



DEVELOPMENT REVIEW BOARD APPLICATION

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input checked="" type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)	
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input checked="" type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL	
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Vacation of floating easement and minor subdivision final plat.			

APPLICATION INFORMATION			
Applicant: Novus Properties LLC, Michael Montoya, Manager, Trula Howe, Office Manager		Phone: 505-897-4225	
Address: 7916 Ranchitos Lp NE		Email: michael@cginm.com	
City: Albuquerque	State: NM	Zip: 87113	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List all owners: Novus Properties LLC	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: A-2-B		Block: n/a	Unit: n/a
Subdivision/Addition: Fountain Hills Plaza Subdivision		MRGCD Map No.: n/a	UPC Code: 101206442838510607
Zone Atlas Page(s): C-12-Z	Existing Zoning: SU-1		Proposed Zoning
# of Existing Lots: 1	# of Proposed Lots: 2		Total Area of Site (Acres): 5.4531
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: Nunzio Ave NW		Between: Eagle Ranch Rd NW	and: Vista Fuente Rd NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2018-001695, 1003445, PR-2019-001695			

Signature:		Date: 1/23/2020	
Printed Name: Michael Montoya		<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY			
Case Numbers	Action	Fees	Case Numbers
Meeting Date:		Fee Total:	
Staff Signature:	Date:	Project #	

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- ☐ Interpreter Needed for Hearing? ☐ if yes, indicate language: _____
- ☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ SKETCH PLAT REVIEW AND COMMENT

- ☐ Letter describing, explaining, and justifying the request
- ☐ Scale drawing of the proposed subdivision plat (7 copies, folded)
- ☐ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)

☐ MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- ☐ Letter describing, explaining, and justifying the request
- ☐ Copy of recorded IIA
- ☐ Proposed Final Plat (7 copies, 24" x 36" folded)
- ☐ Design elevations & cross sections of perimeter walls (3 copies)
- ☐ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ☐ DXF file and hard copy of final plat data for AGIS submitted and approved

☒ MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

- ☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- ☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☒ Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- ☒ Required notice with content per IDO Section 14-16-6-4(K)(6)
 - ☒ Office of Neighborhood Coordination Public Notice Inquiry response
 - ☒ Proof of emailed notice to applicable Neighborhood Association representatives
- ☒ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- ☒ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- ☒ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- ☒ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- ☒ Proposed Infrastructure List, if applicable
- ☐ DXF file and hard copy of final plat data for AGIS submitted and approved

☐ MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ☐ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Michael Date: 1-24-2020

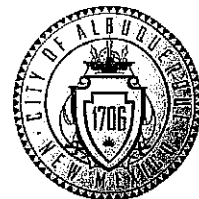
Printed Name: Michael Mondoya, Manager ☒ Applicant or ☐ Agent

FOR OFFICIAL USE ONLY

Case Numbers: _____ Project Number _____

Staff Signature: _____

Date: _____



January 24, 2020

City of Albuquerque
Planning Department
Development Review Board
600 2nd St NW
Albuquerque, NM 87102

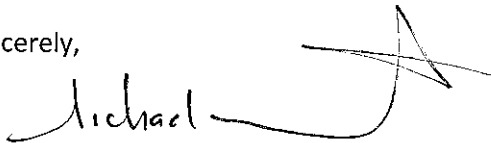
Explanation for Final Plat Application, Tract A-2-B of Fountain Hills Plaza Subdivision

This letter is to describe, explain, and justify the request for a final plat at the above address.

This submission requests the establishment of a fixed easement and tract subdivision of tract A-2-B of the Fountain Hills Plaza Subdivision.

The fixed easement will provide access, sewer, water and drainage to the proposed lots A-2-B-1 and A-2-B-2 and meet requirements per plan notes.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael", followed by a stylized, sweeping flourish that extends upwards and to the right.

Michael Montoya
Managing Member
Novus Properties LLC

NMCRIS INVESTIGATION ABSTRACT FORM (NIAF)

1. NMCRIS Activity No.: 130744	2a. Lead (Sponsoring) Agency: City Of Albuquerque	2b. Other Permitting Agency(ies):	3. Lead Agency Report No.:																					
4. Title of Report: An Intensive Cultural Resource Survey of 9.86 acres for the Noah's Event Center and Future Retail Stores, Albuquerque, Bernalillo County, New Mexico Author(s): Andrew Zink			5. Type of Report <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive																					
6. Investigation Type <input type="checkbox"/> Research Design <input checked="" type="checkbox"/> Survey/Inventory <input type="checkbox"/> Test Excavation <input type="checkbox"/> Excavation <input type="checkbox"/> Collections/Non-Field Study <input type="checkbox"/> Overview/Lit Review <input type="checkbox"/> Monitoring <input type="checkbox"/> Ethnographic study <input type="checkbox"/> Site specific visit <input type="checkbox"/> Other																								
7. Description of Undertaking (what does the project entail?): The proponent proposes to develop the land for the proposed Noah's Event Center on the 2 acres parcel and future retail stores on the remaining 7+ acres. This cultural resources inventory was conducted in order to ensure compliance with applicable federal, state, county and city legislation and procedures enacted to protect nonrenewable cultural resources, including the City of Albuquerque's Archaeological Ordinance, Section 106 of the National Historic Preservation Act of 1966 as amended (PL 89-665), the National Environmental Policy Act of 1969 (PL 91-852), the Archaeological Resource Protection Act of 1979 (PL 96-95), Executive Order 11593.		8. Dates of Investigation: June 4, 2014 9. Report Date: June 5, 2014																						
10. Performing Agency/Consultant: Lone Mountain Archaeological Services, Inc. Principal Investigator: Doug Boggess Field Supervisor: Andrew Zink Field Personnel Names: Andrew Zink		11. Performing Agency/Consultant Report No.: 1802 12. Applicable Cultural Resource Permit No(s): New Mexico State Permit No. NM-14-073-S																						
13. Client/Customer (project proponent): Rio Grande Engineering Contact: David Soule Address: P.O. Box 93924, Albuquerque, NM 87199 Phone: (505) 321-9099		14. Client/Customer Project No.:																						
15. Land Ownership Status (<u>Must</u> be indicated on project map): <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;">Land Owner</th> <th style="width: 25%;">Acres Surveyed</th> <th style="width: 25%;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td>9.86</td> <td>9.86</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr> <td style="text-align: right;">TOTALS</td> <td>9.86</td> <td>9.86</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	9.86	9.86													TOTALS	9.86	9.86
Land Owner	Acres Surveyed	Acres in APE																						
Private	9.86	9.86																						
TOTALS	9.86	9.86																						
16. Records Search(es): <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <tr> <td style="width: 40%;">Date(s) of ARMS File Review</td> <td style="width: 30%;">June 3, 2014</td> <td style="width: 30%;">Name of Reviewer(s)</td> <td style="width: 20%;">Cathy Travis</td> </tr> <tr> <td>Date(s) of NR/SR File Review</td> <td>June 3, 2014</td> <td>Name of Reviewer(s)</td> <td>Cathy Travis</td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td> </td> <td>Name of Reviewer(s)</td> <td>Agency</td> </tr> </table>				Date(s) of ARMS File Review	June 3, 2014	Name of Reviewer(s)	Cathy Travis	Date(s) of NR/SR File Review	June 3, 2014	Name of Reviewer(s)	Cathy Travis	Date(s) of Other Agency File Review		Name of Reviewer(s)	Agency									
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Date(s) of Other Agency File Review		Name of Reviewer(s)	Agency																					

17. Survey Data:

- a. Source Graphics ☐ NAD 27 ☒ NAD 83
☒ USGS 7.5' (1:24,000) topo map ☐ Other topo map, Scale:
☒ GPS Unit Accuracy ☐ <1.0m ☒ 1-10m ☐ 10-100m ☐ >100m

b. USGS 7.5' Topographic Map Name USGS Quad Code

Los Griegos (1960) Photorevised 1967 and 1970	35106-B6

c. County(ies): Bernalillo

17. Survey Data (continued):

d. Nearest City or Town: Albuquerque, NM

e. Legal Description:

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4

Projected legal description? Yes [] , No [] Unplatted [X]

f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.): On the Town of Alameda Grant, City Zone Atlas Page H-09-Z; tracts A-1 and A-2 east of Nunzio Ave. NW between Paradise Blvd NW to the north and the proposed Vista Fuente Rd. NW to the south.

18. Survey Field Methods:

Intensity: ☒ 100% coverage ☐ <100% coverage

Configuration: ☒ block survey units ☐ linear survey units (l x w): ☐ other survey units (specify):

Scope: ☒ non-selective (all sites recorded) ☐ selective/thematic (selected sites recorded)

Coverage Method: ☒ systematic pedestrian coverage ☐ other method (describe)

Survey Interval (m): 15 m Crew Size: 1 Fieldwork Dates: June 4, 2014

Survey Person Hours: 2 Recording Person Hours: 0 Total Hours: 2

Additional Narrative: corners were marked with pin flags

19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.): The project setting is a desert scrubland with a sandsheet that slopes east at an estimated 3 to 5 percent grade.

The elevation is between 5,107 ft and 5,135 ft.

Vegetation is a disturbance-based plant community largely composed of *Tribulus Terrestris*, commonly known as goathead plant. This plant is an invasive species that has occupied what otherwise would be Plains and Great Basin Grassland. Other vegetation includes four-wing salt bush, broom snake weed, and desert willow.

Two soil types are present throughout the survey area. The Bluepoint-kokan Association, Hilly, comprises 22.3 percent of the soils encountered. This soil's parent material is a mix of sandy alluvium and/or eolian sands with alluvium derived from igneous and sedimentary rock. It occurs in various setting including alluvial fans, floodplains, hillslopes, and fan piedmonts between 4,850 and 6,000 ft amsl on 5 to 15 percent slopes. It varies between strongly alkaline, stratified fine sand and gravely fine sand too moderately alkaline, stratified very gravely sand and extremely gravely loamy coarse sand. The Madurez-Wink Association, Gently Sloping, comprises 77.7 percent of the soils encountered. This soil's parent material is alluvium derived from igneous and sedimentary rock. It commonly occurs on flood plains and fan piedmonts between 4,850 and 6,000 ft amsl and varies from moderately alkaline fine sandy and sandy loam too strongly alkaline sandy loam.

20. a. Percent Ground Visibility: 90 percent **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** For Tract A, natural sources of disturbance are slopewash, sheetwash, and to a lesser extent wind erosion. A shallow gully has formed along the grade for the proposed Vista Fuente Rd. that runs along the south edge of the surveyed space. Mechanical grading and earth moving activities have already been performed for this proposed road and similar mechanical activities associated with the construction of Paradise Blvd. along the north edge, Nunzio Ave along the east edge and the construction of a building along the southwest edge were also observed. This infrastructure preparation also includes buried utilities, water mains and electric lines, in easements along the margins or beneath these already constructed or proposed roads. A PNM easement crosses through the south end of Tract A and a unspecified, likely water, easement crosses through the north end of Tract A. The surface throughout, and in particular the edges, are heavily tracked by off-road ATV and vehicle activities and modern trash dumping is evident. .

21. CULTURAL RESOURCE FINDINGS ☐ Yes, See Page 3 ☒ No, Discuss Why: Due to previous construction activities and ongoing wind erosion and slopewashing, any cultural material that may have been present has likely been destroyed or relocated. The area has been thoroughly disturbed

22. Required Attachments (check all appropriate boxes):

- ☒ USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn
- ☒ Copy of NMCRIIS Mapserver Map Check
- ☐ LA Site Forms - new sites (*with sketch map & topographic map*)
- ☐ LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)
- ☐ Historic Cultural Property Inventory Forms
- ☐ List and Description of isolates, if applicable
- ☐ List and Description of Collections, if applicable

23. Other Attachments:

- ☐ Photographs and Log
 - ☐ Other Attachments
- (Describe):

24. I certify the information provided above is correct and accurate and meets all applicable agency standards.

Principal Investigator/Responsible Archaeologist: Douglas H.M. Boggess

Signature

Date June 5, 2014 Title (if not PI):

25. Reviewing Agency:
Reviewer's Name/Date

Accepted () Rejected ()

Tribal Consultation (if applicable): ☐ Yes ☐ No

26. SHPO
Reviewer's Name/Date:

HPD Log #:

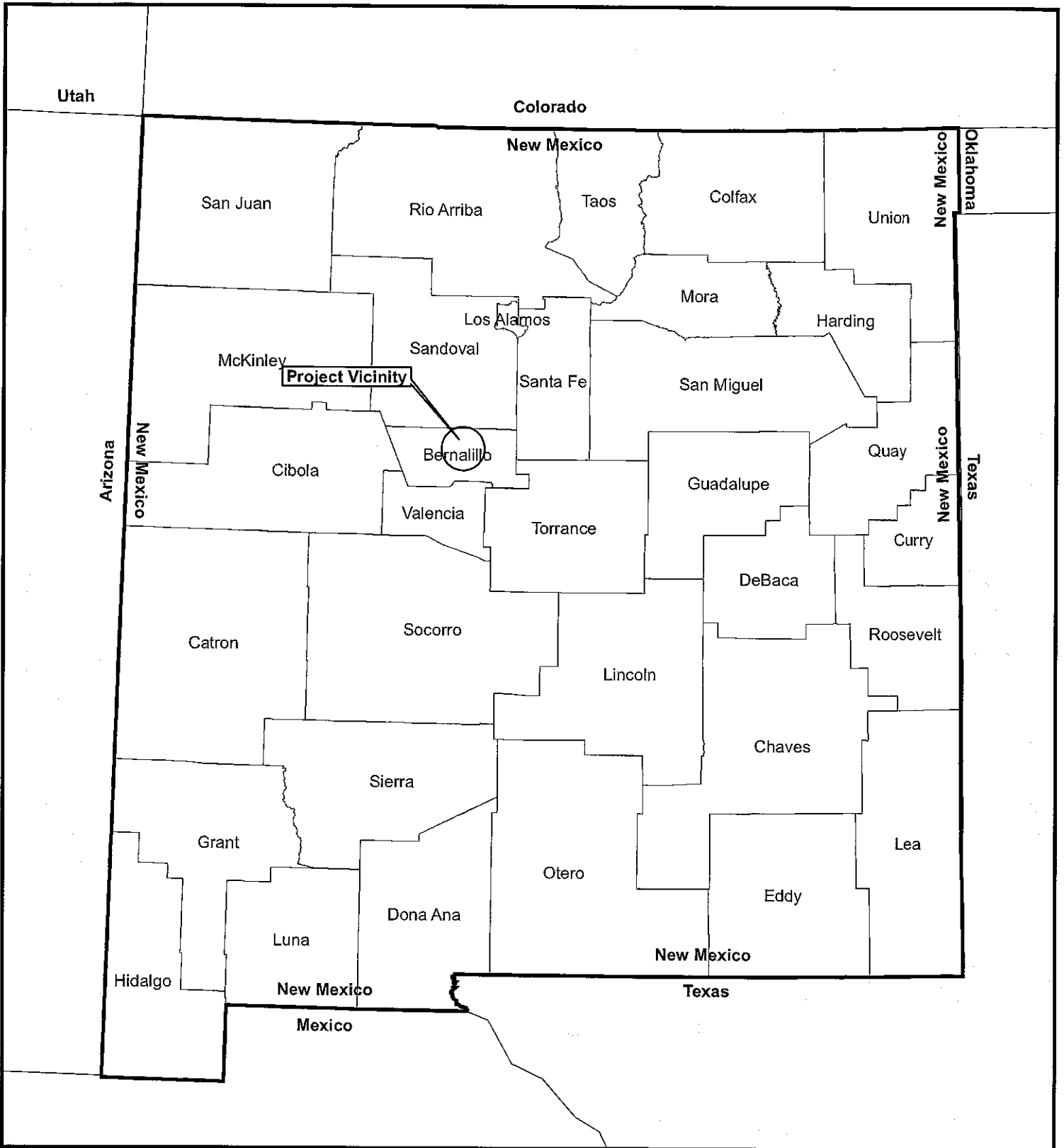
SHPO File Location:

Date sent to ARMS:


CULTURAL RESOURCE FINDINGS

[fill in appropriate section(s)]

1. NMCRIS Activity No.: 130744	2. Lead (Sponsoring) Agency: City of Albuquerque	3. Lead Agency Report No.:
SURVEY RESULTS: Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited <i>(site update form required)</i> : 0 Previously recorded sites not relocated <i>(site update form required)</i> : 0 TOTAL SITES VISITED: 0 Total isolates recorded: 0 Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded <i>(new and previously recorded, including acequias)</i> : 0		
MANAGEMENT SUMMARY: There were no archaeologically significant material found within the 9.86 acre project area. Archaeological clearance is therefore recommended. If however, buried cultural remains are found during construction, all activity should cease in that location, the City of Albuquerque should be notified. IF REPORT IS NEGATIVE YOU ARE DONE AT THIS POINT.		



Legend

 Counties

Source: ArcGIS10.1 Database


0

100

200

300

400

 Kilometers


0

50


100

150

200

 Miles

N



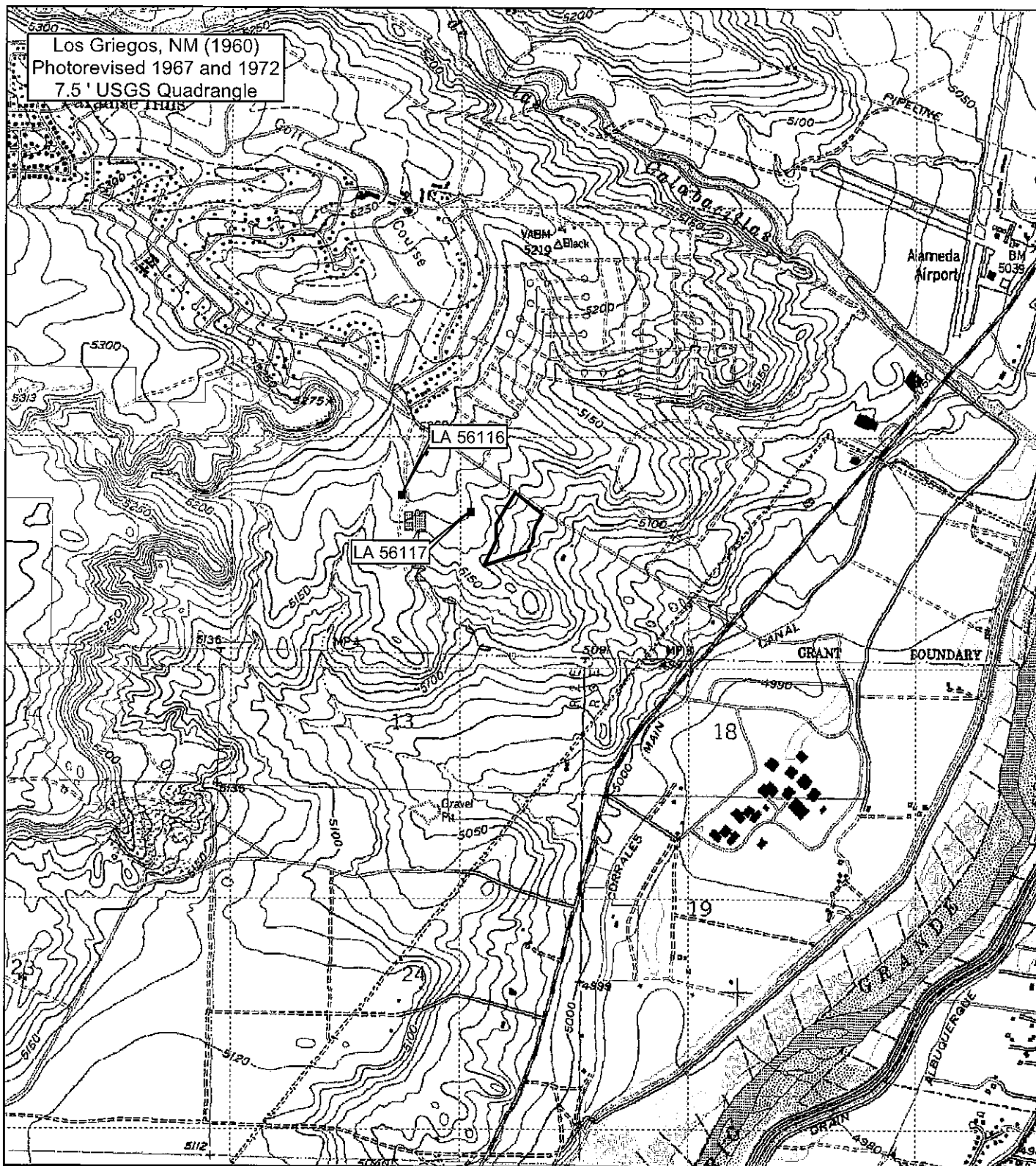
**Noah's Event Center and
Future Retail Stores
Cultural Resource Survey
Project Vicinity Map**

Lone Mountain Archaeological Services

Drawn by: T. Cordua
LMAS No.: 1802

Client: Rio Grande
Engineering Co.

Los Griegos, NM (1960)
 Photorevised 1967 and 1972
 7.5' USGS Quadrangle



Legend



Project Area



Previously Recorded Site

Land Ownership



Private



National Park Service

Noah's Event Center and Future Retail Stores Cultural Resource Survey Project Area

Lone Mountain Archaeological Services, Inc.

0 0.25 0.5 0.75 1 Kilometers

0 0.25 0.5 0.75 1 Miles

Unplatted

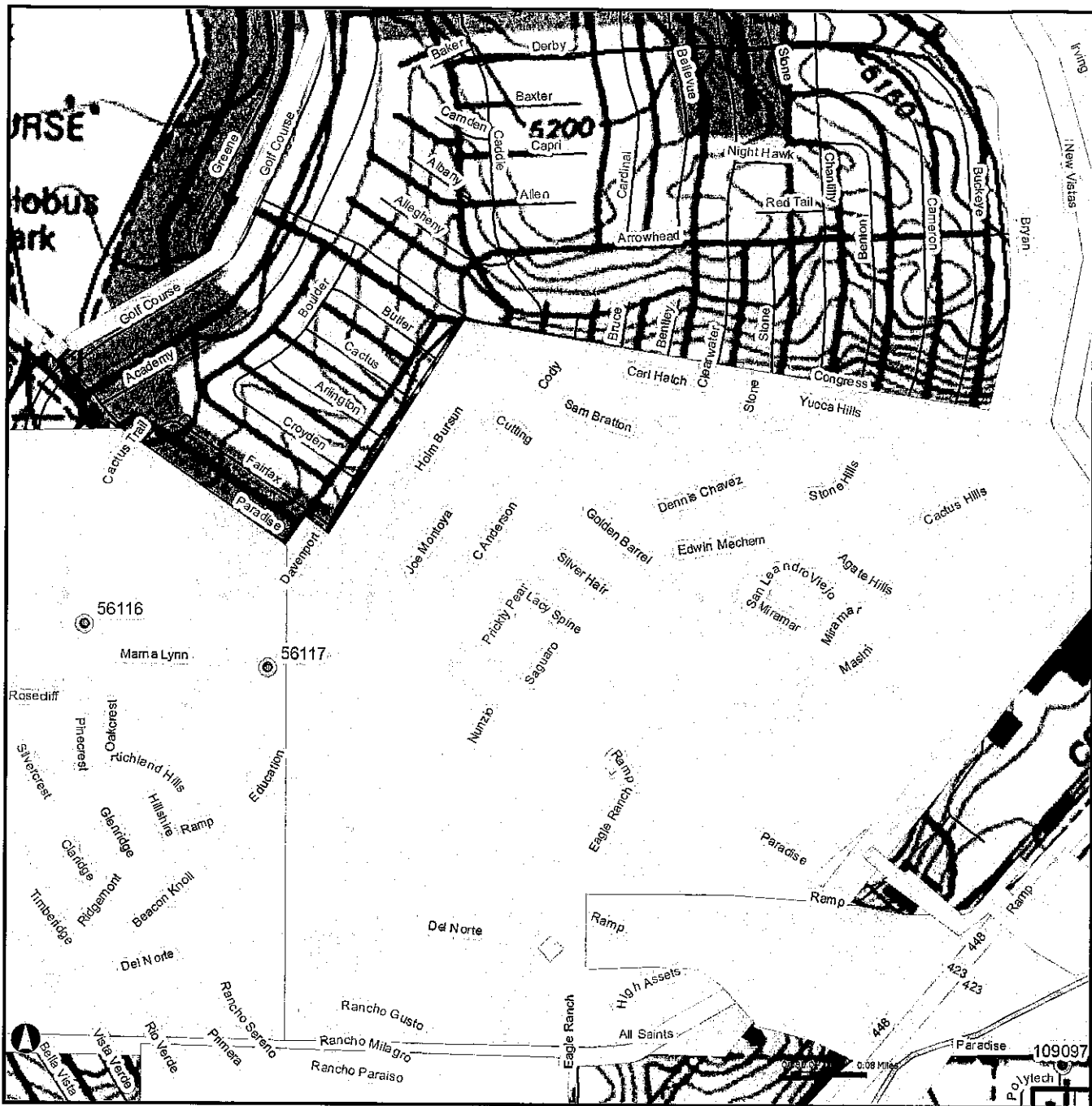
Bernalillo County, NM



Drawn by: T. Cordua
 LMAS No.: 1802

Client: Rio Grande
 Engineering Company

Education ARMS Map2



Geography Names



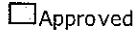
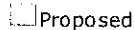
Site Labels



Site Boundaries (Edit)



Site Boundaries

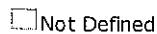


Building Labels

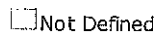


Object Labels

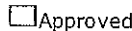
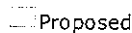
Historic Structures



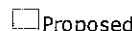
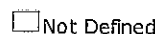
Buildings



Objects



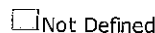
Register Properties



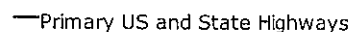
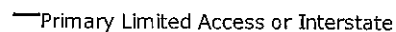
Archaeological Surveys (Edit)



Archaeological Surveys



Highways



FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Fountain Hills Plaza Subdivision

AGIS MAP # C-12-2

LEGAL DESCRIPTIONS: Lot A-2-B Fountain Hills Plaza Subdivision

 DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on _____ (date).

[Signature]
Applicant/Agent

1/24/2020
Date

Renee C. Brissette
Hydrology Division Representative

1/27/20
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

 WATER AND SEWER AVAILABILITY STATEMENT

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on N/A (date).

[Signature]
Applicant/Agent

1/24/2020
Date

[Signature]
ABCWUA Representative

1/24/2020
Date

PROJECT # PR-2019-001695

Trula Howe

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Tuesday, January 14, 2020 11:25 AM
To: Trula Howe
Subject: Nunzio Ave NW between Eagle Ranch NW and Vista Fuente NW Public Notice Inquiry
Attachments: C-12-Z.PDF

Dear Applicant,

See list of associations below regarding your Public Notice Inquiry. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hlhen@comcast.net	10592 Rio Del Sol NW	Albuquerque	NM	87114	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	
Piedras Marcadas NA	Lawrence	Fendall	lfendall@netscape.net	8600 Tia Christina Drive NW	Albuquerque	NM	87114	50538592
Piedras Marcadas NA	Susan	Deese-Roberts	sdeese@unm.edu	9124 Laura Lee Place NW	Albuquerque	NM	87114	50568173
Paradise Hills Civic Association	Tom	Anderson	ta_a@msn.com	10013 Plunkett Drive NW	Albuquerque	NM	87114	50530401
Paradise Hills Civic Association	Maria	Warren	samralphroxy@yahoo.com	5020 Russell Drive NW	Albuquerque	NM	87114	50544022

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, January 13, 2020 2:56 PM
To: Office of Neighborhood Coordination <tru@cginm.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Trula Howe

Telephone Number

5058974225

Email Address

tru@cginm.com

Company Name

NOVUS PROPERTIES LLC

Company Address

7916 RANCHITOS LP NE

City

ALBUQUERQUE

State

NM

ZIP

87113

Legal description of the subject site for this project:

Tracts A-2-B-1 and A-2-B-2 of Fountain Hills Plaza Subdivision

Physical address of subject site:

Nunzio Ave NW between Eagle Ranch NW and Vista Fuente NW

Subject site cross streets:

Nunzio Ave NW between Eagle Ranch NW and Vista Fuente NW

Other subject site identifiers:

This site is located on the following zone atlas page:

C-12-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.

Trula Howe

From: Trula Howe
Sent: Thursday, January 23, 2020 2:24 PM
To: 'hlhen@comcast.net'; 'aboard111@gmail.com'; 'lfendall@netscape.net'; 'sdeese@unm.edu'; 'ta_a@msn.com'; 'samralphroxy@yahoo.com'
Cc: Michael Montoya; 'Christopher Medina'
Subject: PUBLIC NOTICE - EASEMENT VACATION & FINAL PLAT - FOUNTAIN HILLS LOT A-2-B
Attachments: PLAT OF TRACTS A-2-B-1 A-2-B-2 FOUNTAIN HILLS PLAZA SUBDIVISION.pdf; EASEMENT VACATION EEXHIBIT FOR TRACT A-2-B.pdf

Dear Neighborhood Representative:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(K)(2) Mailed Public Notice**, we are notifying you as a Neighborhood Association Representative /nearby Property Owner that Novus Properties LLC will be submitting an application(s) for Subdivision of Land – Minor Final Plat to be reviewed and decided by the Development Review Board. The application is for minor subdivision final plat and floating easement vacation.

1. Property Owner* - Novus Properties LLC
2. Agent* *[if applicable]* – Terra Land Surveys
3. Subject Property Address* - **Tracts A-2-B-1 and A-2-B-2 of Fountain Hills Plaza Subdivision**
4. Location Description – **Nunzio Ave between Eagle Ranch & Vista Fuente**
5. Zone Atlas Page – **C-12-Z**
6. Legal Description – **Lot A-2-B, Tracts 1 and 2 of Fountain Hills Plaza Subdivision**
7. Area of Property *[typically in acres]* – **2.5**
8. IDO Zone District – **NR-C**
9. Overlay Zone *[if applicable]* – *n/a*
10. Center or Corridor Area *[if applicable]* – *n/a*
11. Current Use *[vacant, if none]* - **Vacant**
12. Deviation(s) Requested *[if applicable]* – *n/a*
13. Variance(s) Requested *[if applicable]* – *n/a*
14. More detailed Description of the Request/Project – vacate floating easements and establish final plat for these lots.

The anticipated public Meeting for this request will be on **February 5, 2020** at 9:00 am in the Hearing Room (Basement Level) of Plaza Del Sol, 600 2nd St NW, Albuquerque, NM 87102.* You can check the agenda for the relevant decision-making body online here: <https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

NOTE: Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Please contact me with any questions or concerns at 505-897-4225 ext 133 or via tru@cginm.com.

Useful Links

Integrated Development Ordinance (IDO):

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

City of Albuquerque Planning Department

<https://www.cabq.gov/planning>

Zone Atlas Pages for Download

<http://data.cabq.gov/business/zoneatlas/>

Sincerely,

Novus Properties LLC, Michael Montoya, Manager

Attachments: *Proposed Easement Vacation and Minor Subdivision Final Plat, Fountain Hills*

Tru (Trula) Howe



Custom Grading, Inc./ Novus Properties LLC

Office Manager

PH: 505-897-4225 *133

Cel: 505-321-2722

FX: 505-792-2399

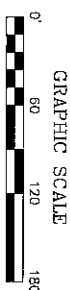


LINE TABLE		
LINE	BEARING	DISTANCE
L1	S34.5346°W	1.00'
L2	S60.5411°E	47.02'
L3	S81.2920°E	57.26'

ESSEMENT UNE TABLE		
LINE	BEARING	DISTANCE
E1	N64.8405°W	10.00'
E2	S30.0595°W	24.00'

LEGEND

- TRAC E-2
ALBUQUERQUE WES
UNIT 1
03/17/1995
BK. 95C, PG. 96
DOC# 1995027012



SHEET 3 OF 3
TERRA PROJECT NO. 2016-01

EXISTING SITE CONDITIONS

TRACT A-2-B
FOUNTAIN HILLS PLAZA SUBDIVISION
JANUARY 2020

CURVE	BEARING	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DETAILED ANGLE	TANGENT
C1	64°48'00"	83.30	83.30	S89°21'16"E	72°29'22"	27.70
C2	64°48'00"	55.42	55.42	S10°34'42"E	28.52	28.52
C3	26°00'	45.07	45.07	S10°34'42"E	28.52	28.52
C4	26°00'	45.07	45.07	S10°34'42"E	28.52	28.52
C5	52°33'	60.27	60.27	S10°34'42"E	28.52	28.52

LINE	BEARING	LENGTH	CHORD LENGTH	CHORD BEARING	DETAILED ANGLE	TANGENT
L1	S89°21'16"E	1.50	1.50	S89°21'16"E	72°29'22"	27.70
L2	S10°34'42"E	1.50	1.50	S10°34'42"E	28.52	28.52
L3	S10°34'42"E	1.50	1.50	S10°34'42"E	28.52	28.52

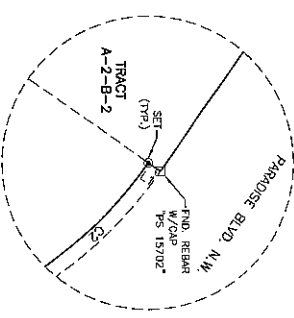
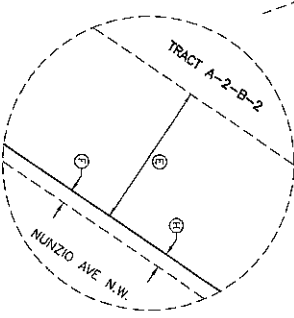
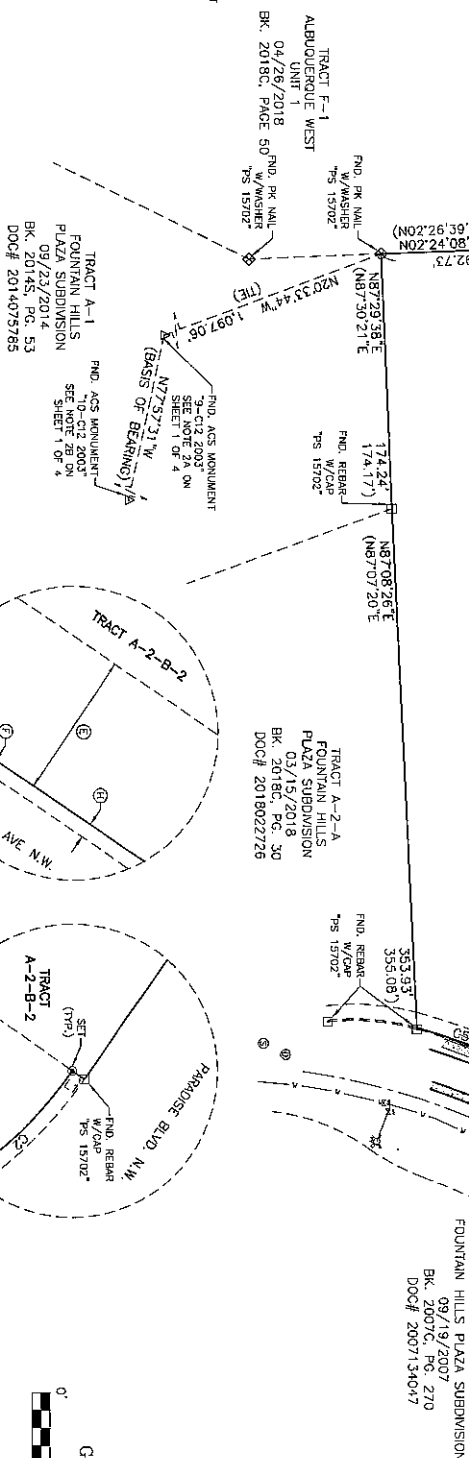
LINE	BEARING	LENGTH	CHORD LENGTH	CHORD BEARING	DETAILED ANGLE	TANGENT
L4	S10°34'42"E	1.50	1.50	S10°34'42"E	28.52	28.52
L5	S10°34'42"E	1.50	1.50	S10°34'42"E	28.52	28.52
L6	S10°34'42"E	1.50	1.50	S10°34'42"E	28.52	28.52

EASEMENT NOTES:

1. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
2. 20' SANITARY SEWER EASEMENT 02/02/1999, BK. 9903, PG. 5221
3. 10' DRAINAGE EASEMENT 02/06/1990, BK. 90C, PG. 67
4. 7.41' SANITARY SEWER EASEMENT 02/06/1990, BK. 90C, PG. 67
5. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
6. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
7. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
8. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
9. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
10. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
11. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
12. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
13. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
14. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
15. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
16. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
17. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
18. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
19. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67
20. 10' PUBLIC UTILITY EASEMENT 02/06/1990, BK. 90C, PG. 67

1. RECORD BEARINGS & DISTANCES PER PLAT
2. PLAT OF TRACTS A-2-A & A-2-B
3. FOUNTAIN HILLS SUBDIVISION
4. 02/07/2008, BK. 2018C, PG. 30
5. DOC# 2018022726

RECORD DOCUMENT LEGEND



LEGEND

- FOUND CONTROL MONUMENT (AS NOTED)
- FOUND CENTERLINE MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- FOUND P.K. NAIL (AS NOTED)
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- MONITOR WELL
- AREA INLET
- CABLE TV
- TELEPHONE PEDESTAL
- ELECTRIC METER
- ELECTRIC PULLBOX
- TRANSFORMER
- LIGHT POLE
- TELEPHONE PULLBOX
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- SIGN
- UNDERGROUND WATERLINE
- UNDERGROUND FIBER OPTIC
- UNDERGROUND GAS LINE
- SILT FENCE
- CONCRETE HATCH



TERRA LAND SURVEYS, LLC
P.O. BOX 2332 • CORRALES, NM 87048 • (505) 792-0513

DETAIL 'A' BOTH SIDES OF STREET

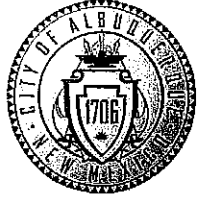
DETAIL 'B' N.T.S.

FORM V: Vacations of Easements or Right-of-way- DRB

Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

>> INFORMATION REQUIRED FOR ALL VACATION APPLICATIONS

- ☒ Interpreter Needed for Meeting? No if yes, indicate language: _____
- ☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ **VACATION OF PRIVATE EASEMENT**
- ☐ **VACATION OF PUBLIC EASEMENT**
- ☐ **VACATION OF RIGHT-OF-WAY - DRB**
- ☐ **VACATION OF RIGHT-OF-WAY - COUNCIL**
- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)(3)
- ☒ Copy of the complete document which created the easement(s) (7 copies, folded)
- ☒ Not required for City owned public right-of-way.
- ☒ Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- ☒ If easements, list number to be vacated 1
- ☒ If right-of-way, square footage to be vacated (see IDO Section 14-16-6-6(K) _____)
- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Office of Neighborhood Coordination neighborhood meeting inquiry response
- ☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- ☒ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ☒ Sign Posting Agreement (not required for easements if IDO Section 14-16-6-6(K)(2)(a) is satisfied)
- The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.**

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.	
Signature: <u>Michael Montana</u>	Date: <u>1-24-2020</u>
Printed Name: <u>Michael Montana</u>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

January 24, 2020

City of Albuquerque
Planning Department
Development Review Board
600 2nd St NW
Albuquerque, NM 87102


Explanation for Easement Vacation – Lot 2-A-B Fountain Hills Plaza Subdivision, City Project #584480

To Whom It May Concern:

Novus Properties LLC is hereby requesting review and approval of the vacation of the existing floating easement for water, sewer, access and drainage at lot A-2-B of Fountain Hills Subdivision. This easement is a private easement that was granted by the plat of Fountain Hills Subdivision (Bk 2007C, Page 270) with the intent to be further defined and confined with future platting. At this time Novus Properties would like to replat tract A-2-B and redefine the floating easement to a fixed width as described in the attached application and submission for final plat.

The proposed new easement will be granted as an access, drainage, water and sewer easement and will benefit proposed lots A-2-B-1 and A-2-B-2.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael", followed by a stylized, sweeping flourish that extends upwards and to the right.

Michael Montoya
Managing Member
Novus Properties LLC



LOCATION MAP
ZONE ALTA INDEX MAP No. C12
NOT TO SCALE

SUBDIVISION DATA

1. DNR No. 100-100-100-100-100
2. DNR No. 100-100-100-100-100
3. DNR No. 100-100-100-100-100
4. DNR No. 100-100-100-100-100
5. DNR No. 100-100-100-100-100
6. DNR No. 100-100-100-100-100
7. DNR No. 100-100-100-100-100
8. DNR No. 100-100-100-100-100
9. DNR No. 100-100-100-100-100
10. DNR No. 100-100-100-100-100

DISCLOSURE STATEMENT

The purpose of this statement is to disclose to the public the nature and extent of the interests in the property being subdivided. The interests are as follows: [Detailed description of interests and disclosures]

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on the plat are for the common joint use of:

- A. Public easements for the installation, maintenance and service of underground conduits, lines, facilities, and other equipment, including electric, gas, water, sewer, and other utilities.
- B. Public easements for the installation, maintenance and service of overhead lines, facilities, and other equipment, including electric, gas, water, sewer, and other utilities.
- C. Public easements for the installation, maintenance and service of all other public utilities, including electric, gas, water, sewer, and other utilities.
- D. Public easements for the installation, maintenance and service of all other public utilities, including electric, gas, water, sewer, and other utilities.

DESCRIPTION

A certain tract of land situated within the Town of Albuquerque, County of Bernalillo, State of New Mexico, containing approximately 1.11 acres, more or less, and being more particularly described as follows: [Detailed description of the tract and its location]

FREE CONSENT AND DEDICATION

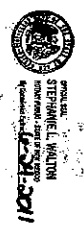
I, the undersigned, being of legal age and of sound mind, do hereby certify that I am the owner of the above described tract of land, and that I have read and understand the contents of the foregoing plat, and that I have given my free and voluntary consent to the same, and that I have dedicated the same to the public use of the City of Albuquerque, New Mexico, for the purposes and uses therein stated.

State of New Mexico)
County of Bernalillo)
I, STEPHANE L. WALTON,
Recorder of Bernalillo County, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in my office.



STEPHANE L. WALTON
Recorder of Bernalillo County, New Mexico

FOUNTAIN HILLS PLAZA, LLC, Owner of Tracts B-1-A, C-1-A, & D-1-A, Albuquerque West, Unit One and Two, do hereby certify that the above described tract of land is the same as that shown on the plat, and that I have given my free and voluntary consent to the same, and that I have dedicated the same to the public use of the City of Albuquerque, New Mexico, for the purposes and uses therein stated.



STEPHANE L. WALTON
Recorder of Bernalillo County, New Mexico

NOTES

1. Nothing on New Mexico State Maps Old Boundary (Closed Zone)
2. All easements of record are shown in purple ink.
3. All easements of record are shown in purple ink.
4. All easements of record are shown in purple ink.
5. All easements of record are shown in purple ink.
6. All easements of record are shown in purple ink.
7. All easements of record are shown in purple ink.
8. All easements of record are shown in purple ink.
9. All easements of record are shown in purple ink.
10. All easements of record are shown in purple ink.

DOCS 2007134047

**PLAT OF
FOUNTAIN HILLS PLAZA
SUBDIVISION**

(A REPEAT OF TRACTS B-1-A, C-1-A, & D-1-A, ALBUQUERQUE WEST, UNIT ONE, TRACTS B, C, & D, ALBUQUERQUE WEST, UNIT ONE, PROJECTED SECTION 19, T. 1 N. R. 2 E. N.M.P.M. TOWN OF ALAMOGA COUNTY, NEW MEXICO, JUNE, 2007)

PROJECT NUMBER: 1003445
APPROVAL NUMBER: 07 Dec. 2007
PLAT APPROVAL: [Signature]

DATE: 6/21/07
DATE: 6/22/07
DATE: 6/19/07
DATE: 6-19-07

DATE: 6-12-07
DATE: 6-22-07
DATE: 6-22-07
DATE: 6-22-07

DATE: 6-22-07
DATE: 6-22-07
DATE: 6-22-07
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DATE: 6-22-07

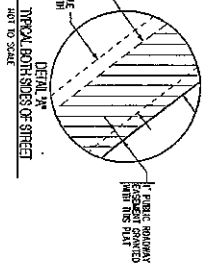
DATE: 6-22-07
DATE: 6-22-07
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DATE: 6-22-07
DATE: 6-22-07
DATE: 6-22-07

DOCH 2887134047
 PLAT OF
FOUNTAIN HILLS PLAZA
SUBDIVISION
 (A REEL AT OF TRACTS B-1-A, C-1-A, D-1-A,
 ALBUQUERQUE WEST UNIT ONE,
 LOT 10-A-2 BLOCK D, ALBUQUERQUE WEST &
 TRACT B, RICHLAND HILLS UNIT 1)
 WITHIN PROJECTED SECTION 13, T.11 N., R.2 E., N.M.P.M.,
 COUNTY OF BERNILLO, NEW MEXICO
 JUNE, 2007



SCALE: 1" = 100'

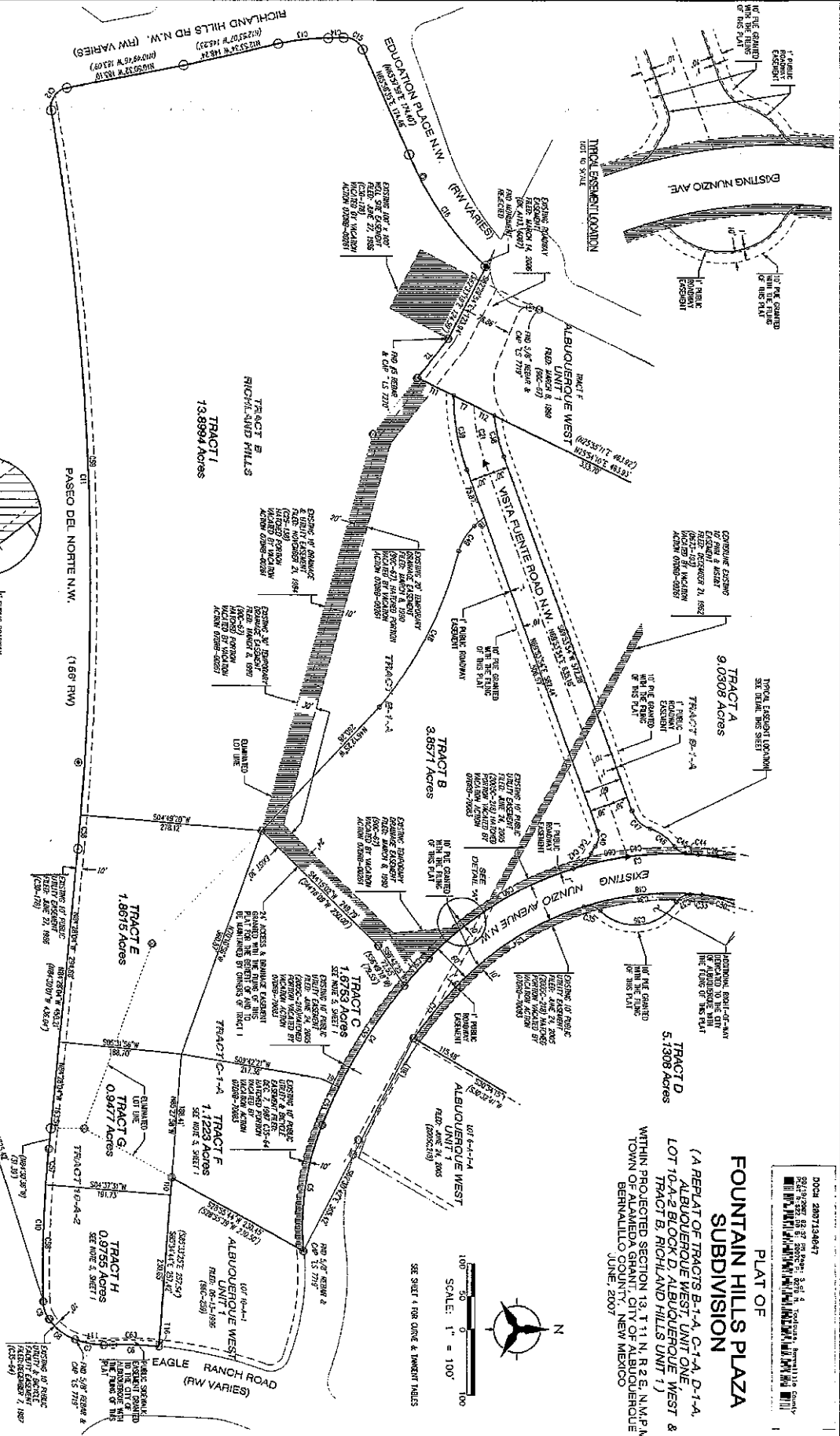


THIS PLAT WAS PREPARED BY THE
 STATE ENGINEER OF NEW MEXICO
 IN ACCORDANCE WITH THE
 REQUIREMENTS OF THE
 PLAT ACT OF 1906
 AND THE PLAT ACT OF 1934
 AND IS SUBJECT TO THE
 RECORDING ACT OF 1906
 AND THE PLAT ACT OF 1934
 AND IS SUBJECT TO THE
 RECORDING ACT OF 1906
 AND THE PLAT ACT OF 1934

SHEET 3 OF 4

Bohannon & Huston

Copyright: 2007 Bohannon & Huston, Albuquerque, NM 87104-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



DOC# 2007134047
09/19/2007 02:37 PM Page 4 of 4
PLANT RISES2 00 B: 20076 N: 0278 M: Toulouze, Barnajillo Court


JUNE, 2007

	10	10	10
	OS/MAZE	OS/MAZE	OS/MAZE
11	53.4	48.2	109.40
12	55.1	43.4	75.94
13	56.8	40.2	109.50
14	65.5	42.3	14.02
15	53.4	48.2	113.30
16	53.4	48.2	105.53
17	52.5	44.0	33.79
18	56.8	39.3	20.29
19	53.0	25.0	28.65
10	55.5	54.4	61.52
11	52.5	54.4	51.52
12	55.5	54.4	34.85
13	53.0	40.1	22.64
14	53.0	40.2	93.87
15	53.0	40.2	26.87
16	58.5	34.4	7.90
17	50.2	38.4	32.38

SUBDIVISION

Id	Gr	BL	HAZARD	AGE	EDUC	CRIME	CRIME	CRIME
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
(C10)	1711.27	2.42	1478.31	783.32	1018.20	604.11	1486.20	25.75
(C11)	1717.37	2.50	1481.31	783.32	1018.20	604.11	1486.20	25.75
(C12)	1723.47	2.58	1484.31	783.32	1018.20	604.11	1486.20	25.75
(C13)	1729.57	2.66	1487.31	783.32	1018.20	604.11	1486.20	25.75
(C14)	1735.67	2.74	1490.31	783.32	1018.20	604.11	1486.20	25.75
(C15)	1741.77	2.82	1493.31	783.32	1018.20	604.11	1486.20	25.75
(C16)	1747.87	2.90	1496.31	783.32	1018.20	604.11	1486.20	25.75
(C17)	1753.97	2.98	1499.31	783.32	1018.20	604.11	1486.20	25.75
(C18)	1760.07	3.06	1502.31	783.32	1018.20	604.11	1486.20	25.75
(C19)	1766.17	3.14	1505.31	783.32	1018.20	604.11	1486.20	25.75
(C20)	1772.27	3.22	1508.31	783.32	1018.20	604.11	1486.20	25.75
(C21)	1778.37	3.30	1511.31	783.32	1018.20	604.11	1486.20	25.75
(C22)	1784.47	3.38	1514.31	783.32	1018.20	604.11	1486.20	25.75
(C23)	1790.57	3.46	1517.31	783.32	1018.20	604.11	1486.20	25.75
(C24)	1796.67	3.54	1520.31	783.32	1018.20	604.11	1486.20	25.75
(C25)	1802.77	3.62	1523.31	783.32	1018.20	604.11	1486.20	25.75
(C26)	1808.87	3.70	1526.31	783.32	1018.20	604.11	1486.20	25.75
(C27)	1814.97	3.78	1529.31	783.32	1018.20	604.11	1486.20	25.75
(C28)	1821.07	3.86	1532.31	783.32	1018.20	604.11	1486.20	25.75
(C29)	1827.17	3.94	1535.31	783.32	1018.20	604.11	1486.20	25.75
(C30)	1833.27	4.02	1538.31	783.32	1018.20	604.11	1486.20	25.75
(C31)	1839.37	4.10	1541.31	783.32	1018.20	604.11	1486.20	25.75
(C32)	1845.47	4.18	1544.31	783.32	1018.20	604.11	1486.20	25.75
(C33)	1851.57	4.26	1547.31	783.32	1018.20	604.11	1486.20	25.75
(C34)	1857.67	4.34	1550.31	783.32	1018.20	604.11	1486.20	25.75
(C35)	1863.77	4.42	1553.31	783.32	1018.20	604.11	1486.20	25.75
(C36)	1869.87	4.50	1556.31	783.32	1018.20	604.11	1486.20	25.75
(C37)	1875.97	4.58	1559.31	783.32	1018.20	604.11	1486.20	25.75
(C38)	1882.07	4.66	1562.31	783.32	1018.20	604.11	1486.20	25.75
(C39)	1888.17	4.74	1565.31	783.32	1018.20	604.11	1486.20	25.75
(C40)	1894.27	4.82	1568.31	783.32	1018.20	604.11	1486.20	25.75
(C41)	1900.37	4.90	1571.31	783.32	1018.20	604.11	1486.20	25.75
(C42)	1906.47	4.98	1574.31	783.32	1018.20	604.11	1486.20	25.75
(C43)	1912.57	5.06	1577.31	783.32	1018.20	604.11	1486.20	25.75
(C44)	1918.67	5.14	1580.31	783.32	1018.20	604.11	1486.20	25.75
(C45)	1924.77	5.22	1583.31	783.32	1018.20	604.11	1486.20	25.75
(C46)	1930.87	5.30	1586.31	783.32	1018.20	604.11	1486.20	25.75
(C47)	1936.97	5.38	1589.31	783.32	1018.20	604.11	1486.20	25.75
(C48)	1943.07	5.46	1592.31	783.32	1018.20	604.11	1486.20	25.75



County Road 1, 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES

Trula Howe

From: webmaster=cabq.gov@mailgun.org on behalf of webmaster@cabq.gov
Sent: Friday, January 24, 2020 10:49 AM
To: Trula Howe
Cc: ONC@cabq.gov
Subject: Neighborhood Meeting Inquiry Sheet Submission
Attachments: C-12-Z.pdf

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Trula Howe

Telephone Number

505-897-4225 ext 133

Email Address

tru@cginm.com

Company Name

Novus Properties LLC

Company Address

7916 Ranchitos Lp NE

City

Albuquerque

State

NM

ZIP

87113

Legal description of the subject site for this project:

Lot A-2-B, Fountain Hills Plaza Subdivision

Physical address of subject site:

Paradise Blvd NW and Nunzio NW

Subject site cross streets:

Paradise Blvd NW and Nunzio NW

Other subject site identifiers:

This site is located on the following zone atlas page:

C-12-A

Trula Howe

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Friday, January 24, 2020 3:09 PM
To: Trula Howe
Subject: Paradise Blvd NW and Nunzio NW Public Notice Inquiry
Attachments: C-12-Z.PDF

Dear Applicant,

See list of associations below regarding your Public Notice Inquiry. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	
Westside Coalition of Neighborhood Associations	Harry	Hendriksen	hlhen@comcast.net	10592 Rio Del Sol NW	Albuquerque	NM	87114	
Piedras Marcadas NA	Susan	Deese-Roberts	sdeese@unm.edu	9124 Laura Lee Place NW	Albuquerque	NM	87114	50568173
Piedras Marcadas NA	Lawrence	Fendall	lfendall@netscape.net	8600 Tia Christina Drive NW	Albuquerque	NM	87114	50538592
Paradise Hills Civic Association	Tom	Anderson	ta_a@msn.com	10013 Plunkett Drive NW	Albuquerque	NM	87114	50530401
Paradise Hills Civic Association	Maria	Warren	samralphroxy@yahoo.com	5020 Russell Drive NW	Albuquerque	NM	87114	50544022

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Friday, January 24, 2020 10:49 AM
To: Office of Neighborhood Coordination <tru@cginm.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Trula Howe

Telephone Number

505-897-4225 ext 133

Email Address

tru@cginm.com

Company Name

Novus Properties LLC

Company Address

7916 Ranchitos Lp NE

City

Albuquerque

State

NM

ZIP

87113

Legal description of the subject site for this project:

Lot A-2-B, Fountain Hills Plaza Subdivision

Physical address of subject site:

Paradise Blvd NW and Nunzio NW

Subject site cross streets:

Paradise Blvd NW and Nunzio NW

Other subject site identifiers:

This site is located on the following zone atlas page:

C-12-A

=====
This message has been analyzed by Deep Discovery Email Inspector.

Trula Howe

From: Trula Howe
Sent: Friday, January 24, 2020 3:29 PM
To: 'aboard111@gmail.com'; 'hlhen@comcast.net'; 'sdeese@unm.edu';
'lfendall@netscape.net'; 'ta_a@msn.com'; 'samralphroxy@yahoo.com'
Subject: NEIGHBORHOOD MEETING NOTIFICATION - EASEMENT VACATION TRACT A-2-B
FOUNTAIN HILLS
Attachments: EASEMENT VACATION EEXHIBIT FOR TRACT A-2-B.pdf; AssessorsPlat Map
2004C-239.pdf; C-12-Z.pdf; Certified Letter for Vacation Easement to Neighborhood
Organizations 1-24-20.docx

Good morning, all,

Please see attached neighborhood meeting notification, providing an opportunity to discuss Novus Properties' application for Vacation of private Easement on tract A-2-B at Fountain Hills Subdivision. Please respond whether you would like to have a meeting, or if you decline.

Also attached are the following documents:

- Zone Atlas Page
- Proposed Easement
- Original Plat

Per the City of Albuquerque's Integrated Development Ordinance, if you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting and we may submit anytime thereafter. Thank you.

Tru (Trula) Howe



Custom Grading, Inc.

Office Manager

PH: 505-897-4225 *133

Cel: 505-321-2722

FX: 505-792-2399



Trula Howe

From: Ewell, Diego <dewell@cabq.gov>
Sent: Friday, January 24, 2020 11:38 AM
To: Trula Howe
Subject: RE: Buffer Map
Attachments: 8.5x11 - Paradise and Nunzio Buffer 230 Ft..pdf; Paradise and Nunzio List of Property Owners.docx

Here is the buffer map with a 230 ft. buffer excluding the right of way, also I have included the list of property owners with in the buffer map,

Thank You,



Diego Ewell
senior office assistant
administration
o 505.924.3811
e dewell@cabq.gov
cabq.gov/planning

From: Ewell, Diego
Sent: Friday, January 24, 2020 11:03 AM
To: 'Trula Howe' <tru@cginm.com>
Subject: RE: Buffer Map

Hello,

Thank You for the zone atlas I will get started on it immediately.



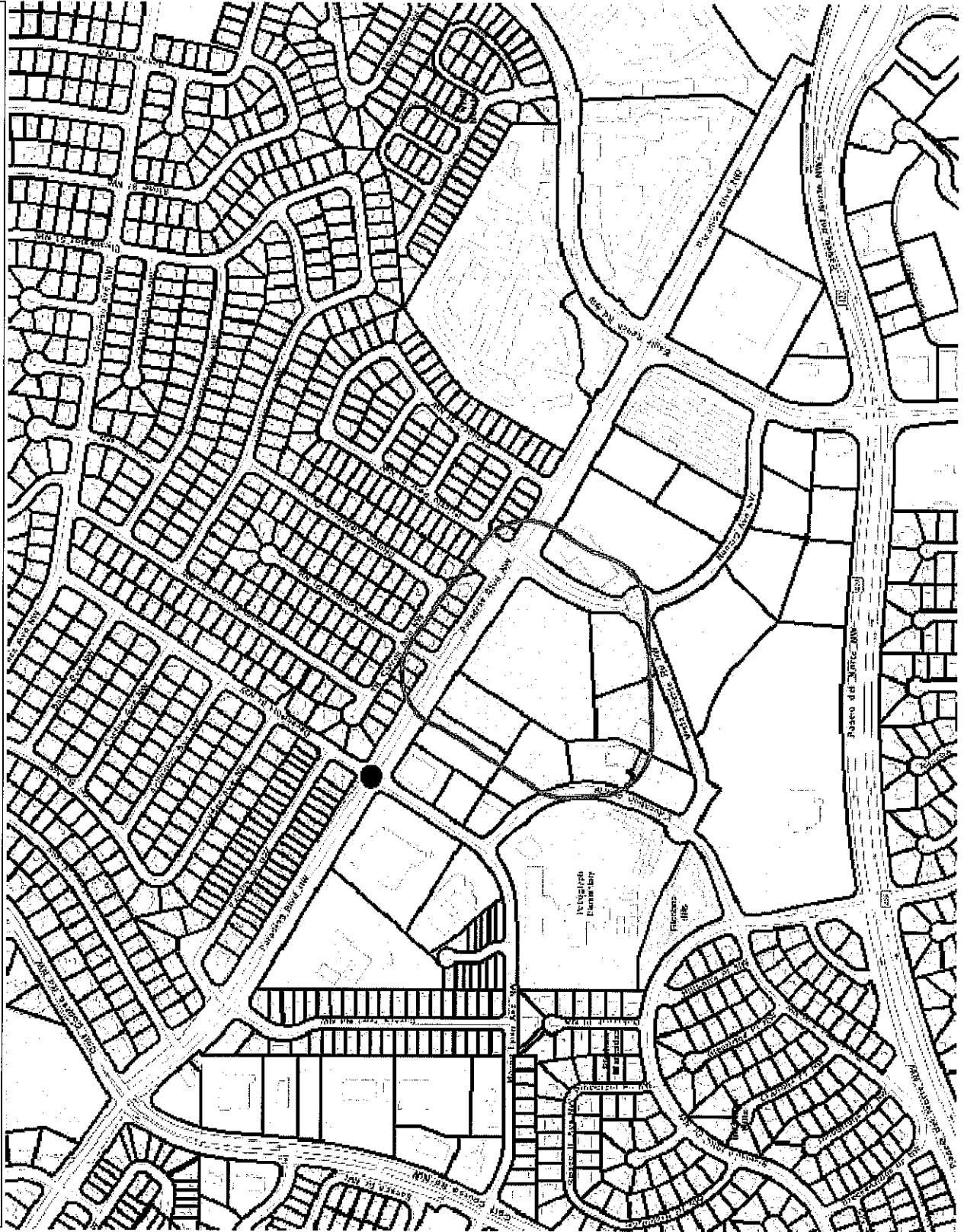
Diego Ewell
senior office assistant
administration
o 505.924.3811
e dewell@cabq.gov
cabq.gov/planning



Paradise and Nunzio

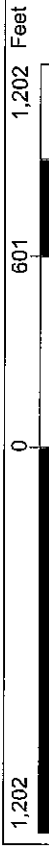


Legend
□ Bernalillo County Parcels



Notes

Buffer: 230 Ft.
ROW Paradise: 130 Ft.



WGSS_1984_Web_Mercator_Auxiliary_Sphere
1/24/2020
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

KETCHUM TERRY T & BENEE D
4708 WILDFIRE RD NW
ALBUQUERQUE NM 87114-5340

Z & T CATTLE COMPANY LLC
1501 S MARY ST
PECOS TX 79772-5615

LAIDMAN DAVID
4904 TB CATRON AVE NW
ALBUQUERQUE NM 87114-5307

PAJUNEN VICTOR E & ROSE MARIE
4928 T B CATRON NW
ALBUQUERQUE NM 87114

ROWTON ELIJAH W & CANDACE L
4936 TB CATRON AVE NW
ALBUQUERQUE NM 87114-5319

MULLINS JASON A & BRITTAINY R
7005 CHRISTY AVE NE
ALBUQUERQUE NM 87109

SMITH J ROGER & BRENDA J
4908 T B CATRON AVE NW
ALBUQUERQUE NM 87114

ARAGON AMANDA J
4916 T B CATRON AVE NW
ALBUQUERQUE NM 87114

PRESBYTERIAN HEALTHCARE SERVICES
REAL ESTATE DEPARTMENT
PO BOX 26666
ALBUQUERQUE NM 87125-6666

REGMI ANANDA & SNIGDHA SHARMA
4716 WILDFIRE RD NW
ALBUQUERQUE NM 87114

MARES LAUREN N
4912 T B CATRON AVE NW
ALBUQUERQUE NM 87114

Z & T CATTLE COMPANY LLC
1501 S MARY ST
PECOS TX 79772-5615

SHARIFI AREF & PANAYI AMAN
4920 T B CATRON AVE NW
ALBUQUERQUE NM 87114-5307

PADILLA PETER PAUL & LORETTA
ANNETTE
21 BUNTON RD
BELEN NM 87002-8293

SAYLER BRANDON T & SAYLER ANGELA
J
4932 T B CATRON NW
ALBUQUERQUE NM 87114

YUKYOM REALTY LLC & NOAH
OPERATIONS ALBQ LLC & PIERSON
DONALD C & ETAL
PO BOX 1289
RIVERTON UT 84065-1289

NOVUS PROPERTIES LLC
PO BOX 94088
ALBUQUERQUE NM 87199-4088

Z & T CATTLE COMPANY LLC
1501 S MARY ST
PECOS TX 79772-5615

JB2C LLC
3821 MASTHEAD ST NE
ALBUQUERQUE NM 87109

JDS FAMILY LTD PARTNERSHIP
3205 LAKESIDE VILLAGE
PRESCOTT AZ 86301-7656

LAUNCHPAD INVESTMENTS LLC
274 CALLE CONEJO
CORRALES NM 87048-8677

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



225 S DAILY LTD PARTNERSHIP
3305 LAKESIDE VILLAGE
PRINCETON NJ 08540-7654

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



ALLEGRA TERRY T & SON LTD
4708 WILSON RD NW
ALBUQUERQUE NM 87115 5142

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



LAMPSON INVESTMENTS LLC
271 CALLE CONCHO
CORRAL BLANCO NM 87013 9679

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



ASCO LLC
1825 MADISON ST NE
ALBUQUERQUE NM 87109

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



Z & V CATTLE COMPANY LLC
1501 S MARY ST
PUECO TX 79773-5413

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



YOUNG REALTY LLC & SOON
OPERATIONS ALSO LLC & PLEASANT
DOWNEY & STAL
PO BOX 1283
MCKINNEY TX 75069-1189

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



NOVUS PROPERTIES LLC
PO BOX 91358
ALBUQUERQUE NM 87139-4088

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



SALLER BRANDON T & SALLER ANGELA
4327 N CANYON NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



SHAW J & P & PAMAH ANZEN
4300 N CANYON AVE NW
ALBUQUERQUE NM 87114-5307

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



PAOLA PETER PAUL & LORETTA
ANASTAS
12 BOUTWELL RD
SELEN NM 87028-4208

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



ARMAS LAURENCE
4811 N CANYON AVE NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



SELYO ANILISA & SUGGIA SHARMA
4718 WILLOW RD NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



Z & V CATTLE COMPANY LLC
1501 S MARY ST
PUECO TX 79773-5413

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



PROCTER & GAMBLE SERVICES
REAL ESTATE DEPARTMENT
PO BOX 99667
ALBUQUERQUE NM 87115-4666

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



ARMON ANALISA J
4718 N CANYON AVE NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



MATHY ROGER & BECKMAN
4306 N CANYON AVE NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



PANUSH VICTORY & ROSA ALAN
4718 N CANYON AVE NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



JOHNSON LUCIAN W & CANDACE L
4718 N CANYON AVE NW
ALBUQUERQUE NM 87114-4319

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



ARMON ROSA A & BERTHANY A
4718 N CANYON AVE NW
ALBUQUERQUE NM 87114

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



Z & V CATTLE COMPANY LLC
1501 S MARY ST
PUECO TX 79773-5413

NOVUS PROPERTIES LLC
7718 RANCHOITOS LOOP NE
ALBUQUERQUE, NM 87139



ARMON ROSA A & BERTHANY A
4718 N CANYON AVE NW
ALBUQUERQUE NM 87114-4319

[Note: Items with an asterisk (*) are required.]

9. Overlay Zone(s) [if applicable] _____
10. Center or Corridor Area [if applicable] _____
11. Current Land Use [vacant, if none] Vacant _____
12. Deviations Requested [if applicable] _____
13. Variances Requested [if applicable] _____

The anticipated public hearing ☒ [meeting or hearing] for this request will be on
2/5/2020 [date] at 9:00am [time]
in the Hearing Room (Basement Level) of Plaza Del Sol, 600 2nd St NW, Albuquerque, NM 87102.*

You can check the agenda for the relevant decision-making body online here:

<https://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

NOTE: Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project [IDO Section 14-16-6-4(D)]. To request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955. To view and download the Facilitated Meetings Criteria, visit <http://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development>.

Please contact me with any questions or concerns at (505) 897-4225 [phone number*] or
via tru@cginm.com [email*].

More information about the project can be found here: [project webpage*, if applicable]

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Novus Properties LLC [Agent/Property Owner/Developer]

Cc: _____ [Other Neighborhood Associations, if any]