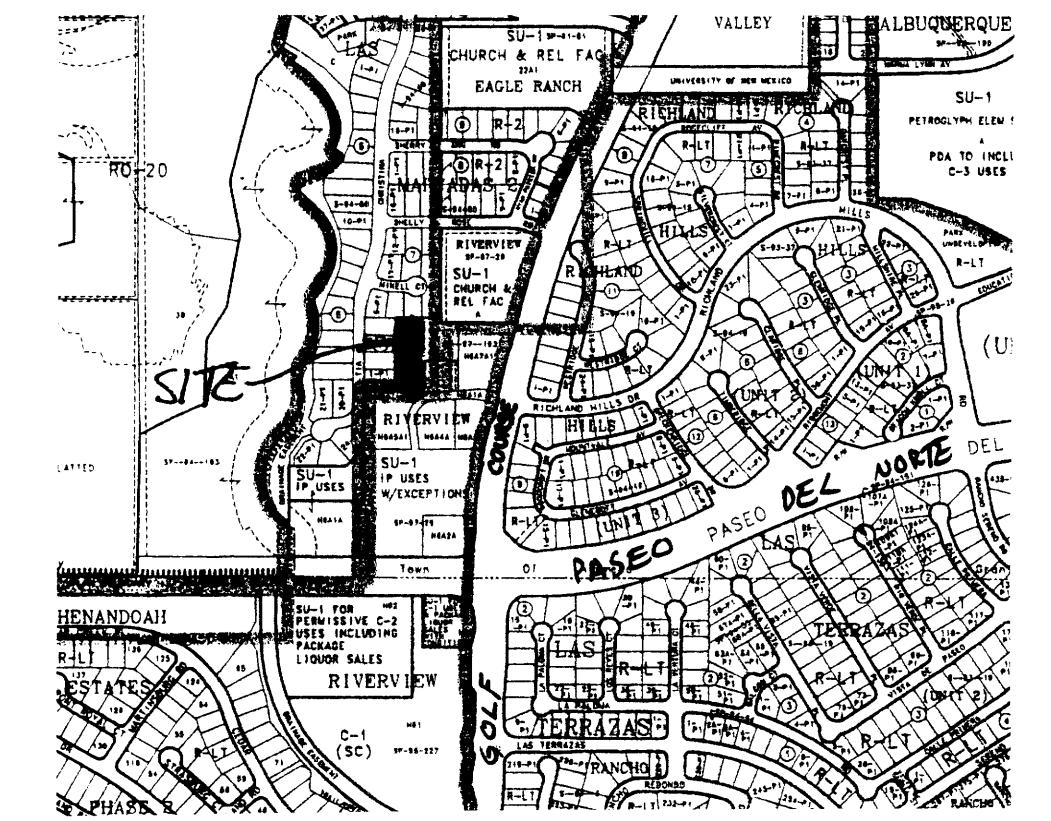
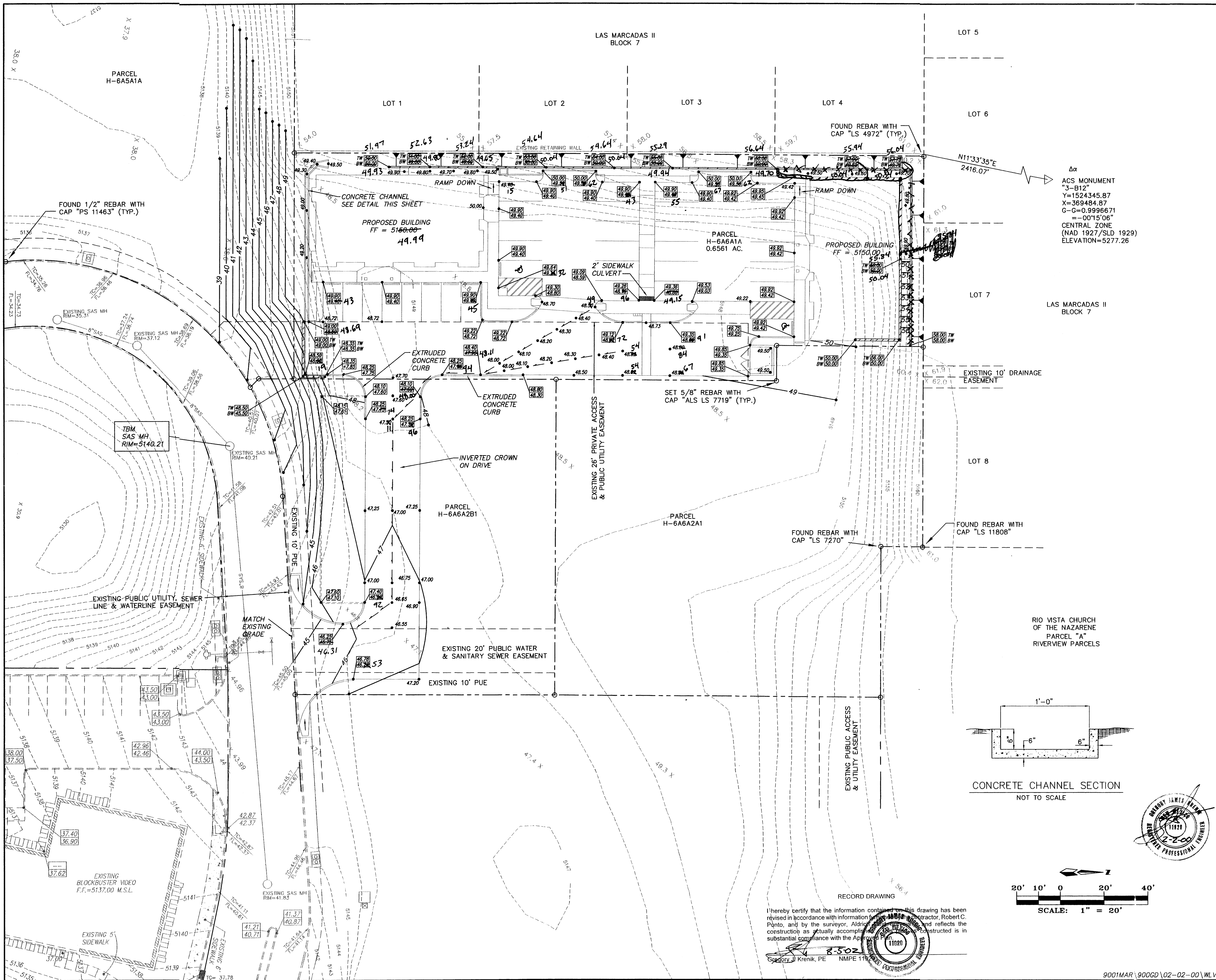




VICINITY MAP ZONE MAP: C-12-Z

T B M (TEMPORARY BENCHMARK)

SANITARY SEWER MANHOLE AT SE CORNER OF SITE
RIM ELEVATION = 5140.21

ACS BENCHMARK

THE STATION "3-B12" IS LOCATED 7.5 MILES NORTHWEST OF DOWNTOWN ALBUQUERQUE SOUTHEAST OF THE INTERSECTION OF RADCLIFFE ROAD AND PARADISE BLVD. NW.

TO REACH STATION "3-B12" FROM I-40 AND COORS ROAD, TRAVEL NORTH ON COORS 5.75 MILES TO PARADISE BLVD., TURN WEST AND TRAVEL 1.6 MILES TO RADCLIFFE ROAD, TURN SOUTH AND TRAVEL 0.1 MILE TO A DIRT ROAD CUTTING OFF TO THE SOUTHEAST. FOLLOW THE ROAD 0.07 MILE TO THE TOP OF THE ESCARPMENT. CONTINUE ON DIRT ROAD 0.36 MILES. THE STATION IS 185' SOUTHEAST OF THIS POINT IN A LAVA ROCK OUTCROPPING.

THE STATION IS A 3 1/4" ALUMINUM CAP AND IS STAMPED "ACS 3-B12, 1986", SET FLUSH WITH THE LAVA ROCK.

X = 369484.87 Y = 1524345.87 ELEVATION = 5277.263

LEGAL DESCRIPTION

PARCEL H-6A6A1A RIVERVIEW PARCELS WITHIN THE TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- FUTURE TOP OF CURB AND FLOWLINE SPOT ELEVATION
- EXISTING TOP OF CURB AND FLOWLINE SPOT ELEVATION
- PROPOSED FLOWLINE SPOT ELEVATION
- ASPHALT SWALE
- RETAINING WALL
- PROPERTY LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING TOP OF CURB AND FLOWLINE SPOT ELEVATION
- EXISTING TOP OF GRATE
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING EDGE OF ASPHALT
- EXISTING CONCRETE PAD
- EXISTING WALL OR HEAD WALL
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING CATV PEDESTAL
- EXISTING TELEPHONE PEDESTAL
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING DROP INLET
- EXISTING PULL BOX

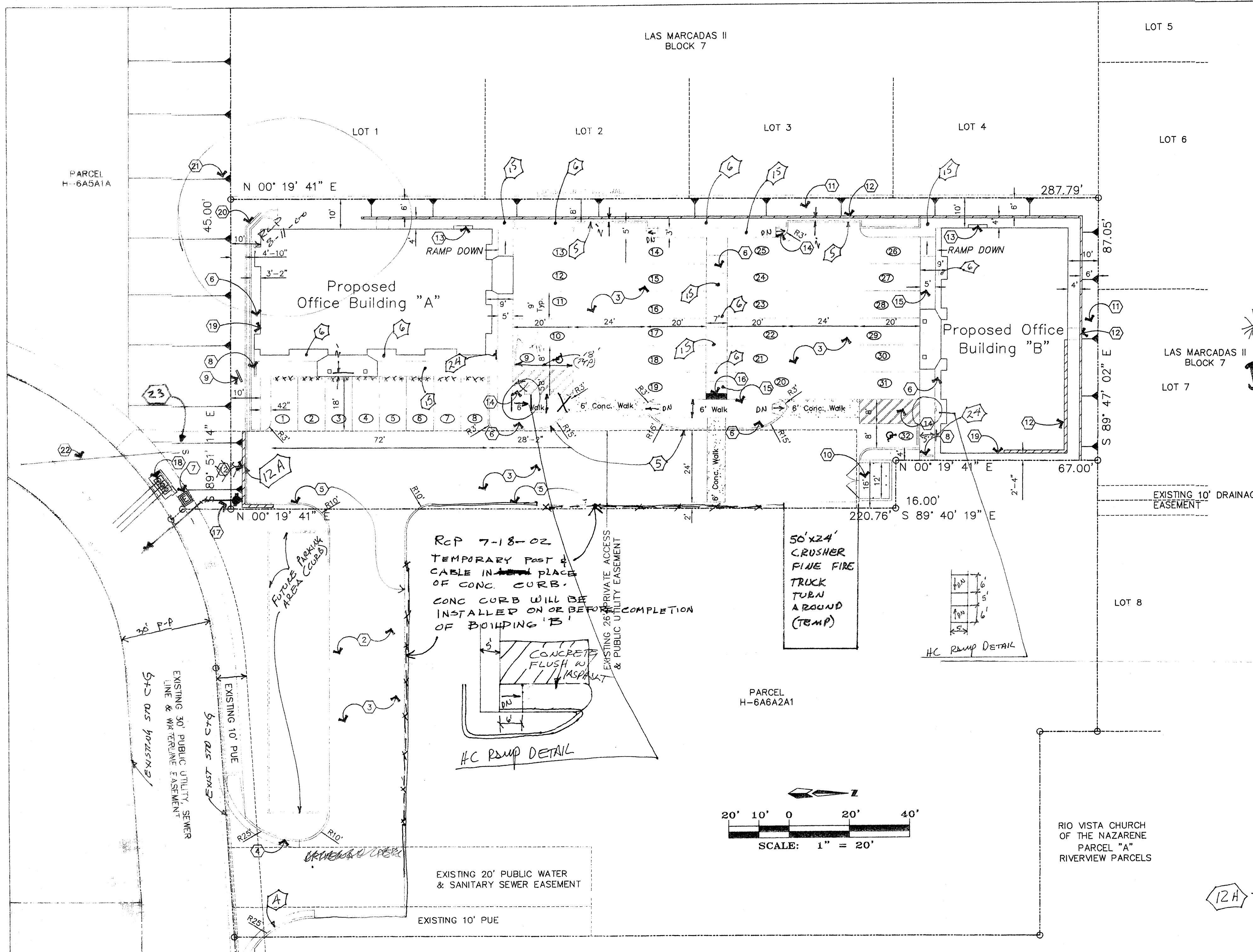
MARTINEZ AGENCY
GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
AUG 05 2002

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: GJK, MLV Checked: DMG Sheet 1 of 1
Scale: 1" = 20' Date: 01/00 Job: 99001

9001MAR\900GD\02-02-00\WL.V



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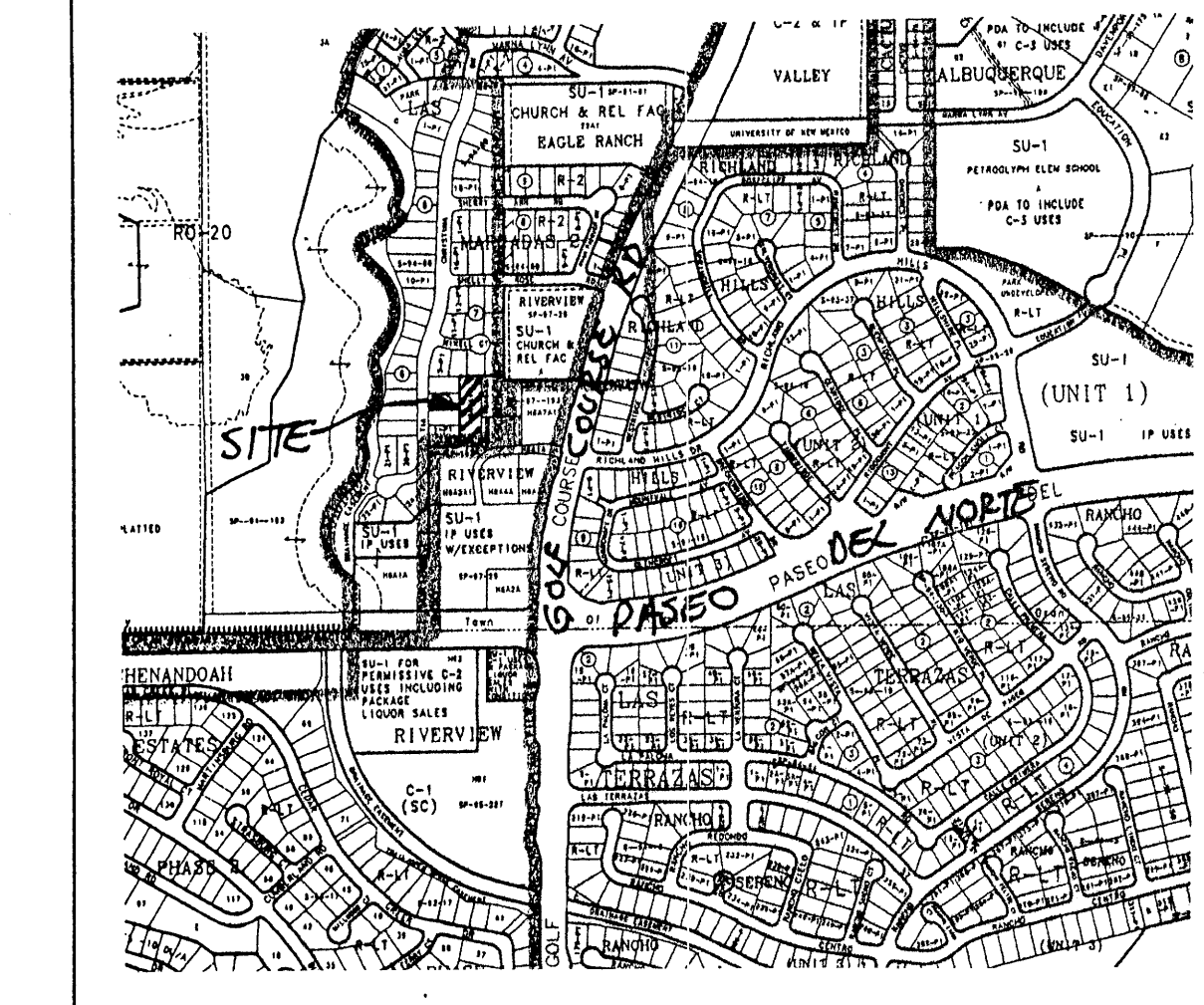
CASE NUMBER : Z-99-124

This plan is consistent with the specified site development plan approval by the Environmental Planning Commission (EPC) on November 18, 1999 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Richard D. Park	3-8-00
Traffic Engineer, Transportation Division	Date
Shirley A. Hargis	3-8-00
Parks & Recreation	Date
Roger J. Hargis	3-8-00
Public Works, Water Utilities Division	Date
Shirley A. Hargis	3-8-00
City Engineer, Engineering Division / AMAFCA	Date
Shirley A. Hargis	3-8-00
Approval and Conditional Acceptance: as specified by the Development Process Manual.	Date
BP	3-16-00
City Planner, Albuquerque	Date

Project # 1000299



VICINITY MAP ZONE MAP: C-12-Z

LEGAL DESCRIPTION

PARCEL H-6A6A1A RIVERVIEW PARCELS WITHIN THE TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO.

BY REVISIONS

2-27-00 Date

- SITE PLAN NOTES**
- All Construction Shown Is Proposed Unless Otherwise Noted Site Is Within New Mexico Utilities Inc. (NMU Inc.) Franchise Area. Water & Sewer System Shall Be Based On NMU Inc. Capabilities. However, Water & Sanitary Sewer Services Must Be Approved By Both NMU Inc. & City of Albuquerque.
 - 25' Private Access Easement - BK-2000C PG-86, 3-21-00
 - 3" Asphalt Paving
 - Standard Curb & Gutter
 - Extruded Concrete Curb Typical (See Grading & Drainage Plan)
 - Landscape Area (See Landscaping Plan)
 - Transformer By Utility Company (PNM) With Underground Conduit To Adjacent Site.
 - Bicycle Rack : (2 Required, 2 Provided)
 - Monument Sign : 32 Sq. Ft. (See Elevations)
 - Trash Receptacle Enclosure Per Solid Waste : Material To Match Buildings
 - Landscape Buffer (See Landscape Plan)
 - CONCRETE RETAINING WALL TO MATCH BUILDINGS, SEE DRAINAGE PLAN FOR HEIGHT
 - CMU Retaining Wall To Match Buildings, See Drainage Plan For Height
 - Electric Meters
 - Ramp : Slope 1:12 (See Grading & Drainage Plan)
 - Concrete Walk Typical
 - 2' Sidewalk Culvert (See Grading & Drainage Plan)
 - Fire Hydrant With 6" PVC & 6" Gate Valve Within 300' Of Building
 - Water Meters: 2 Domestic & 1 Irrigation
 - Natural Gas Meters
 - 1' Concrete Drainage Channel (See Grading & Drainage Plan)
 - 3:1 Slope
 - 6" Sanitary Sewer Service
 - PRIVATE SANITARY SEWER AND WATERLINE EASEMENT
 - HC PARKING SIGN

SITE PLAN NOTES

DESCRIPTION :	Parcel H-6A6A1A BK-2000C Riverview Parcels PG-86 Albuquerque, NM 3-21-00
ADDRESS :	8825 Golf Course Road Albuquerque, NM
AREA :	0.6561 Acres (28580 Sq. Ft.)
ZONED :	SU-1/IP
SEISMIC ZONE :	2B
ZONE ATLAS :	C-12-Z
OCCUPANCY :	OFFICE B
BUILDING AREA :	Building "A" : 3060 Sq. Ft. Building "B" : 3048 Sq. Ft. Total : 6108 Sq. Ft.
PARKING :	Required : 31 Spaces Provided : 32 Spaces Handicapped Required : 2 Handicapped Provided : 2
LANDSCAPING :	Required Area : 3158 Sq. Ft. Provided Area : 4940 Sq. Ft.
CONST TYPE :	IN

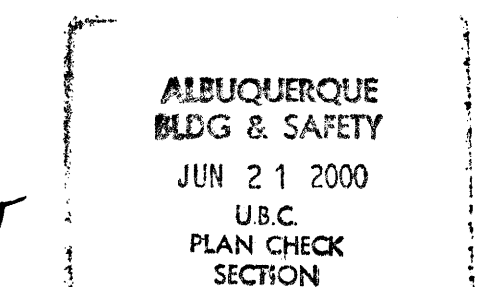
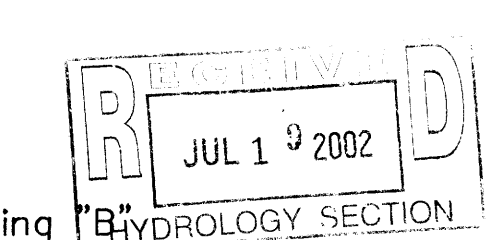
THE COLOR OF THE METAL ROOF, WINDOW FRAMES AND DOOR FRAMES TO BE A MEDIUM GREY-GREEN IN ACCORDANCE WITH THE APPENDIX E, APPROVED COLORS OF THE "NORTHWEST MESA ESCARPMENT PLAN".

* Metal Roof to be N.F. Koko Brown
WINDOWS ANODIZED BRONZE, TO MATCH

NOTES:

"AN AS-BUILT COPY OF THE APPROVED TCL (TRAFFIC CIRCULATION LAYOUT) MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TCL. VERIFICATION OF TCL ACCEPTABILITY, (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED." PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.

• ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE CALLING FOR TEMPORARY C.O.



DRAWING TITLE : SITE PLAN

PROJECT TITLE : MARTINEZ AGENCY OFFICE FACILITY

ALBUQUERQUE, NM

DRAWN BY : B.A.J.

CHECKED BY : R.C.P.

DATE : 02-23-00

SCALE : 1" = 20'-0"

JOB NO. :

SHEET : 1