

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL / LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (cu-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
ONSITE BASIN A	0.3170	100.00	0.00	0.00	0.00	0.44	0.01	506	0.01	506	0.41
ONSITE BASIN B	0.3559	100.00	0.00	0.00	0.00	0.44	0.01	568	0.01	568	0.46
OFFSITE BASIN C	0.0658	100.00	0.00	0.00	0.00	0.44	0.00	105	0.00	105	0.08
TOTAL	0.74						0.03	1180	0.03	1180	0.95
PROPOSED CONDITIONS											
ONSITE BASIN A	0.3170	0.00	0.00	14.60	85.40	1.83	0.05	2,102	0.08	3,547	1.32
ONSITE BASIN B	0.3559	0.00	0.00	9.31	90.69	1.88	0.06	2,427	0.10	4,150	1.51
BASIN A POND	0.0658	0.00	0.00	40.60	59.40	1.57	0.01	376	0.01	584	0.25
TOTAL	0.74						0.11	4905	0.19	8280	3.07
EXCESS PRECIP.											
		0.44	0.67	0.99	1.97	Ei (in)					
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q _{pi} (cfs)					

$$\text{WEIGHTED E (in)} = (E_A)(\%A) + (E_B)(\%B) + (E_C)(\%C) + (E_D)(\%D)$$

$$V_{6\text{-hr}} (\text{acre-ft}) = (\text{WEIGHTED E})(\text{AREA})/12$$

$$V_{10\text{day}} (\text{acre-ft}) = V_{6\text{-hr}} + (A_0)(P_{10\text{day}} - P_{6\text{-hr}})/12$$

$$Q (\text{cfs}) = (Q_{pA})(A_A) + (Q_{pB})(A_B) + (Q_{pC})(A_C) + (Q_{pD})(A_D)$$

$$\text{ZONE} = 1$$

$$P_{6\text{-hr}} (\text{in.}) = 2.20$$

$$P_{24\text{-hr}} (\text{in.}) = 2.66$$

$$P_{10\text{day}} (\text{in.}) = 3.67$$

DRAINAGE REPORT

LOCATION & DESCRIPTION

THE PROJECT SITE IS 0.74 ACRES, LOCATED ON THE EAST SIDE OF GOLF COURSE ROAD, SOUTH OF PARADISE BOULEVARD, AND NORTH OF MARNA LYNN AVENUE. THE PROPOSED DEVELOPMENT IS BETWEEN AN EXISTING FAST FOOD ESTABLISHMENT TO THE NORTH AND AN EXISTING MORTUARY TO THE SOUTH. THE PROPOSED DEVELOPMENT CONSISTS OF TWO BUILDINGS CONTAINING APPROXIMATELY 10,400 SQUARE FEET OF RETAIL SPACE WITH ASSOCIATED PAVED PARKING.

HYDROLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR, 6-HR DURATION STORM EVENT WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THE SITE LIES WITHIN THE ZONE 1 PRECIPITATION AREA FOR THE CITY OF ALBUQUERQUE, AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. THEREFORE, TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE EXCESS PRECIPITATION AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE HAS UNDERGONE ROUGH GRADING THAT REFLECTS THE APPROVED MASTER GRADING AND DRAINAGE PLAN. AS SUCH, THE SITE IS SOMEWHAT VOID OF VEGETATION. THE SITE DRAINS VIA SHEET FLOW TOWARD THE SOUTH AT AN AVERAGE SLOPE OF ABOUT 3.5%. THE SITE ACCEPTS RUNOFF VIA SHEET FLOW FROM THE DEVELOPED TRACT (SONIC) TO THE NORTH AND DISCHARGES RUNOFF VIA SHEET FLOW TO THE TRACT TO THE SOUTH PER THE EXISTING SITE MASTER DRAINAGE PLAN. THE TRACT SOUTH IS DEVELOPED AS A COMMERCIAL BUILDING (FRENCH MORTUARY).

DEVELOPED CONDITION

THE PROPOSED GRADING FOR THIS SITE WILL BE CONSISTENT WITH THE APPROVED MASTER DRAINAGE PLAN PREPARED IN DECEMBER 1999 BY BPLW. THIS SITE IS ENTIRELY WITHIN BASIN 1, AS SHOWN IN THE MASTER DRAINAGE PLAN, AND WILL ACCEPT SHEET FLOW FROM THE ADJACENT PROPERTIES TO THE NORTH (ALSO IN THE MASTER DRAINAGE PLAN BASIN 1) AND DISCHARGES TO THE EXISTING CATTLEGUARD TYPE D INLET WITHIN THE MASTER DRAINAGE PLAN BASIN 1 IN THE PARKING LOT OF FRENCH MORTUARY. THIS INLET HAS FREE DISCHARGE INTO AN EXISTING 24" LATERAL WHICH CONNECTS INTO THE EXISTING 96" GOLF COURSE ROAD STORM DRAIN.


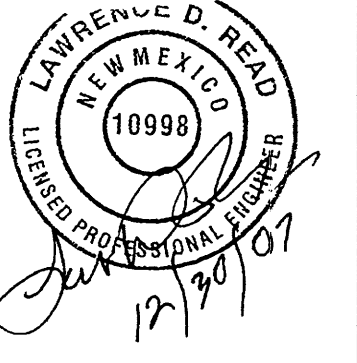
WE ARE PROPOSING TO RECONSTRUCT THE SOUTH CURB AND GUTTER ON THE EXISTING ENTRANCE FROM GOLF COURSE ROAD TO BETTER ACCOMMODATE THE NEW BUILDINGS AND THE PARKING SPACES. A NEW VALLEY GUTTER WILL BE BUILT TO ASSIST IN COLLECTING THE SHEET FLOW FROM THE NORTH PROPERTIES AND DIVERTING THE FLOW AROUND THE PROPOSED BUILDINGS.

A SWALE WILL BE GRADED ALONG THE EXISTING ASPHALT SIDEWALK ON THE EAST SIDE OF GOLF COURSE ROAD TO ACCEPT THE RUN OFF FROM THE WEST BUILDING, THE PATIOS, AND THE LANDSCAPE AREA BETWEEN THE PATIOS AND THE EXISTING SIDEWALK. THE FLOW FROM THE SWALE WILL DISCHARGE INTO A NEW 12" SIDEWALK CULVERT THAT WILL CONVEY THE DISCHARGE TO GOLF COURSE ROAD.

ABBREVIATIONS

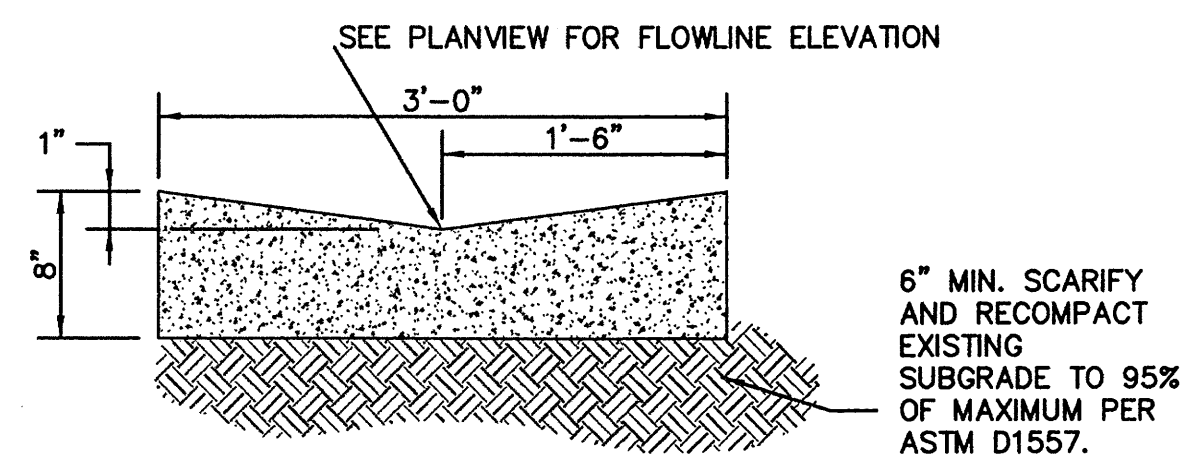
= AREA DRAIN	ELEC. = ELECTRIC	NG = NATURAL GROUND	SW = SIDEWALK
BLDG = BUILDING	ELEV = ELEVATION	OE = OVERHEAD ELECTRIC LINE	T = TELEPHONE
BM = BENCHMARK	EX = EXISTING	OT = OVERHEAD TELEPHONE LINE	TA = TOP OF ASPHALT PAVEMENT
CATV = CABLE TELEVISION LINE	FF = FINISHED FLOOR ELEVATION	PCC = PORTLAND CEMENT CONCRETE	TAC = TOP OF ASPHALT CURB
CIP = CAST IRON PIPE	FG = FINISHED GRADE	PG = PLAYGROUND GRADE	TC = TOP OF CONCRETE SLAB (PAVEMENT)
CMP = CORRUGATED METAL PIPE	FH = FIRE HYDRANT	PP = POWER POLE	TCC = TOP OF CONCRETE CURB
CMPA = CORRUGATED METAL PIPE ARCH	FL = FLOW LINE	PROP = PROPOSED	TG = TOP OF GRATE
CO = CLEANOUT	G = GAS PIPE	PVC = POLYVINYL CHLORIDE PIPE	TS = TOP OF SIDEWALK
COA = CITY OF ALBUQUERQUE	GM = GAS METER	RCP = REINFORCED CONCRETE PIPE	TW = TOP OF WALL
CONC = CONCRETE	GV = GATE VALVE	RD = ROOF DRAIN	TYP = TYPICAL
CL = CENTERLINE	HI PT = HIGH POINT	R/W = RIGHT-OF-WAY	TB = TELEPHONE BOX
DIA = DIAMETER	INV = INVERT ELEVATION	S = SLOPE	UE = UNDERGROUND ELECTRIC
DIP = DUCTILE IRON PIPE	LF = LINEAL FEET	SAS = SANITARY SEWER	UT = UNDERGROUND TELEPHONE
DTL = DETAIL	LP = LIGHT POLE	SD = STORM DRAIN	W = WATER
DWG = DRAWING	L/S = LANDSCAPING	STA = STATION	WM = WATER METER
E = ELECTRIC LINE	MH = MANHOLE	STD = STANDARD	WV = WATER VALVE

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430-C Midtown Place NE
Albuquerque, New Mexico 87107
(505) 237-8421

JOB NAME	PMK PROPERTIES, LLC	JOB NUMBER	0705
RETAIL CENTER			
JOB LOCATION	9350 GOLF COURSE ROAD NW ALBUQUERQUE, NM 87114		
			
SHEET TITLE		SHEET NUMBER	
PMK PROPERTIES GENERAL CIVIL NOTES		C1	
DATE	10/07		

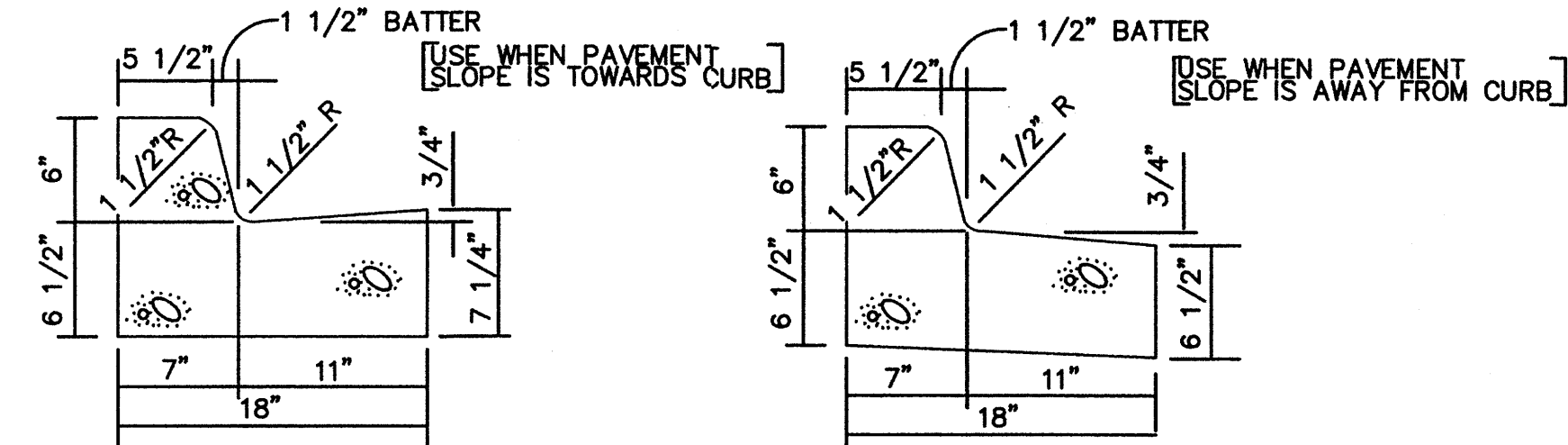
CONSTRUCTION NOTES:

1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET



1 CONCRETE VALLEY GUTTER
N. T. S.

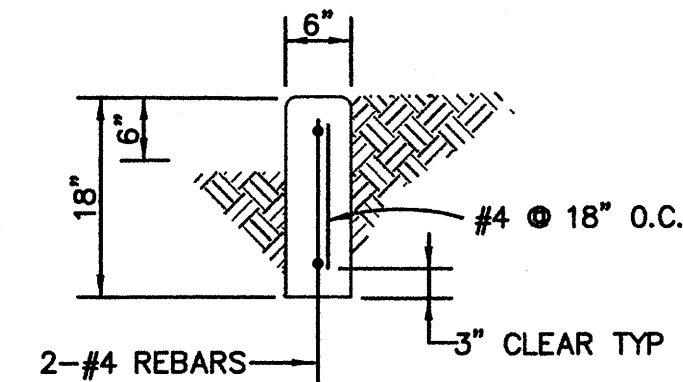
4000 PSI PCC AT 28 DAYS. PROVIDE 1/2" EXPANSION JOINTS @ 36' O.C., @ IMMOVABLE & @ BEGINNING & END OF CURVES. PROVIDE 1" DEEP CONTRACTION JOINTS @ 6' O.C. SEE DETAILS THIS SHEET.



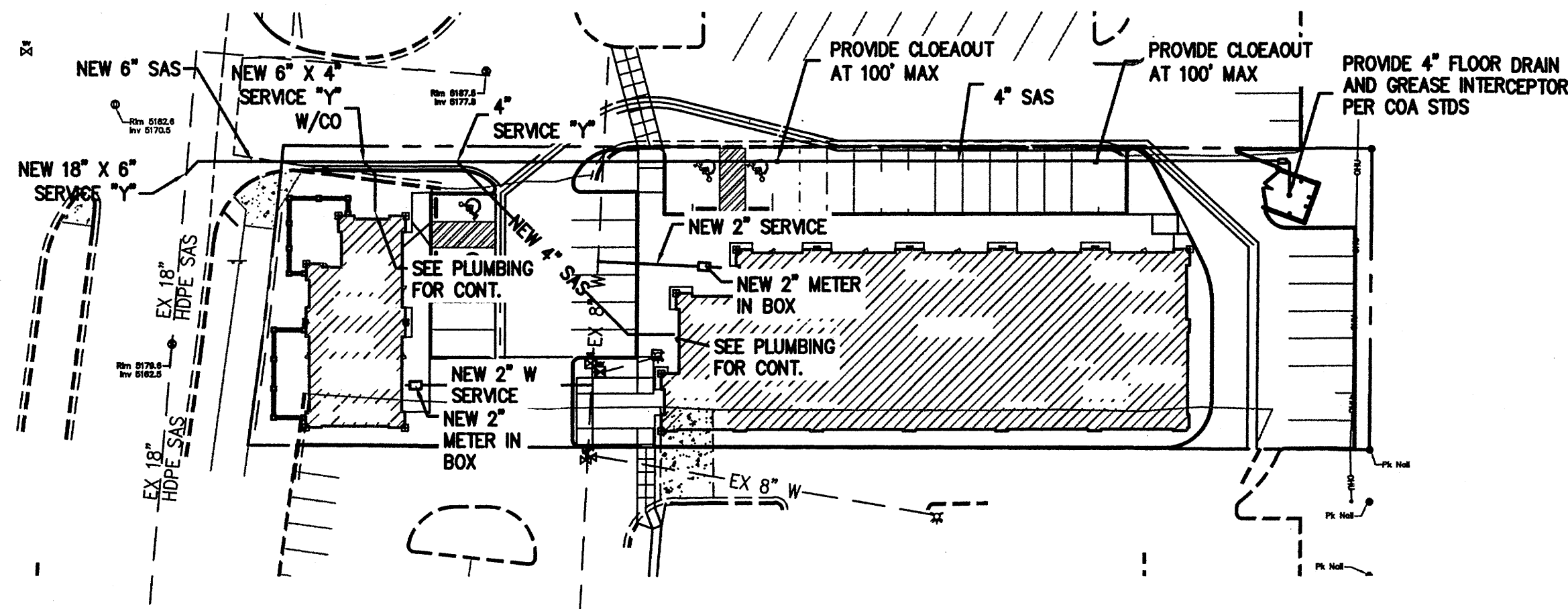
2 CONCRETE CURB AND GUTTER DETAIL
N. T. S.

CONSTRUCTION NOTES:

1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS, AND AT THE BEGINNING AND END OF CURVES.
2. PROVIDE CONTRACTION JOINTS @ 6' O.C.
3. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADI.

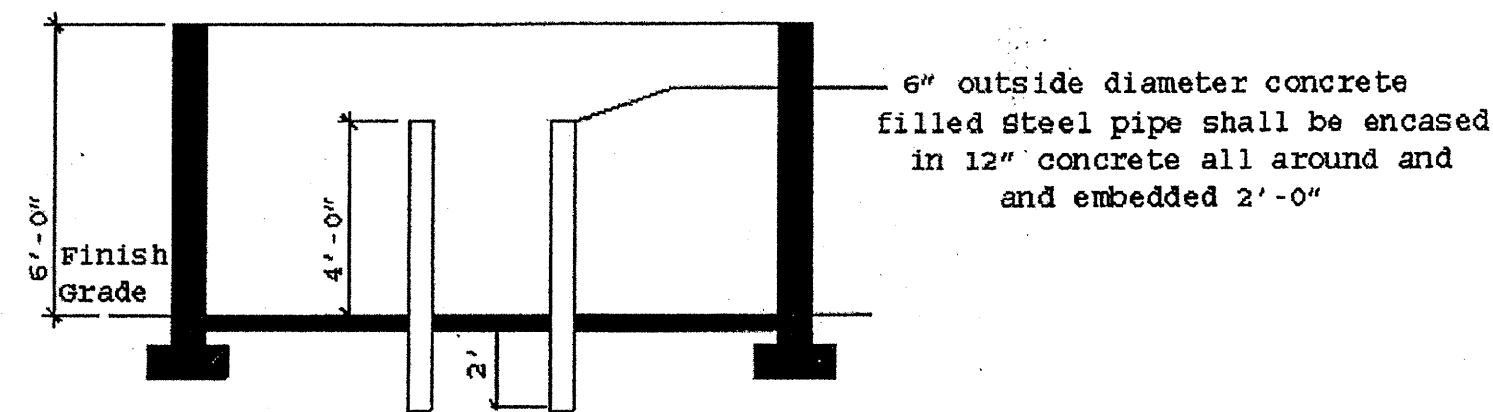
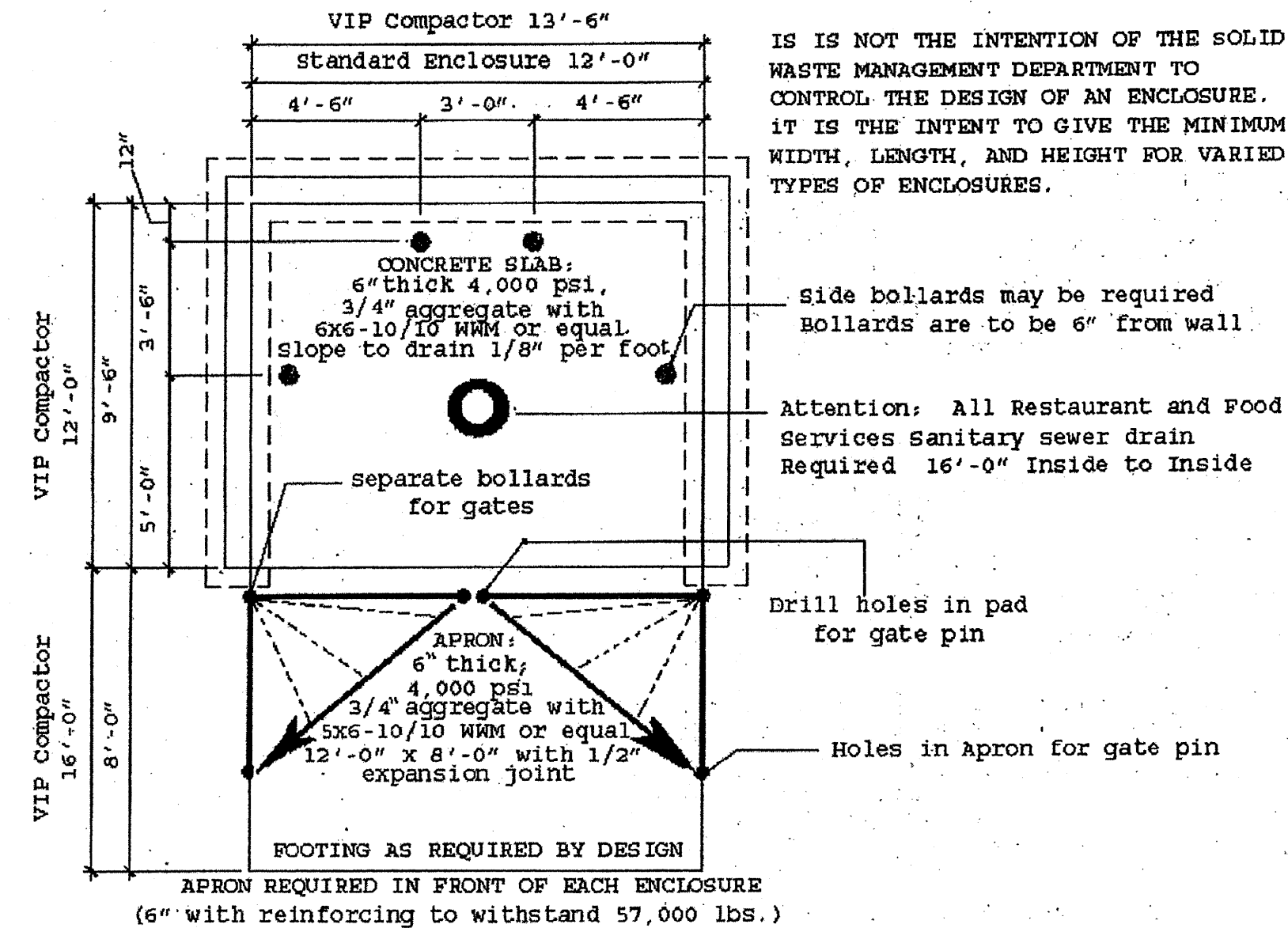


3 CONCRETE HEADER CURB DETAIL
N. T. S.



WATER/SEWER PLAN
SCALE 1" = 4'

Dimensions given are to the inside of enclosure walls and are the minimum sizes required for the slab itself. Footing will vary with the design of the enclosure.



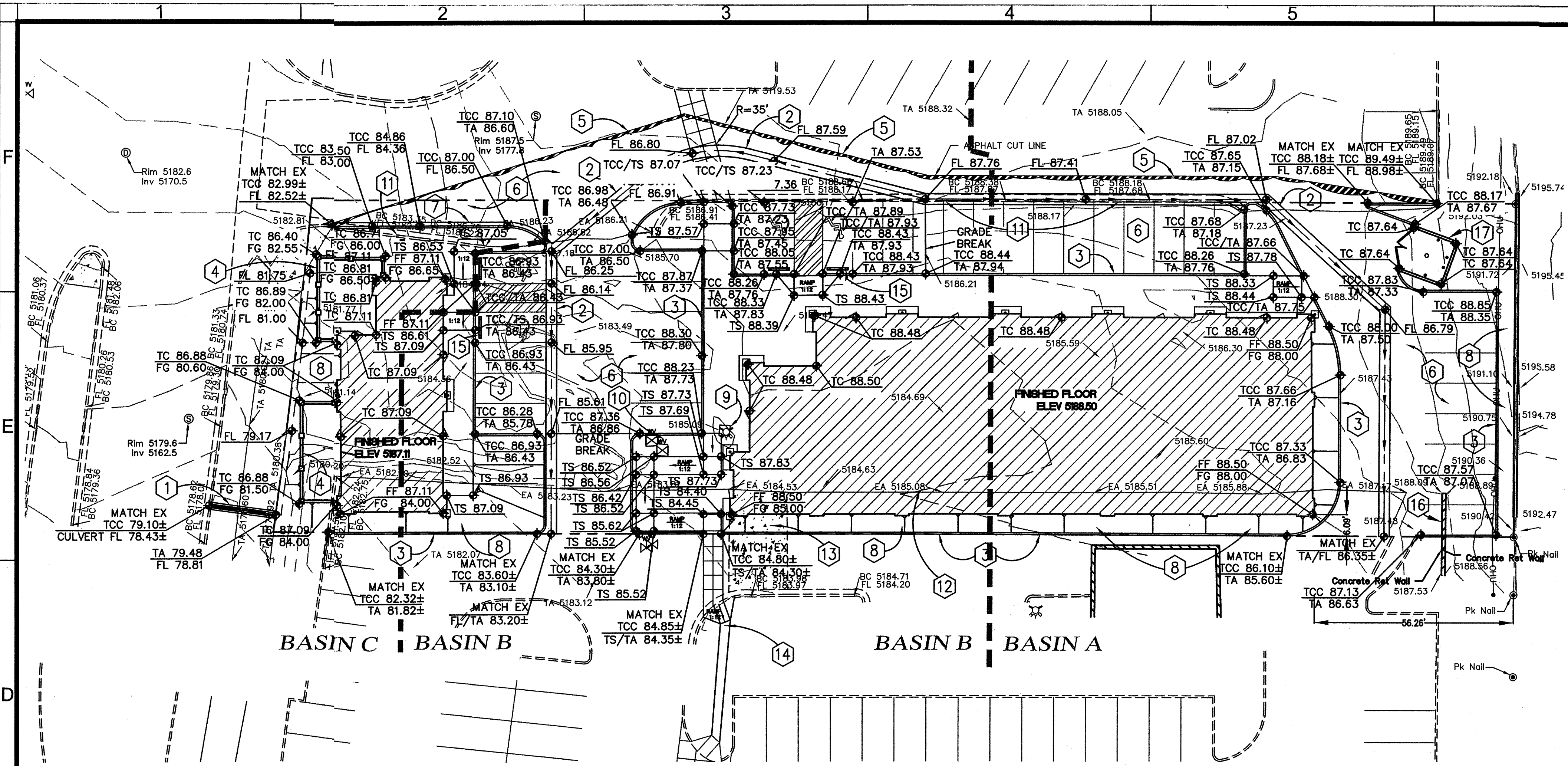
Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at 761-8100

NOTES:

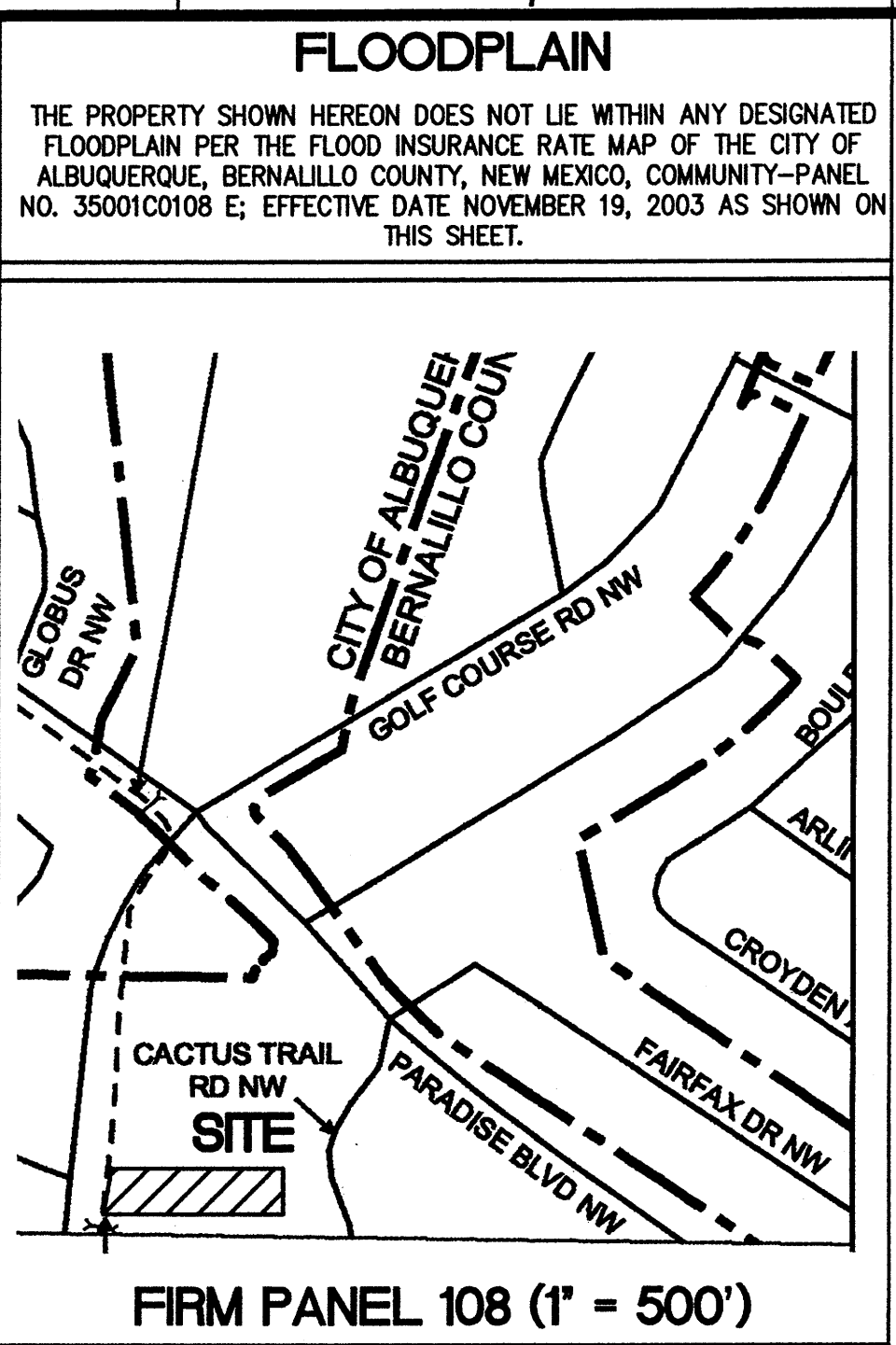
1. THE ABOVE SKETCH IS THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT HANDOUT FOR DUMPSTER ENCLOSURES.
2. THE DUMPSTER ENCLOSURE FOR THIS SITE WILL REQUIRE A DRAIN, GREASE INTERCEPTOR, AND CONNECTION TO SEWER.
3. SEE ARCHITECTURAL PLANS FOR WALL DETAILS, GATE DETAILS, FOOTINGS, AND COLORS.

COA DUMPSTER REQUIREMENTS

JOB NAME PMK PROPERTIES, LLC		JOB NUMBER 0705
RETAIL CENTER		
JOB LOCATION 9350 GOLF COURSE ROAD NW ALBUQUERQUE, NM 87114		
2469 CORRALES ROAD, SUITE B CORRALES, NEW MEXICO 87048 PH. 505.514.0660 FAX. 505.514.0662		
SHEET TITLE PMK PROPERTIES GRADING DETAILS		
DATE 10/07	SHEET NUMBER C3	



GRADING PLAN
SCALE 1" = 20'



- GENERAL NOTES**
1. REFER TO SHEET C1 FOR GENERAL INFORMATION.
 2. REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS.
 3. ALL RAMP WILL COMPLY WITH ADA RULES AND REGULATIONS.
 4. ALL VALLEY GUTTERS SHOULD BE STRAIGHT LINE SLOPED BETWEEN NOTED SPOT ELEVATIONS.

- KEYED NOTES:**
1. BUILD 12" SIDEWALK CULVERT PER COA STD DWG 2236.
 2. BUILD VALLEY GUTTER PER DETAIL 1.
 3. BUILD CONCRETE HEADER CURB PER DETAIL 3.
 4. BUILD RETAINING WALL WITH 2" DIA WEEP HOLES, 5' OC. DESIGNED BY OTHERS.
 5. CUT AND REMOVE ASPHALT TO THE SOUTH OF CUT LINE.
 6. INSTALL ASPHALT PAVEMENT FROM CUT LINE THROUGH OUT PARKING LOT.
 7. CONSTRUCT STANDARD CURB AND CUTTER PER DETAIL 2.
 8. SLOPE OF FINISHED GRADE SHOULD BE 3:1 OR LESS.
 9. RAISE FIRE HYDRANT FLANGE TO 4" ABOVE TOP OF SIDE WALK. TOP OF FLANGE = 88.71+/-.
 10. NEED TO MOVE BOX TO FG. BOX NEEDS VALVE OPERATING NUT EXTENSION AND REPLACE CONCRETE COLLAR.
 11. REMOVING EXISTING CURB AND GUTTER.
 12. REMOVING EXISTING ASPHALT.
 13. REMOVE EXISTING CONCRETE ON SUBJECT PROPERTY.
 14. CONSTRUCT NEW HANDICAP RAMP AND SIDEWALK.
 15. INSTALL PRECAST CONCRETE WHEEL STOPS.
 16. REMOVE EXISTING RETAINING WALL AND REGRADE PARKING ISLAND TO MATCH NEW CURB.
 17. PROVIDE DUMPSTER ENCLOSURE WITH FLOOR DRAIN AND GREASE INTERCEPTOR PER COA STANDARDS.

SO-19 FORM

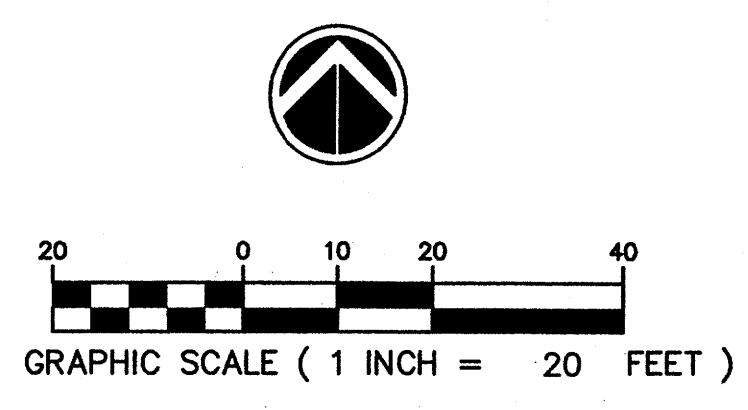
NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE	
A.C.E./DESIGN			
INSPECTOR			
A.C.E./FIELD			



VICINITY MAP C-12

LEGAL DESCRIPTION

TRACT FIVE-B-TWO (5-B-2) OF THE PLAT OF TRACTS 5-B-1 AND 5-B-2 PARADISE VALLEY, WITHIN SECTION 13, TOWNSHIP 11 NORTH, RANGE 2 EAST OF N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 31, 2000, IN VOLUME 2000C, FOLIO 285.

ACS BENCHMARK

ACS MONUMENT "5-B12", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5200.04' (NAVD 88).

SURVEY NOTES

FIELD SURVEY BY: CARTESIAN SURVEYS INC. P.O. BOX 44414 RIO RANCHO, NM 87174

SURVEY DATE: SEPTEMBER 2007

PHONE: (505) 896-3050

FAX: (505) 891-0244

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2007.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE PLAT OF RECORD.
4. THIS PROPERTY IS LOCATED ON ZONE ATLAS PAGE C-12-Z.
5. THIS PROPERTY IS CURRENTLY ZONED SU-1, C-2 & IP.
6. THERE IS A RECIPROCAL DRAINAGE EASEMENT FOR SURFACE AND SUBSURFACE WATER ACROSS TRACTS 5-A THRU 5-D TO BENEFIT SAID TRACTS. (GRANTED BY PLAT AS FILED IN BK. 99C, PG. 297). THERE IS A RECIPROCAL ACCESS, PEDESTRIAN AND PARKING EASEMENT ACROSS TRACTS 5-A THRU 5-D FOR THE BENEFIT OF SAID TRACTS AND IS TO BE MAINTAINED EQUALLY BY SAID TRACTS. (REFER TO CASE NO. 299-59)
7. THIS PROPERTY IS WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC.) FRANCHISE AREA WATER AND SANITARY SEWER SYSTEM CAPABILITIES ARE BASED ON NMU, INC'S FACILITIES, NOT THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST, HOWEVER, BE APPROVED BY THE CITY OF ALBUQUERQUE AND NMU, INC.

PMK PROPERTIES, LLC 0705
RETAIL CENTER

9350 GOLF COURSE ROAD NW
ALBUQUERQUE, NM 87114

Technique
ARCHITECTURE PLANNING
2489 CORRALES ROAD, SUITE B
CORRALES, NEW MEXICO 87048
PH: 505.514.0660
FAX: 505.514.0662

PMK PROPERTIES
GRADING AND DRAINAGE PLAN

DATE: 10/07

SHEET NUMBER: C2