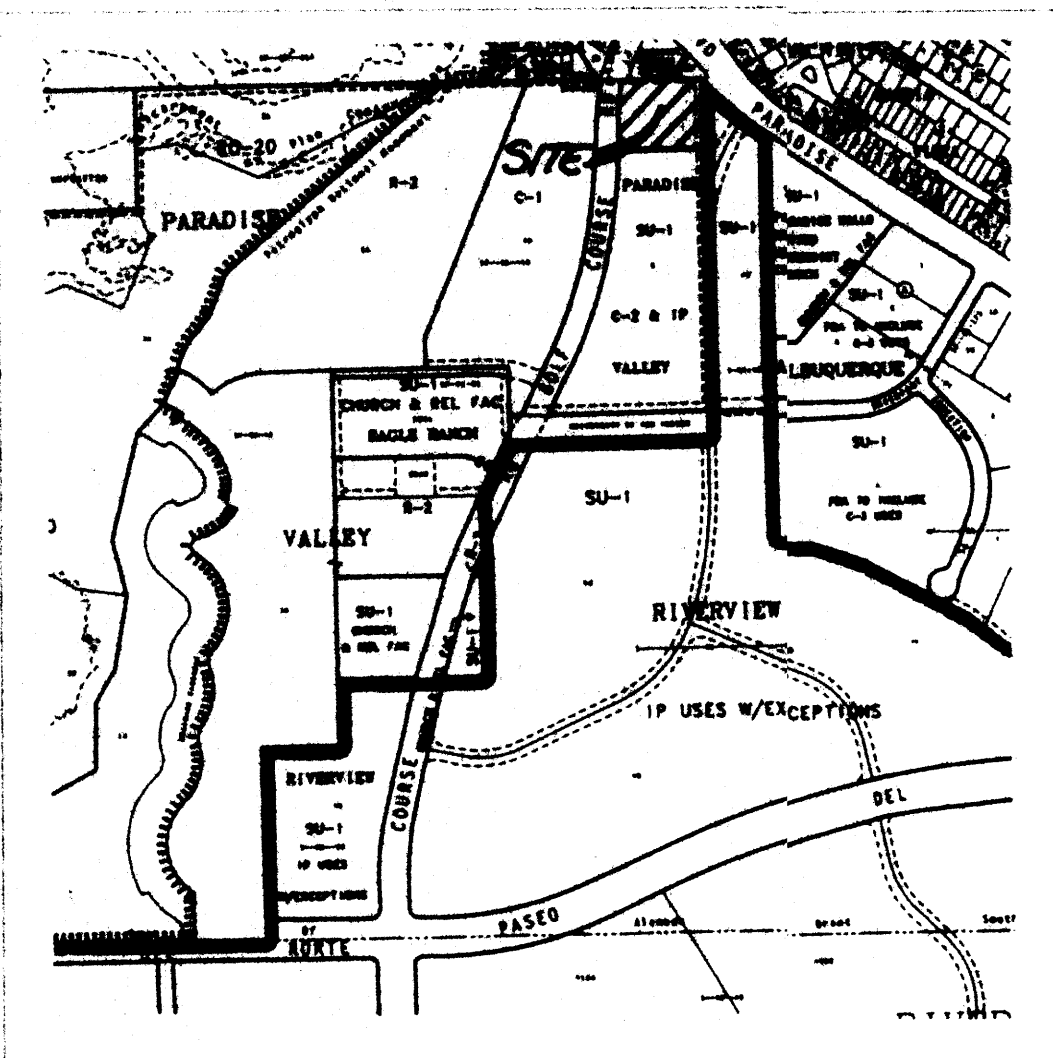
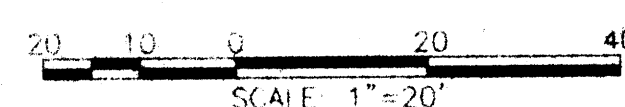




VICINITY MAP (C-12)

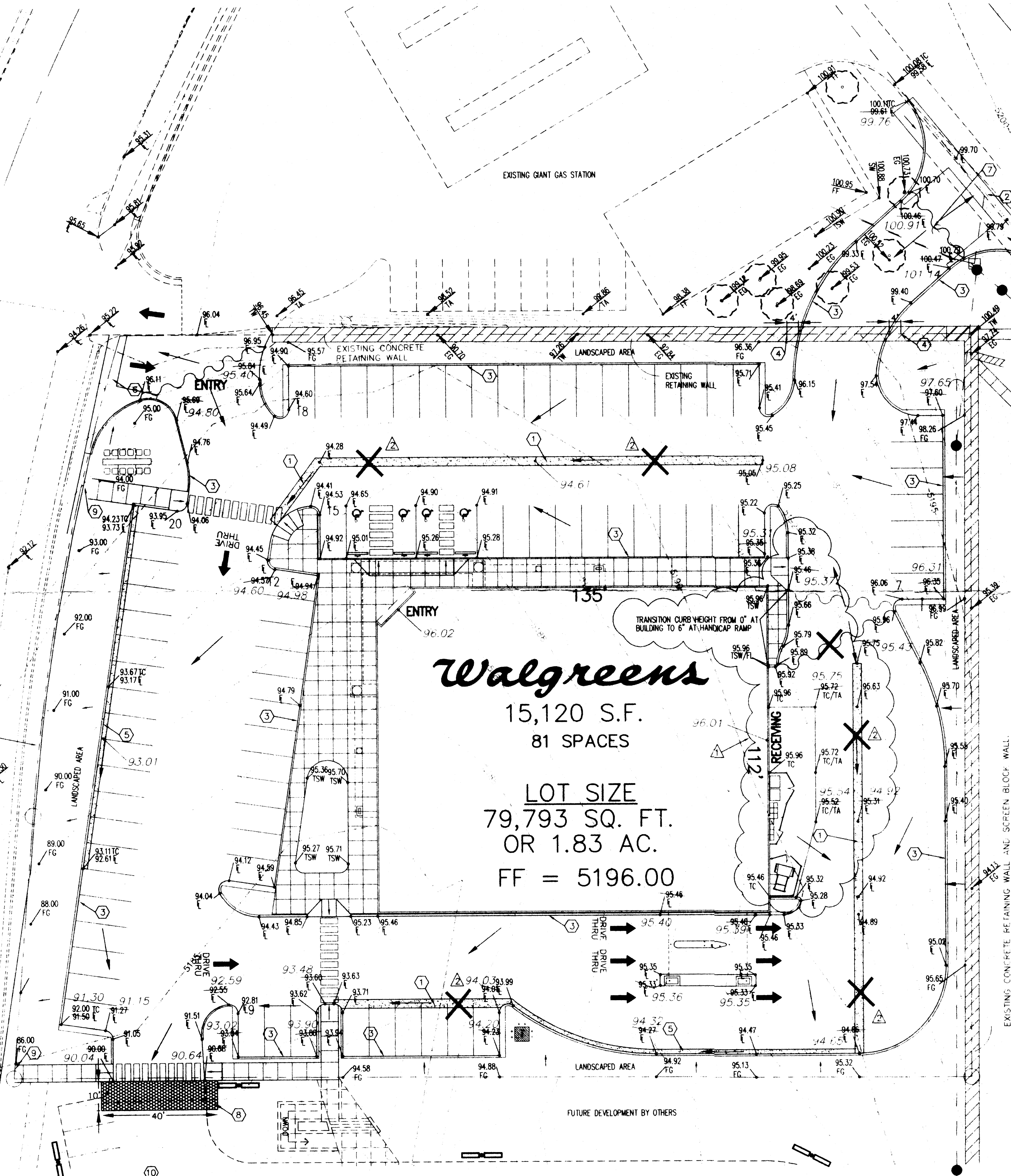


ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THIS SITE HAS BEEN
CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH
THE APPROVED GRADING PLAN
Joe Kelly 6/16/00

NOTE
AS-BUILT ELEVATION DATA PROVIDED BY OWNER
WALKER NAMED 40'x40' ON 4/16/00
87.00 87.20
NO BUILT-UP TREES

GOLF COURSE ROAD

DECEL LINE AND BIKE PATH BY OTHERS



KEYED NOTES

1. INSTALL CONCRETE VALLEY GUTTER PER DETAIL A/C4.
2. NEATLY SAWCUT AND REMOVE EXISTING CURB AND GUTTER.
3. CONSTRUCT 6" HEADER CURB, PER DETAIL C/C4.
4. LIMIT OF RETAINING WALL REMOVAL.
5. CONSTRUCT 6" CURB & GUTTER PER DETAIL B/C4.
6. INSTALL PRIVATE ENTRANCE WITH WHEEL CHAIR RAMPS PER COA STD DRAWING 2426, AND CONCRETE VALLEY GUTTER PER COA STANDARD DRAWING 2420, ALTERNATE B.
7. DOWN GUY TO BE REMOVED BY OTHERS.
8. INSTALL TYPE VL RIP RAP, 12" THICK ON MIRAPOST 140N GEOTEXTILE FABRIC, OR APPROVED EQUIVALENT (TEMPORARY).
9. MATCH BIKE PATH (TO BE CONSTRUCTED BY OTHERS).
10. INSTALL TEMPORARY SILT FENCE AROUND TYPE B INLET THE EAST CURB, ~440 LF SOUTH OF THIS SITE. INLET TO BE INSTALLED BY OTHERS.

LEGAL DESCRIPTION:
A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY NEW MEXICO, BEING TRACT 5-A OF THE PLAT OF PARADISE VALLEY, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 9, 1984 (VOLUME C23, FOLIO 47)

BENCH MARK:
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "3-B12". HAVING AN ELEVATION OF 5277.26 FEET ABOVE SEA LEVEL.

TBM:
PK NAIL WITH TAG LOCATED AT THE NORTHEAST CORNER OF THE LOT (TOP OF RETAINING WALL), ELEVATION = 5200.49

RECEIVED
JUN 19 2000
HYDROLOGY SECTION

DATE	REVISIONS
12/16/00	GRADING REVISIONS
4/20/00	ENGINEER'S CERTIFICATION

WALGREENS
AT GOLF COURSE AND PARADISE
GRADING AND DRAINAGE PLAN
GEORGE RAINHART ARCHITECT & ASSOCIATES 99052

333 R. RANCHO DR. NE
SUITE 101
N.W. RANCHO, N.M. 87524
(505) 852-1541

ENGINEERING
INC.
CINFRAN

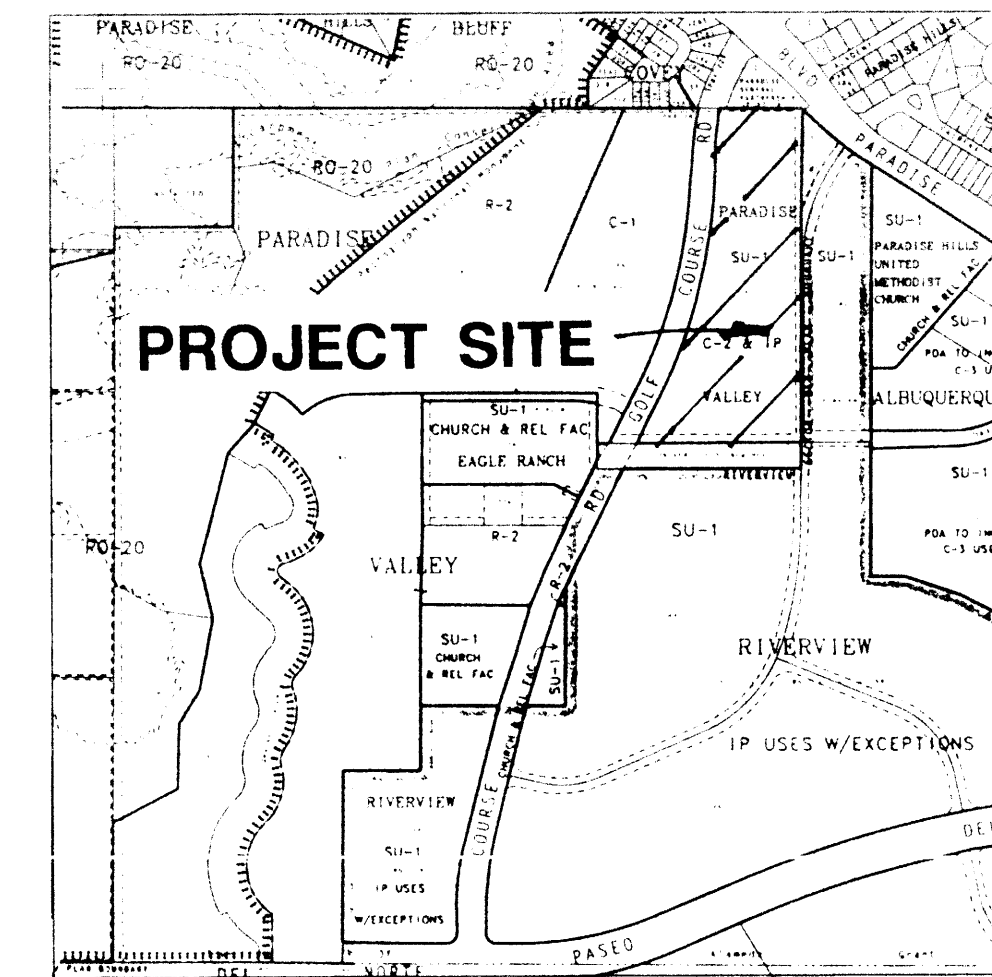
RECEIVED
JUN 19 2000
HYDROLOGY SECTION

C3

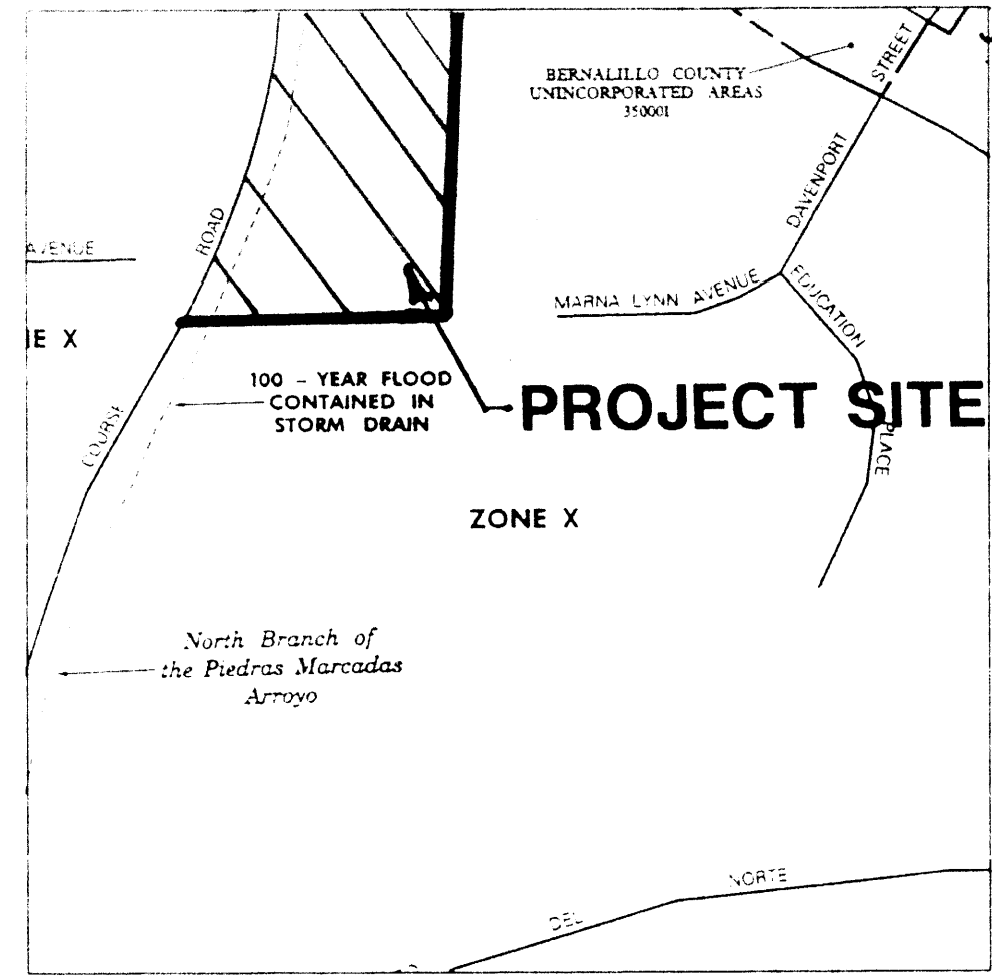
Designing to Shape the Future

LEGEND

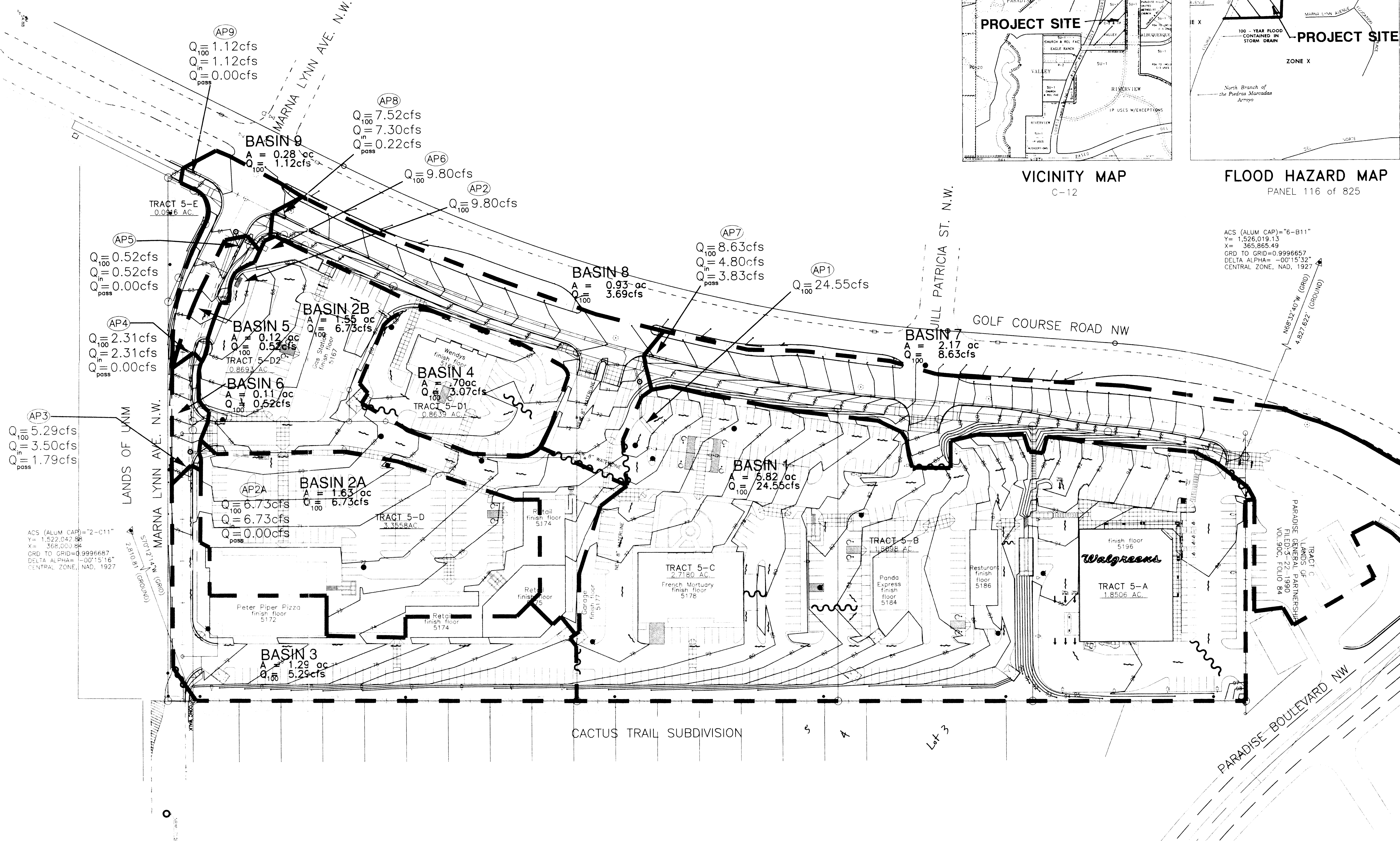
- BASIN BOUNDARIES
- EXISTING INLET
- PROPOSED INLET
- EXISTING STORM DRAIN MH
- PROPOSED STORM DRAIN MH
- PROPOSED WATER BLOCK
- PROPOSED DIRECTION OF FLOW



VICINITY MAP
C-12

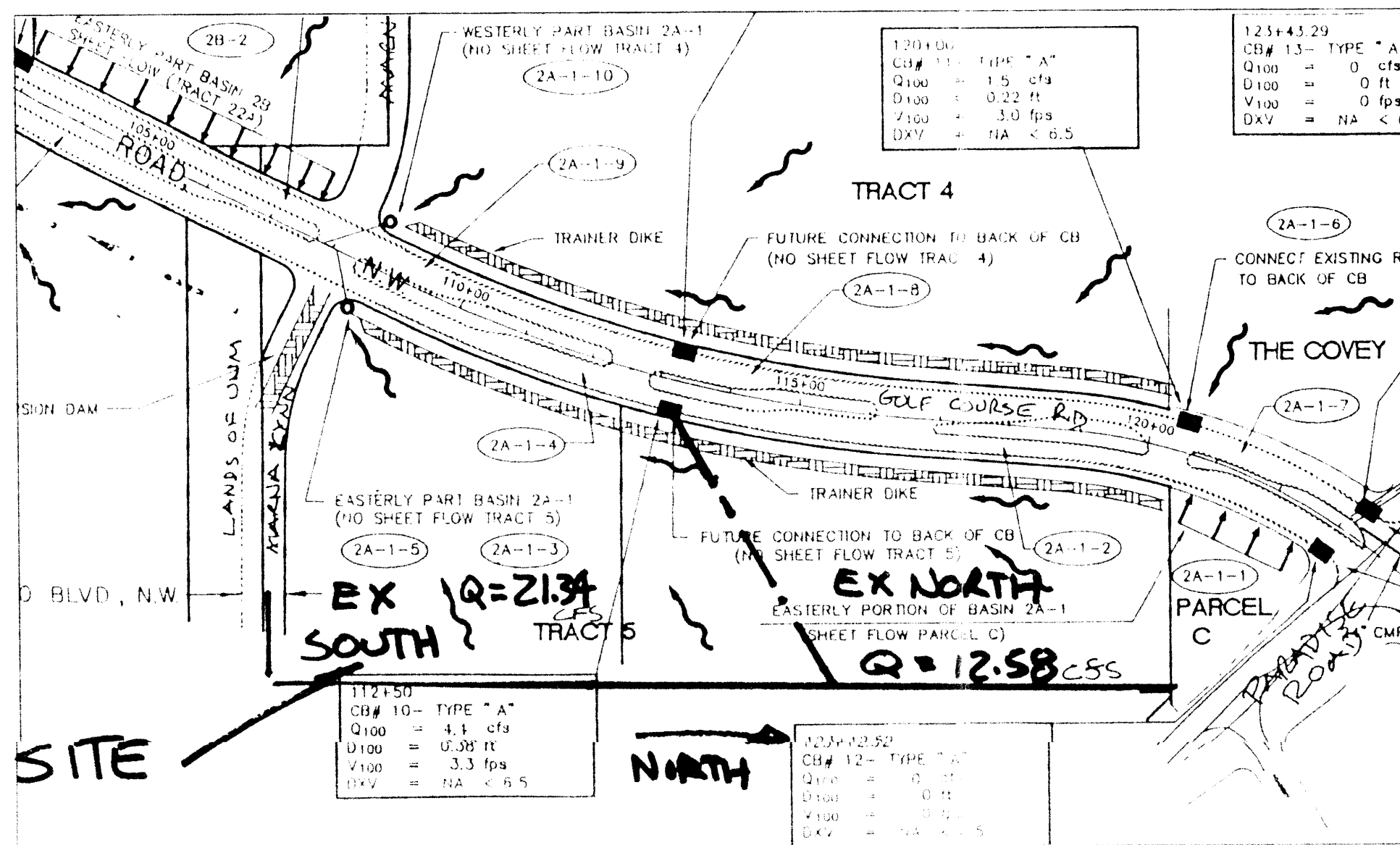


FLOOD HAZARD MAP
PANEL 116 of 825



ACS (ALUM CAP) = "2-C11"
Y = 1,522.042
X = 365,000.84
GRD TO GRID = 0.9996657
DELTA ALPHA = -00°15'16"
CENTRAL ZONE, NAD, 1927

ACS (ALUM CAP) = "6-B11"
Y = 1,526.019.13
X = 365,865.49
GRD TO GRID = 0.9996657
DELTA ALPHA = -00°15'32"
CENTRAL ZONE, NAD, 1927



EXISTING BASIN MAP
(FROM GOLF COURSE RD DRAINAGE REPORT, JAN 1990)

MASTER DRAINAGE PLAN
SCALE: 1"=50'

TRACTS 5-A THRU 5-E

LEGAL DESCRIPTION:
A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, BEING TRACT 5 OF THE PLAT OF PARADISE VALLEY, TRACTS 1-A, 2-A, 3-A, 3-B, 4 AND 5 FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 9, 1984 (VOLUME C23, FOLIO 47) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, BEING A POINT ON THE EAST R/W LINE OF GOLF COURSE RD., N.W., FROM WHENCE A U.S.G.L.O. BRASS CAP AT THE CLOSING CORNER OF SECTIONS 13 AND 14 (T 11 N, R 2 E, N.M.P.M.) WITH THE SOUTH BOUNDARY OF THE TOWN OF ALAMEDA GRANT BEARS S. 44° 50' 19" W. 2835.79 FEET; THENCE ALONG SAID R/W LINE, N. 26° 31' 06" E. 187.95 FEET; THENCE CONTINUING ALONG A CURVE TO THE LEFT, WHOSE RADIUS IS 2043.00 FEET AND WHOSE CHORD BEARS N. 13° 08' 21" E., 951.25 FEET THROUGH A CENTRAL ANGLE OF 26° 55' 29"; THENCE CONTINUING 194.62 FEET ALONG A CURVE TO THE RIGHT, WHOSE RADIUS IS 775.51 FEET AND WHOSE CHORD BEARS N. 06° 51' 58" E., 194.11 FEET THROUGH A CENTRAL ANGLE OF 4° 22' 43" TO THE NORTHWEST CORNER; THENCE LEAVING SAID R/W LINE OF GOLF COURSE ROAD, N.W., S. 89° 47' 40" E. 320.96 FEET TO THE NORTHEAST CORNER; THENCE S. 00° 19' 41" W. 1288.27 FEET TO THE SOUTHWEST CORNER; THENCE N. 89° 47' 40" W. 637.19 FEET TO THE SOUTHWEST AND BEGINNING CORNER.

BENCH
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "3-B12", HAVING AN ELEVATION OF 5277.26 FEET ABOVE SEA LEVEL.

REV.	DESCRIPTION	DATE
------	-------------	------

ENGINEER

ARCHITECT

GOLF COURSE POINTE

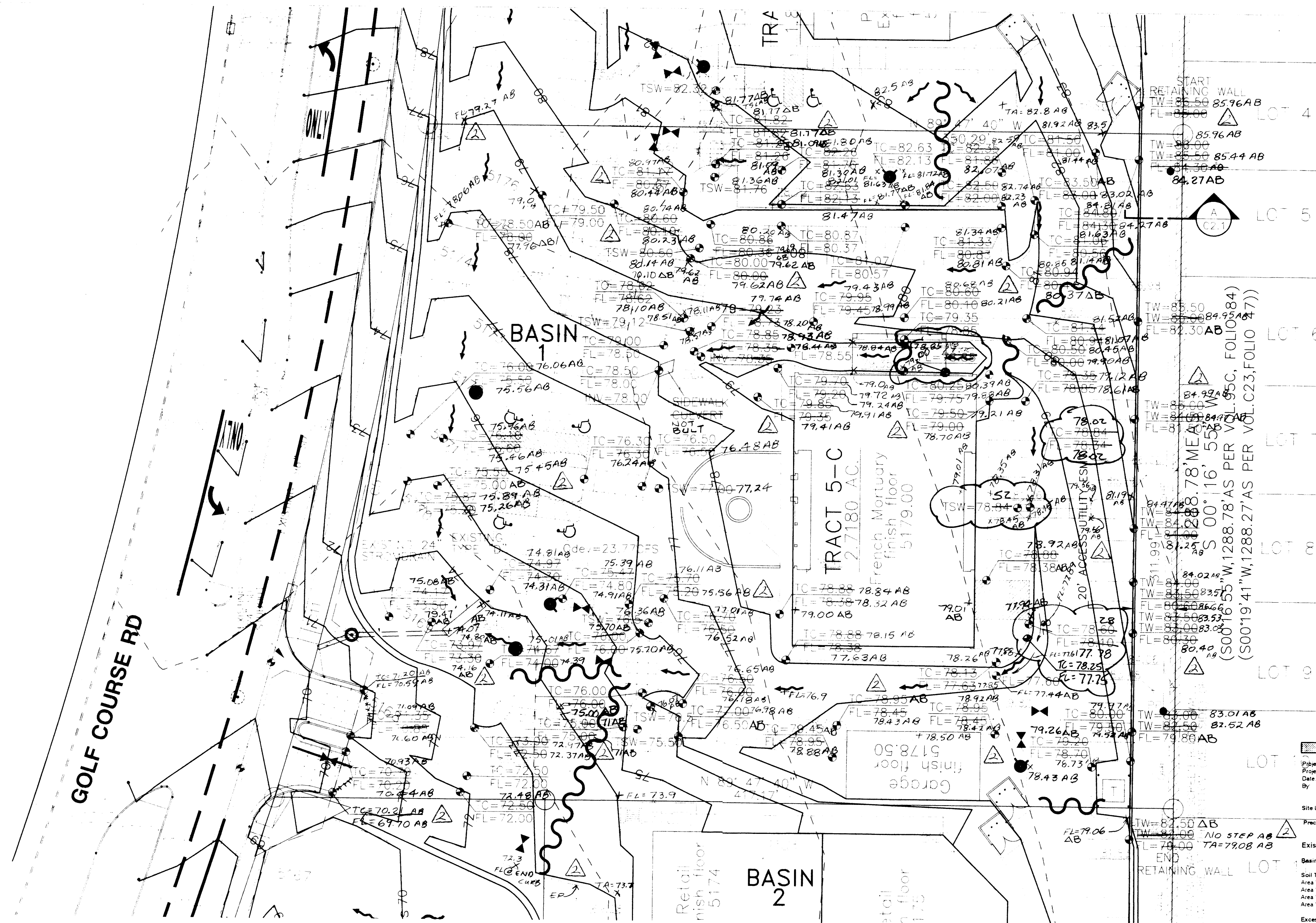
PROJECT NO.	DATE
99013	DEC 1999

MASTER DRAINAGE PLAN

DRAWING NO.

C2.2

SHEET OF



DRAINAGE PLAN

The following items pertaining to the French Mortuary Drainage Plan are contained herein: 1) Vicinity Map; 2) Flood Hazard Map; 3) Drainage Plan and 4) Calculations

As shown by the Vicinity Map, the site lies east of Golf Course Road N.W. and north of the Golf Course Road N.W. Paseo Del Norte N.W. intersection. The site also lies within the Golf Course Pointe Subdivision (Specifically Tract 5-C). A Master Grading and Drainage Plan was prepared in December 1999 by us, BPLW. The Mortuary Grading and Drainage Plan reflects the design set forth in the approved Master Plan. COA Work Order 622981 was also approved in December 1999 of which shows all of the proposed storm drain construction both on and off site. Both plans should be referenced for review of this plan and report.

Currently, the site has just undergone rough grading that was reflects the approved grading and drainage plan referenced above. Per the referenced approved plan and report, the mortuary site will accept sheet flow from the adjacent properties (also in Basin-1) to the north and drain into the existing cattleguard type (type D) inlet within Basin 1 in the driving lane nearest Golf Course Road. This inlet will be in a .67 foot depression with an overflow within the parking lot access lane toward the south. This inlet will have free discharge into an existing 24" stub which connects into the existing 96" Golf Course Road storm drain system.

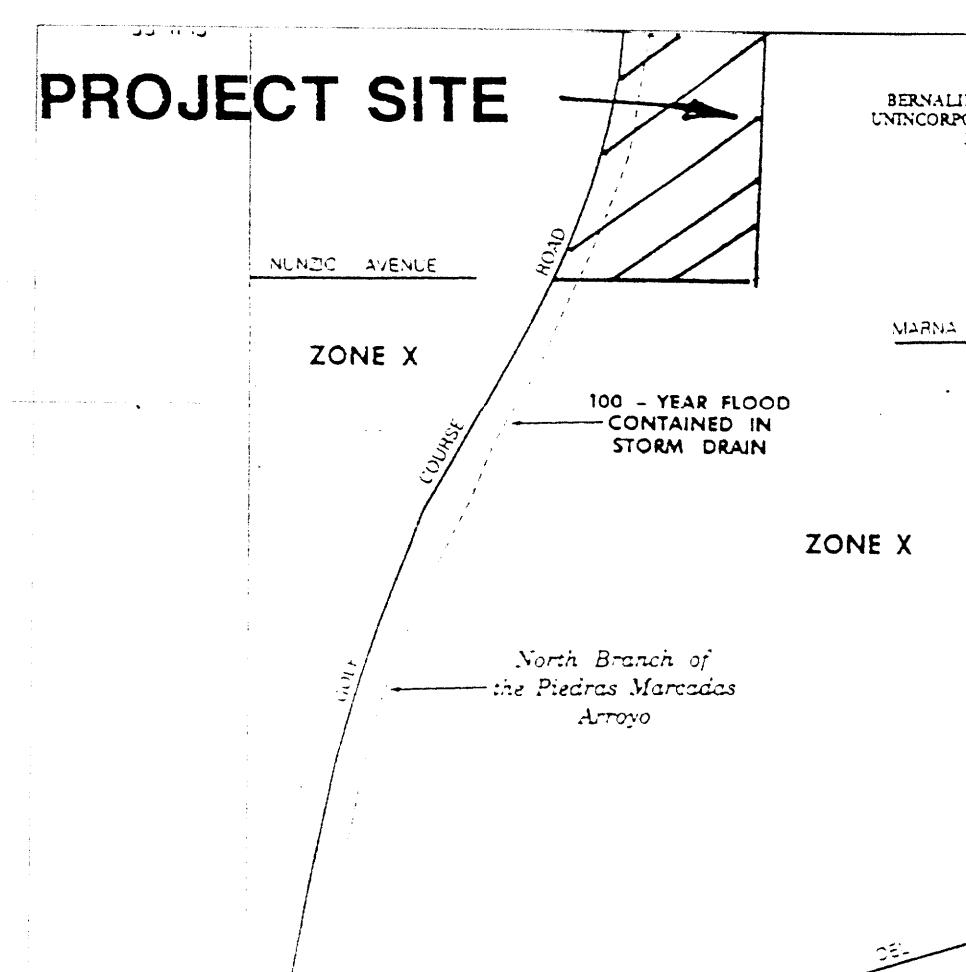
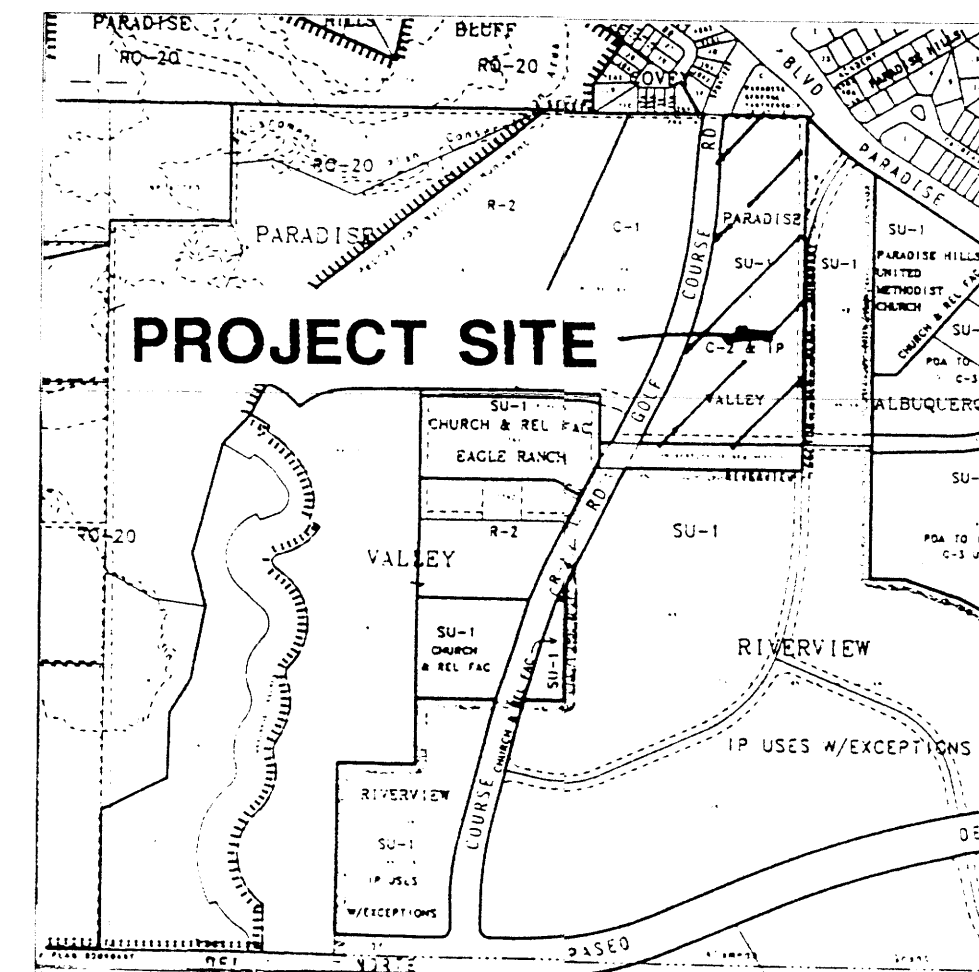
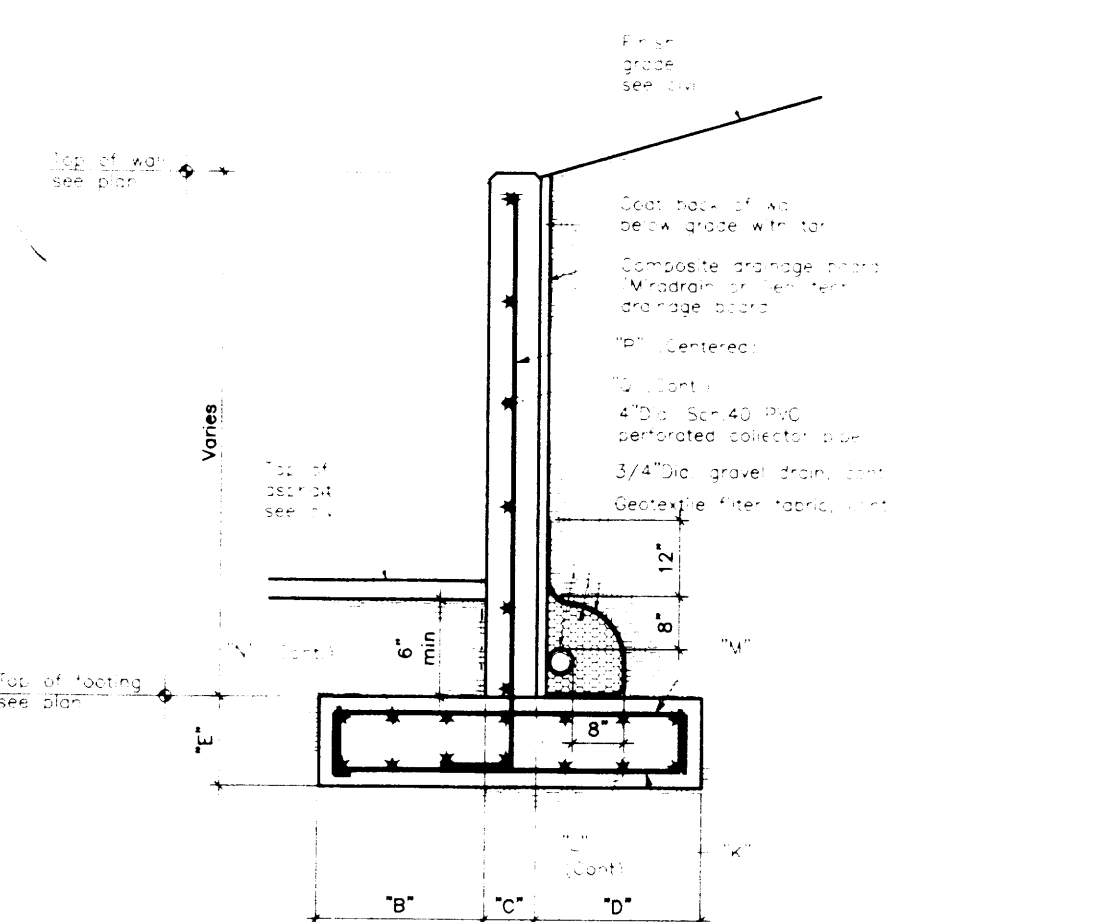
The calculations contained in this report analyze the developed conditions for the 100-year, 6-hour rainfall event. The procedure for 40 acre and smaller basins set by Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, dated January 1993, has been used to quantify the peak rate of discharge and volume of runoff generated.

In conclusion, the proposed drainage plan is in conformance with the approved Master Grading and Drainage Plan prepared by BPLW in December 1999.

Excerpt Calculations from the Approved Master Drainage Report:

Drainage Summary									
Project:	Golf Course Pointe								
Project Number:	99013								
Date:	06/14/99								
By:	Dave A.								
Site Location:	2								
Precipitation Zone:	Per Table A-1 COA DPM Section 22.2								
Existing summary:									
Basin Name:	Ex South								
Soil Treatment (acres):									
Area "A":	0.00								
Area "B":	0.00								
Area "C":	4.58								
Area "D":	0.00								
Excess Runoff (acre-feet):									
100yr 6hr:	0.63								
10yr 6hr:	0.07								
2yr 6hr:	0.00								
100yr 24hr:	0.63								
Peak Discharge (cfs):									
100 yr:	21.34								
10yr:	2.73								
2yr:	2.99								
Proposed summary:									
Basin Name:	Pro 1	Pro 2A	Pro 2B	Pro 3	Pro 4	Pro 5	Pro 6	Pro 7	Pro 8
Soil Treatment (acres):									
Area "A":	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Area "B":	1.18	0.24	0.23	0.02	0.11	0.02	0.00	0.65	0.28
Area "C":	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Area "D":	4.58	1.39	1.32	0.97	0.80	0.10	0.11	1.52	0.68
Excess Runoff (acre-feet):									
100yr 6hr:	0.90	0.25	0.25	0.19	0.11	0.02	0.02	0.31	0.13
10yr 6hr:	0.01	0.01	0.01	0.01	0.01	0.01	0.00	0.02	0.01
2yr 6hr:	0.01	0.02	0.02	0.01	0.02	0.02	0.02	0.01	0.01
100yr 24hr:	1.05	0.29	0.29	0.22	0.13	0.02	0.02	0.36	0.15
Peak Discharge (cfs):									
100 yr:	24.55	6.73	6.73	5.25	3.07	0.52	0.52	8.60	3.65
10yr:	15.73	4.36	4.36	3.35	1.99	0.33	0.35	5.39	2.31
2yr:	5.76	2.47	2.47	1.83	1.12	0.19	0.20	2.88	1.23

RETAINING WALL SCHEDULE (USE WITH WALL "B")									
Designated "B"	Height	Width	Top	Bottom	Top	Bottom	Top	Bottom	Top
4' to 6'	24"	12"	12"	12"	12"	12"	12"	12"	12"
6' to 8'	36"	18"	18"	18"	18"	18"	18"	18"	18"
8' to 10'	48"	24"	24"	24"	24"	24"	24"	24"	24"
10' to 12'	60"	30"	30"	30"	30"	30"	30"	30"	30"
12' to 14'	72"	36"	36"	36"	36"	36"	36"	36"	36"
14' to 16'	84"	42"	42"	42"	42"	42"	42"	42"	42"
16' to 18'	96"	48"	48"	48"	48"	48"	48"	48"	48"
18' to 20'	108"	54"	54"	54"	54"	54"	54"	54"	54"
20' to 22'	120"	60"	60"	60"	60"	60"	60"	60"	60"



VICINITY MAP

FLOOD HAZARD MAP

ENGINEER'S DRAINAGE CERTIFICATION

I Guy C. Jackson, registered NM Civil Engineer, #13289, do hereby certify that to the best of my knowledge and belief that the as-built information for the site provided by Elk Mountain Enterprises appears to be constructed within substantial compliance of the approved Grading Plan. All vertical and horizontal information should be field verified prior to use on future projects. The engineer hereby recommends that a permanent certificate of occupancy be issued.

BPLW

Architects & Engineers, Inc.

6200 Uptown Blvd. NE
Suite 400
Albuquerque, New Mexico 87110
(505) 881-2759

49 West First Street
Suite 100
Mesa, Arizona 85201
(602) 827-2759

Designing to Shape the Future

GENERAL NOTES:

- SEE SHEET CG-0 FOR COMPLETE LIST OF GENERAL NOTES AND COMPLETE LEGEND.
- SEE ARCHITECTURAL PLAN FOR BUILDING CONSTRUCTION.

LEGAL DESCRIPTION:

TRACT 5-C, PARADISE VALLEY SUBDIVISION (GOLF COURSE POINTE).

BENCH MARK:

COA CONTROL STATION "3-B12"
ELEV=5277.6' AND COA CONTROL STATION "6-B-11"
X=363,865.49, Y=1,026,019.13
GROUND TO GRID FACTOR=0.997
DELTA ALPHA=-00°15'32"

AS-BUILT ELEVATIONS: 9/00
FIELD REVISIONS: 4/00
REV. DESCRIPTION DATE

GUY C. JACKSON
REGISTERED PROFESSIONAL ENGINEER
13289
ARCHITECT

FRENCH WEST MESA MORTUARY
ALBUQUERQUE, NM

PROJECT NO. 99027.00 DATE DECEMBER 1999

SITE GRADING/DRAINAGE PLAN

DRAWING NO.

C2.1