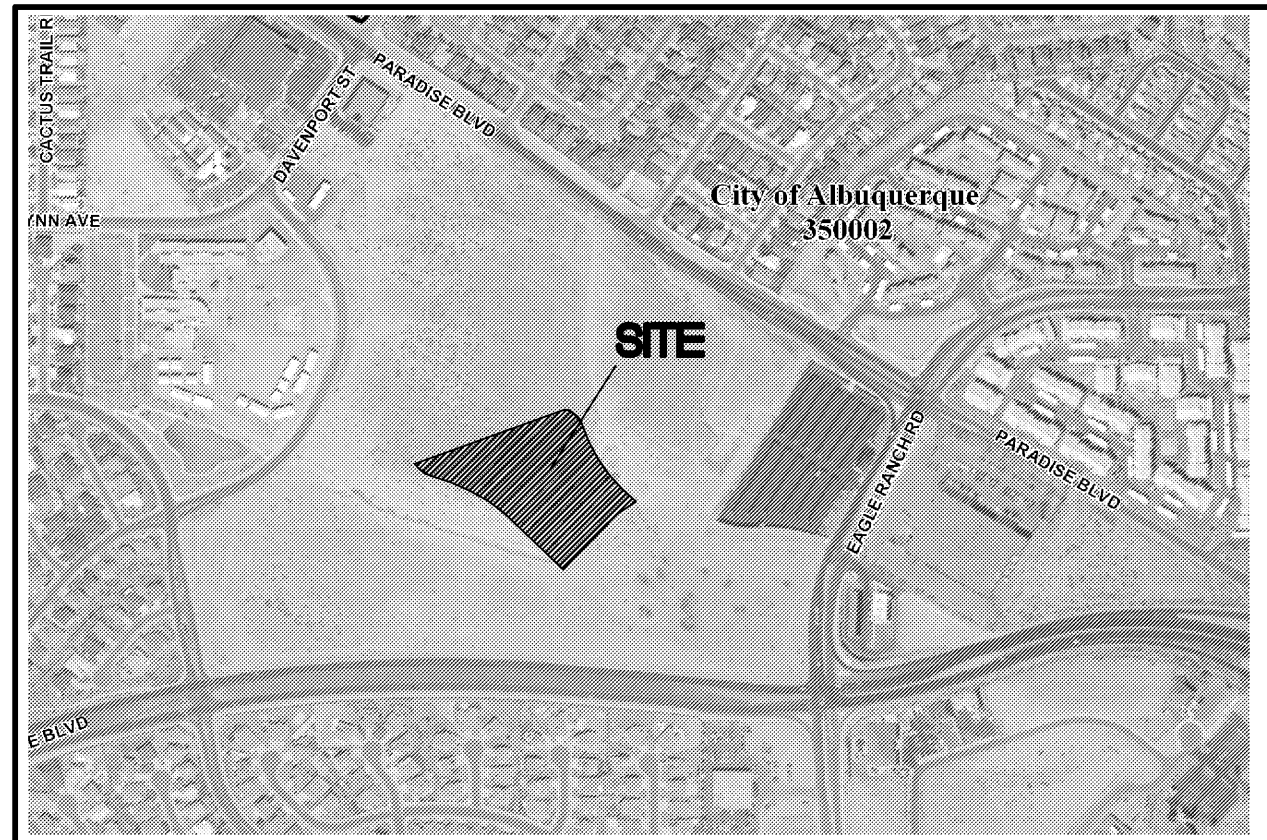


REZA AFAGHPOUR
P.E. #11814



VICINITY MAP:

C-12-Z



FIRM MAP:

EFFECTIVE DATE:

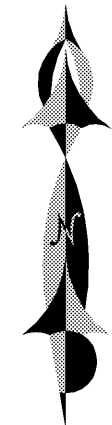
35001C0116G
09-06-2008

LEGAL DESCRIPTION:

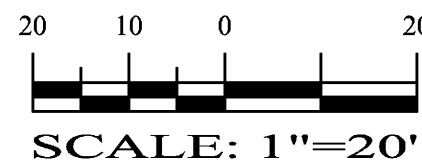
TRACT B FOUNTAIN HILLS PLAZA
CONTAINING 3.86 AC

GENERAL NOTES:

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION LSS_302, HAVING AN ELEVATION OF -5444.159- FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.



GRAPHIC SCALE



**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**TRACT B, FOUNTAIN HILLS PLAZA SUBDIVISION
CONCEPTUAL DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
Fountain_Tract_B.dwg	SH-B	09-19-2020	1 OF 1