



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 18, 2000

Guy C. Jackson, P.E.  
BPLW  
6200 Uptown Blvd. NE  
Albuquerque, New Mexico 87110

***RE: Engineer's Certification Plan for French Mortuary at Golf Course Pointe (C12/D15),  
Submitted for Certificate of Occupancy Approval, Engineer's Certification Stamp  
Dated 8/10/00.***

Dear Mr. Jackson:

Based on the information provided, the above referenced Engineer's Certification is adequate for release of the permanent Certificate of Occupancy for the French Mortuary located at 9300 Golf Course Road NW.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Whitney Reiersen, City Hydrology  
File



**City of Albuquerque**  
**P.O. Box 1293 Albuquerque, NM 87103**  
**Public Works Department**

**July 25, 2000**  
**Certificate of Work Order Completion**

City Engineer  
600 Second St.  
Plaza Del Sol  
Albuquerque, NM 87102

Re: Golf Course Pointe, Phase 1, Phase/Unit #1, Project No. 6229.81

Dear Sir:

This is to certify that Project No. 6229.81 has been completed according to approved plans and construction specifications. Please be advised this Certificate of Work-Order Completion does not constitute acceptance of the city infrastructure until all requirements of the subdivision improvements agreement have been satisfied and a Certificate of Completion and Acceptance is issued by the City Engineer.

The project is described as follows:

Golf Course Road was improved under this work order from the north property line to the south property line of the Golf Course Pointe Subdivision. Improvements include two arterial driving lanes (northbound), two turn bays into subdivision, three entrances into subdivision, three turn bays along the south bound median into subdivision, striping and improvements to Marna Lynn Avenue for future extension between tract 5D and 5E. 10' wide bike trail was also constructed along the eastside of Golf Course Road from property line to property line.

Storm sewer improvement includes one (1) type "A" inlet along Golf Course Road south of Marna Lynn Avenue. 8' manhole at Marna Lynn Road at the end of existing 66" RCP w/36" RCP extension north to tract 5D ponding area, 18" RCP extension to inlet on Marna Lynn, and 24" RCP extension east for future Marna Lynn Avenue extension. Storm sewer improvements also extended to tract 5C.

Inlets constructed along Golf Course Road; two type "A" adjacent to tract 5D and 1 type "A" adjacent to tract 5C. Water and sewer lines also extended to each lot. Service of water and sewer will be by New Mexico Utilities, Inc.

Sincerely,

*Peter Chang* 7-25-00  
Peter Chang, P.E. *P380*

Chief Construction Engineer  
Public Works Department

c: C.C.M.  
BPLW Arch. & Engineer  
Master Scheduler  
Project Administrator  
Martin Barker, Materials Testing Lab  
Sam Hall, Water Systems  
Dave Harmon, Traffic Engineering, PWD  
Josie Jaramillo, New Meter Sales, PWD  
Richard Zamora, Maps & Records, PWD  
Project No. 6229.81  
Warranty: Contract



# *City of Albuquerque*

December 14, 1999

Guy C. Jackson, P.E.  
BPLW  
6200 Uptown Blvd. NE  
Albuquerque, New Mexico 87110

***RE: Revised Drainage Report and Grading and Drainage Plan for Golf Course Pointe  
(C12/D15), Engineer's Stamp Dated 12/1/99.***

Dear Mr. Jackson:

Based on the information provided, the above referenced plan for Golf Course Pointe, dated December 1, 1999, is approved for Site Development Plan for Subdivision and Site Development Plan for Building Permit. This plan is also approved for Rough Grading Permit release.

As you are aware, site specific Grading and Drainage plans will be required prior to Building Permit release for each Tract. These plans must be in compliance with this approved site plan. Each tract will require an Engineer's certification prior to release of the Certificate of Occupancy for each site.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: John Triandafilidis, S & J Enterprises  
File

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## **DRAINAGE PLAN**

The following items pertaining to the (Revised) Paradise Pointe Drainage Plan are contained herein: 1) Original Approval Letter; 2) Vicinity Map; 3) Flood Hazard Map; 4) AMAFCA Release of 150' Drainage Easement; 5) Calculations; and 6) Master Drainage Plan (C2.2); Master Grading Plan(C2.1).

The revisions were due to minor modifications to the Site Plan for Building Permit and Site Plan for Subdivision, of which have been submitted to the COA Planning Department for administrative amendment.

As shown by the Vicinity Map, the site lies east of Golf Course Road N.W. and north of the Golf Course Road N.W. Paseo Del Norte N.W. intersection.

Per the flood insurance rate maps 116 of 825 for Bernalillo County, dated September 20, 1996, the site is neither in nor adjacent to a flood hazard zone area. However, there was a 150 foot wide drainage easement, which used to be the floodplain for the north leg of the Piedras Marcadas Arroyo. The construction of the 96" storm drain in 1995 and subsequent Letter of Map Revision removed the floodplain from the easement. On August 6, 1999 A.M.A.F.C.A. authorized a release of the easement pending financial guarantees or completion of the proposed Golf Course Storm Drain Improvements (See attached release). Subsequently, the subdivision plat (approved 8/4/99) vacated the AMAFCA drainage easement which also included the required financial guarantees mentioned above. The nearest flood hazard zone is located and contained in the remaining section of the Piedras Marcadas Arroyo, which is located west of the site and designated as Zone A.

The (Revised) Grading Plan shows existing contours at 1'-0" intervals, limit and character of the proposed improvements and the existing conditions of the site. As shown by this plan, the proposed plan consists of the construction of shopping center buildings, fast food buildings, a mortuary, a gas station, a tire store and a Walgreen's with associated parking, walkways, and landscaping.

In the existing condition, all of the storm water runoff from the site is collected in the existing 66" RCP located at the southwest corner of the site. This pipe discharges into the existing 96" storm drain in Golf Course Road, which continues south and drains into the Piedras Marcadas Arroyo. No offsite flows enter the site from the north, east, south or west. The Golf Course Road Drainage Plan prepared by Community Sciences in January, 1990 identifies two future connection points stubbing into the project site with allowable "fully developed" discharge rates of 20.7cfs from the existing north basin and 25.72cfs from the existing south basin as identified on the existing basin map exhibit which resides on the lower left corner of the Master Drainage Plan (Sheet C2.2 -Appendix "C"). As shown in the Drainage Summary of Appendix "A", the actual existing "unimproved" condition flows for the north and south basins (Ex North and Ex South) are calculated at 12.58cfs and 21.34cfs respectively.

In the proposed condition the site will sheet flow toward the southwest corner of each basin shown on the Master Drainage Plan in Appendix "C". Basin 1 will drain into a cattleguard type (type b) inlet within Basin 1 near the driving lane which is adjacent to Golf Course Road. This inlet will be in a .67 foot depression with an overflow within the parking lot access lane toward the south. This inlet will have free discharge into the 96" Golf Course Road storm drain system. The Golf Course Road Drainage Plan referenced showed a flow rate into the system of 20.70cfs and the proposed flowrate is 24.55cfs. This increase of 3.85cfs will be offset by a small reduction in the proposed discharge into the 96" storm drain piping by the southern discharge point from the site (reduction from the referenced Golf Course Road Drainage Plan anticipated discharge rate).

Basin 2A will drain toward an inlet at AP2A located just east of the Lot 5-D2 property line of which will drain into the proposed drainage system in the new Marna Lynn Ave., which bounds the property to the south. A spillway at a maximum depth of .5' will spill Basin 2A into Basin 2B to the west. Basin 4, will drain into basin 2B of which will combine to drain approximately 9.8cfs into a proposed type D inlet at AP2. This inlet will drain into a collection pond of which will drain into the existing 96" Golf Course Rd. storm drain system. Basin 3 will drain 3.5cfs into a type "A" inlet along the north side of Marna Lynn Ave. at AP3. Approximately 1.79 cfs of overflow will spill into Basin 6 to the west(also in Marna Lynn Ave.). Basin 6 will drain 0.52cfs into the type A inlet at AP4 with no overflow into Basin 5 to the north(also in Marna Lynn). Basin 5 will drain 0.52cfs into a type "A" inlet at AP5.

The inlets described at AP3, AP4, and AP5 (which drain Basins 3, 5, & 6 )will be collected and discharged into a proposed manhole constructed on the existing 66" storm drain pipe near the AP5 inlet. The existing 66" RCP drains into the existing 96" RCP in Golf Course Road. Combined flowrates for all basins discharging though the 66" connection will be 22.86cfs. This is less than Golf Course Road drainage plan (25.72cfs –a decrease of 2.86cfs) and will help to offset the small increase from Basin 1 as described above for a net negligible increase of 3.85(Basin 1) –2.86(Basins 2A, 2B, 3, 4, 5 and 6) = .99cfs. Basins 7 & 8 will drain into proposed inlets at AP7 and AP8 of which existing stubs were constructed for the project site. The inlets at AP8 and AP9 will collect 4.80cfs and 7.3cfs respectively. Basin 9 will drain 1.12cfs into a proposed inlet at AP9.

As stated above, offsite flows do not enter the site from the north and east due to the drainage patterns of these adjacent sites. Golf Course Road will be modified as part of this proposed development to include curb, gutter, medians deceleration lanes and valley gutters. This will allow for the collection of storm drainage within the street Right of Way.

Golf Course Road has another storm drain collection pipe stubbed out near the southern entrance into the project site. Calculations have been enclosed to show that a Type "A" and Type "C if constructed at this point (AP8), would collect 7.3 cfs and would only pass 0.22cfs. This was not identified in the Golf Course Road drainage plan but the stub out does appear on the Golf Course Road as-built drawings.

The calculations contained in this report analyze the developed conditions for the 100-year, 6-hour rainfall event. The procedure for 40 acre and smaller basins set by Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, dated January 1993, has been used to quantify the peak rate of discharge and volume of runoff generated. As shown by these calculations, there will not be an increase in runoff and discharge rate from the developed site versus the Golf Course Road Drainage Plan fully developed condition.

In conclusion the proposed drainage plan is in general conformance with the Golf Course Road Drainage plan, which was prepared by Community Sciences Inc. dated January 1990. Small modifications have been made to better facilitate the handicap access routes within and accessing the site. These modifications have displaced but not increased total runoff flowrates or volumes into the storm drainage system in Golf Course Road.





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 3, 1999

Guy C. Jackson, P.E.  
BPLW  
6200 Uptown Blvd. NE  
Albuquerque, New Mexico 87110

***RE: Drainage Report and Grading and Drainage Plan for Golf Course Pointe (C12/D15),  
Engineer's Stamp Dated 7/19/99.***

Dear Mr. Jackson:

Based on the information provided, the above referenced plan for Golf Course Pointe, dated July 19, 1999, is approved for Preliminary Plat, Site Development Plan for Subdivision and Site Development Plan for Building Permit approval by the DRB.

The above referenced plan is also approved for Final Plat sign-off, provided that the Plat provides the required cross-Lot drainage easements. The plan is approved for Rough Grading Permit release, provided that it is first approved by the DRB.

Prior to DRC approval of the Work Order drawings, approval from Glenn Jurgensen from City Storm Drain Maintenance must be obtained for the proposed Type "D" inlet on Golf Course.

Site specific Grading and Drainage plans will be required prior to Building Permit release for each Tract.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: DRB-99-36  
John Triandafilidis, S & J Enterprises  
File



**PARTIAL RELEASE OF EASEMENT**

The Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA) hereby releases and discharges of record, as to Paradise Valley Tract 5 only, that certain grant of easement for drainage Right-of-Way, flood control, construction, operation and maintenance of related facilities, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 1983, in Volume C21, Folio 165.1-14, Document 8349644 and relating to Paradise Valley Tracts 1, 2, 3, 4, and 5 Bernalillo County, New Mexico. The easement on Paradise Valley Tract 5 is being released for the reason that drainage improvements within Golf Course Road have removed the entire FEMA Floodplain on said Tract.

ALBUQUERQUE METROPOLITAN ARROYO  
FLOOD CONTROL AUTHORITY

By:

John D. Kelly  
John Kelly, Interim Executive Director

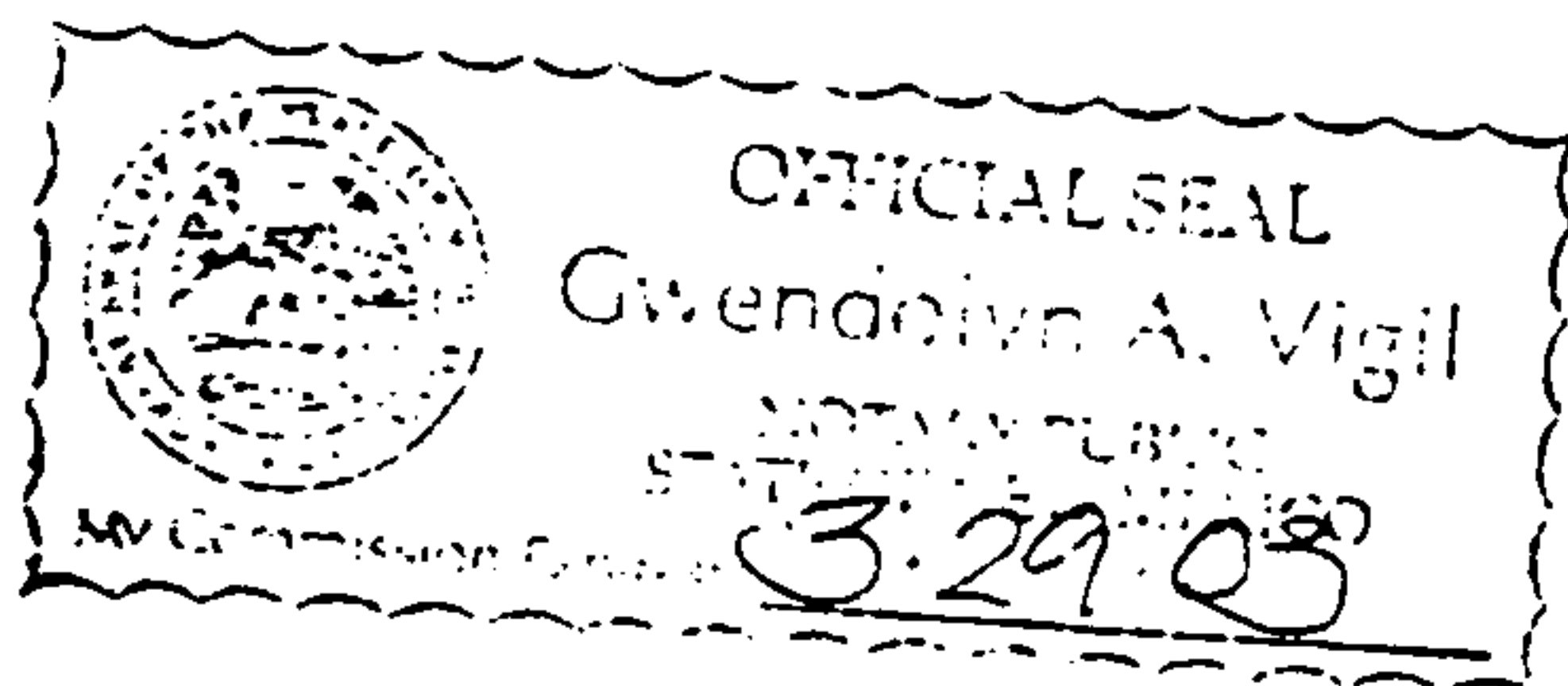
As authorized by the AMAFCA Board of Directors on April 22, 1999

STATE OF NEW MEXICO )

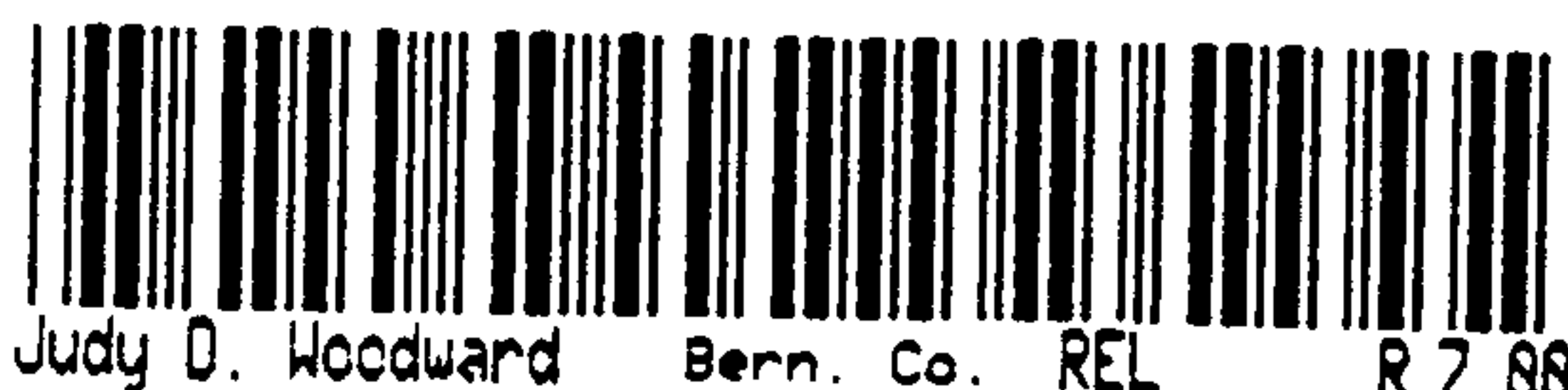
)s.s.

COUNTY OF BERNALILLO )

The foregoing instrument was acknowledged before me on August 6, 1999 by John Kelly as Interim Executive Director of the Albuquerque Metropolitan Arroyo Flood Control Authority, a political subdivision of the State of New Mexico, on behalf of said political subdivision.



Gwendolyn A. Vigil  
Notary Public



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