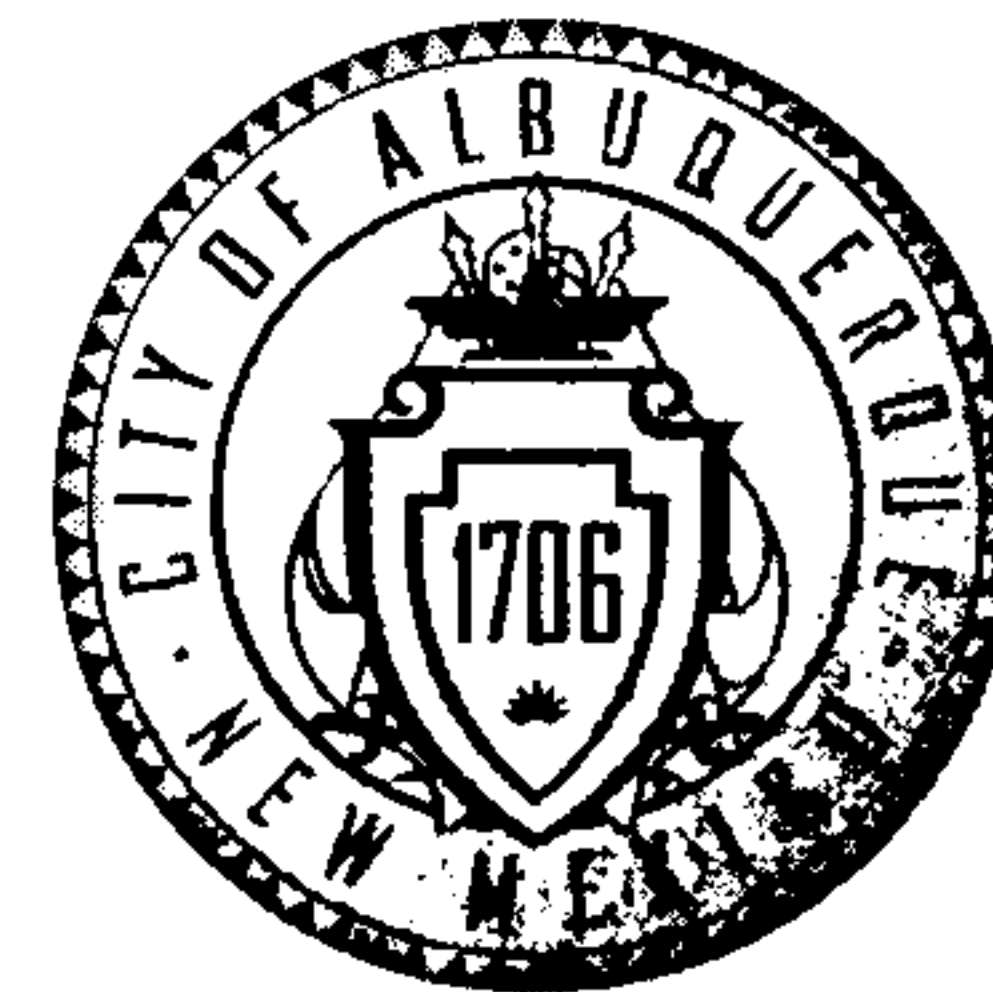


CITY OF ALBUQUERQUE



October 7, 2016

Mike Balaskovits, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**Re: First Baptist Church Addition
4101 Paseo Del Norte NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 2-16-16 (C12D017)
Certification dated: 10-5-16**

Dear Mr. Balaskovits,

Based on the Certification received 10/5/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Albuquerque

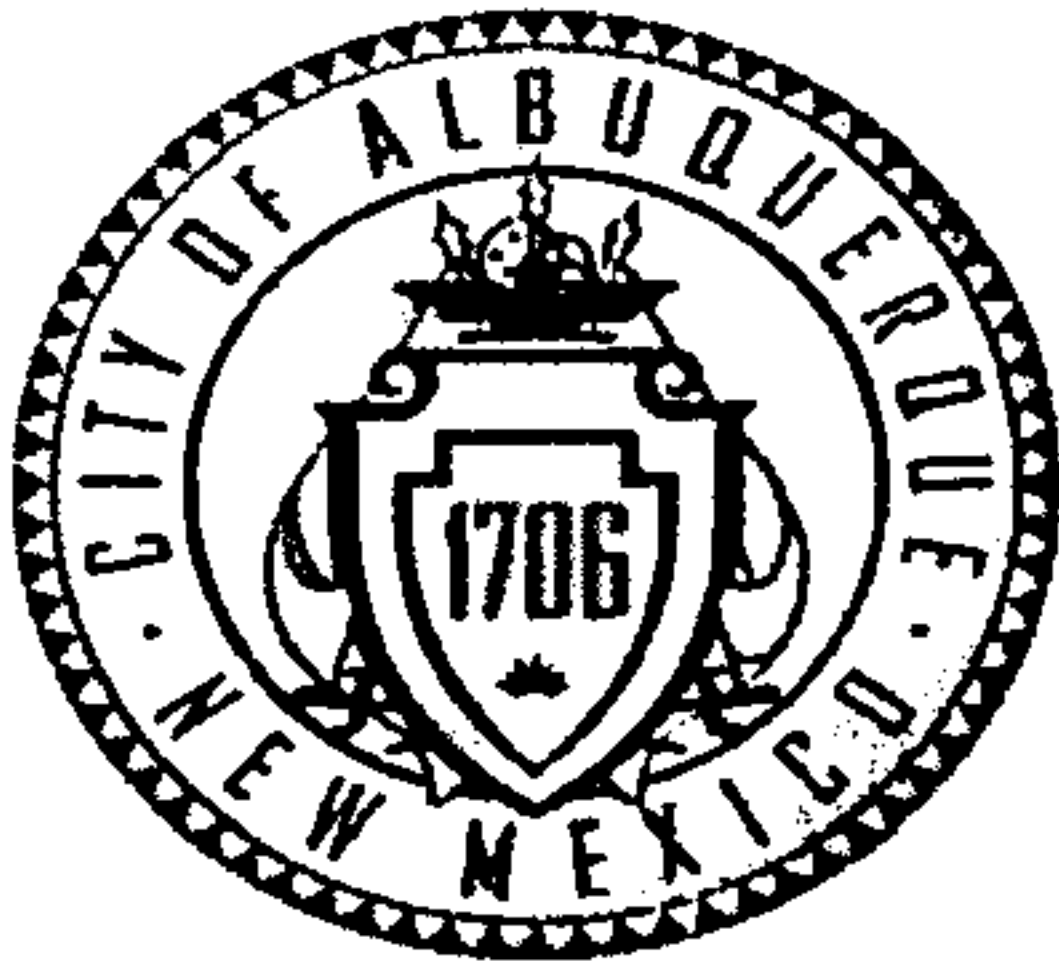
New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: First Baptist Church Addition Building Permit #: _____ City Drainage #: C12/D17
DRB#: 10000762 EPC#: 06EPC-01711 Work Order#: _____
Legal Description: Tract I Fountain Hills Subdivision
City Address: 4101 Paseo Del Norte

Engineering Firm: Bohannon Huston, Inc. Contact: Mike Balaskovits
Address: 7500 Jefferson St NE Courtyard 1
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: First Baptist Church of Albuquerque Contact: Michael Cook
Address: 4101 Paseo Del Norte
Phone#: (505) 247-3611 Fax#: _____ E-mail: michael@fbcabq.com

Architect: HH Architects Contact: Mitch Harding
Address: 5910 N. Central Exp. Ste 1200 Dallas, TX 75206
Phone#: (972) 404-1034 Fax#: _____ E-mail: mharding@hharchitects.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

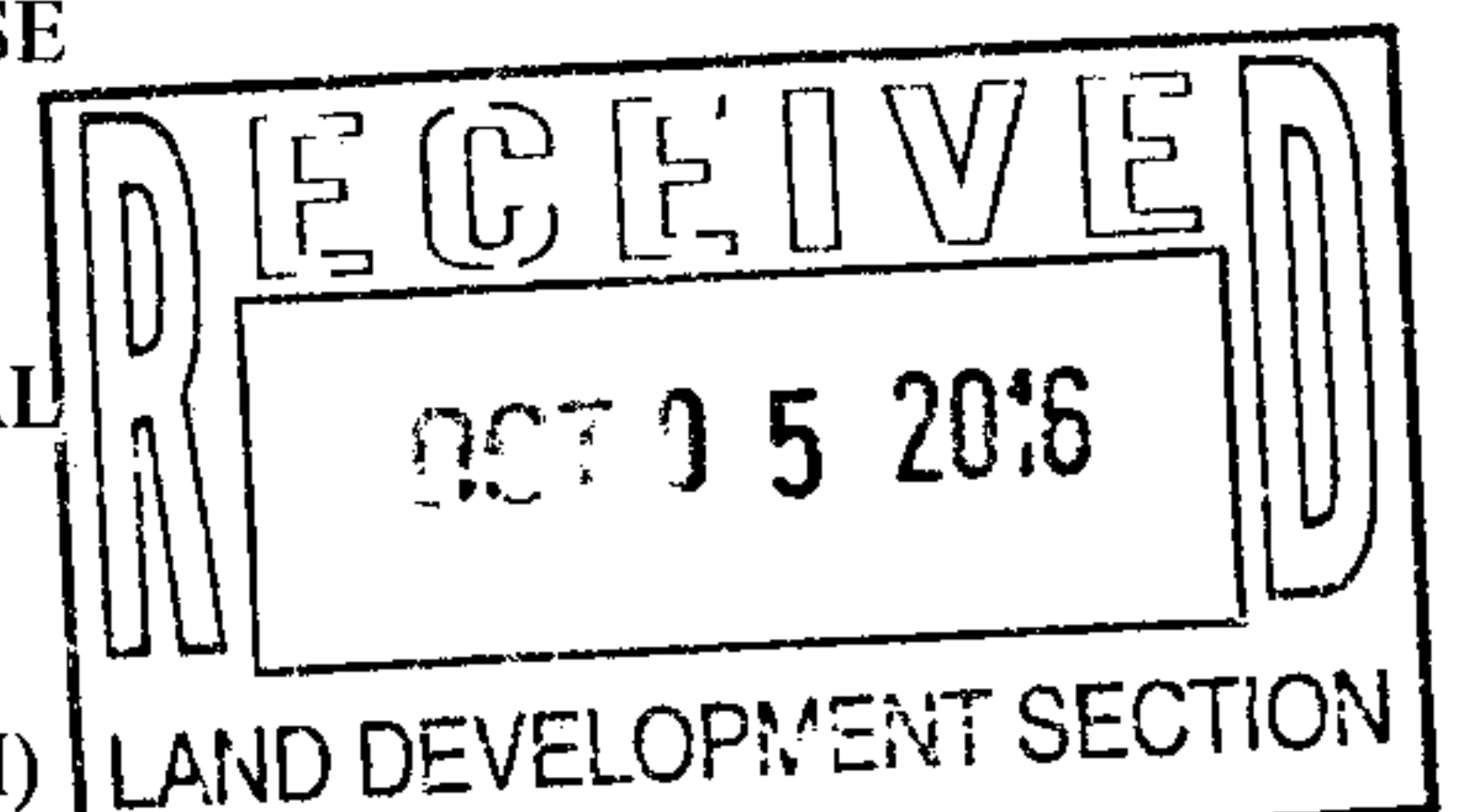
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



\$50.00

- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: October 5, 2016

By: Mike Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Michael Balaskovits

From: Michael Balaskovits
Sent: Wednesday, October 5, 2016 1:24 PM
To: 'plndrs@cabq.gov'
Subject: Drainage Certification COA Hydro File # C12/D17
Attachments: COAHydroC12D17Drainage Cert.pdf; Drainage Info sheet.pdf

This drainage certification is for the First Baptist Church located on 4101 Paseo Del Norte.

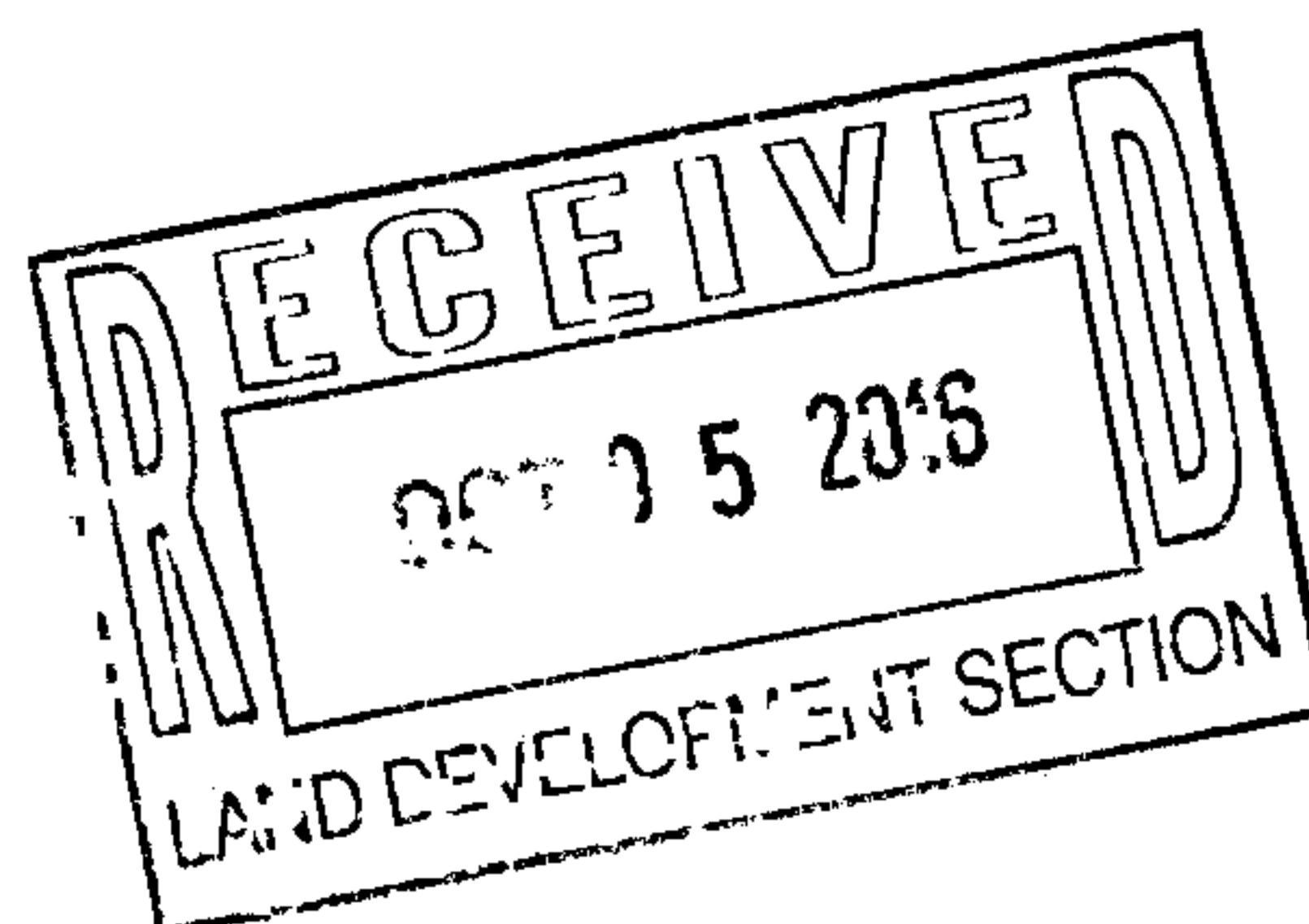
Mike Balaskovits, P.E., LEED AP
Senior Project Manager
Community Development and Planning

Bohannon  Huston

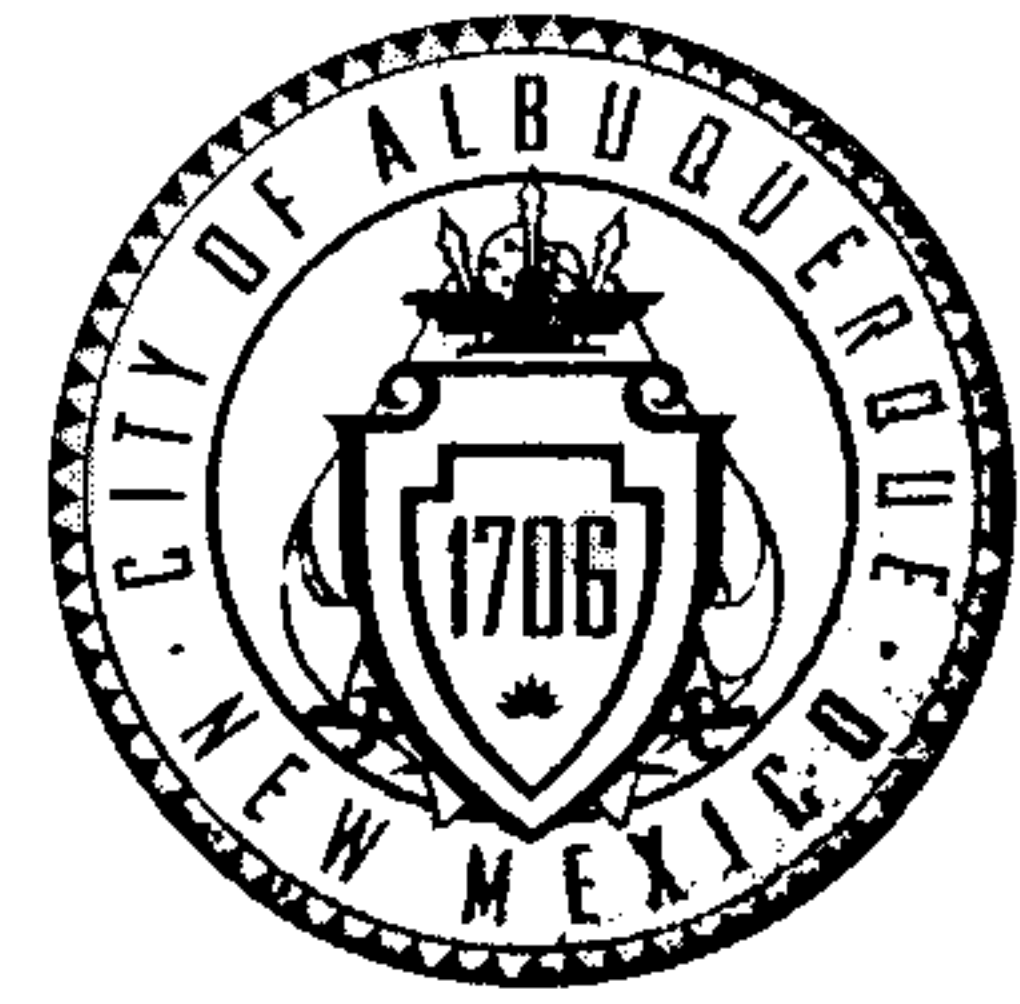
Courtyard I
7500 Jefferson St. NE
Albuquerque, NM 87109-4335
www.bhinc.com

voice: 505.823.1000 facsimile: 505.798.7988 toll free: 800.877.5332

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CITY OF ALBUQUERQUE



August 29, 2016

Michale Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

Re: First Baptist Church Addition – 4101 Paseo Del Norte NW
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 12-23-16 (C12D017)
Certification dated 08-23-16

Dear Mr. Balaskovits,

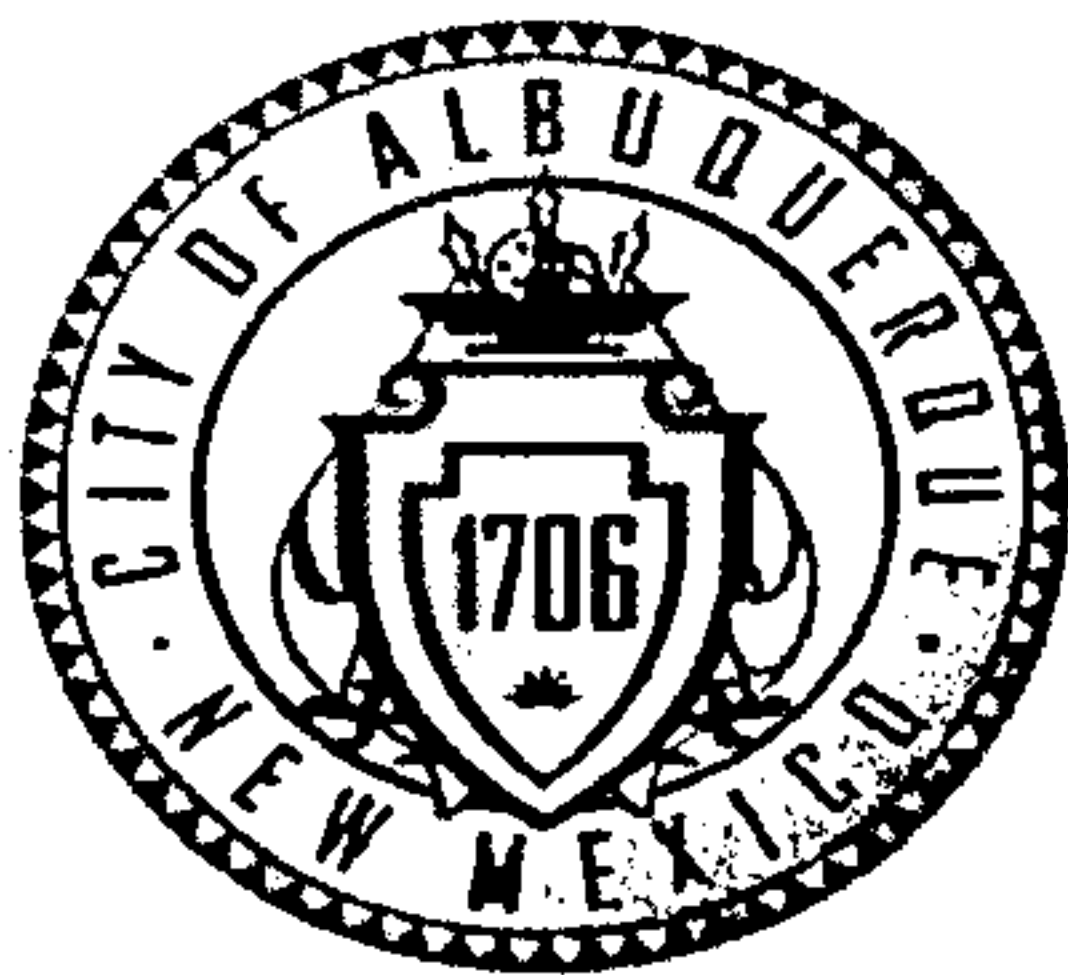
Based upon the information provided in your submittal received 08-24-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: First Baptist Church Addition Building Permit #: _____ City Drainage #: C12/D17
DRB#: 10000762 EPC#: 06EPC-01711 Work Order#: _____
Legal Description: Tract I Fountain Hills Subdivision
City Address: 4101 Paseo Del Norte

Engineering Firm: Bohannon Huston, Inc. Contact: Mike Balaskovits
Address: 7500 Jefferson St NE Courtyard 1
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: First Baptist Church of Albuquerque Contact: Michael Cook
Address: 4101 Paseo Del Norte
Phone#: (505) 247-3611 Fax#: _____ E-mail: michael@fbcabq.com

Architect: HH Architects Contact: Mitch Harding
Address: 5910 N. Central Exp. Ste 1200 Dallas, TX 75206
Phone#: (972) 404-1034 Fax#: _____ E-mail: mharding@hharchitects.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

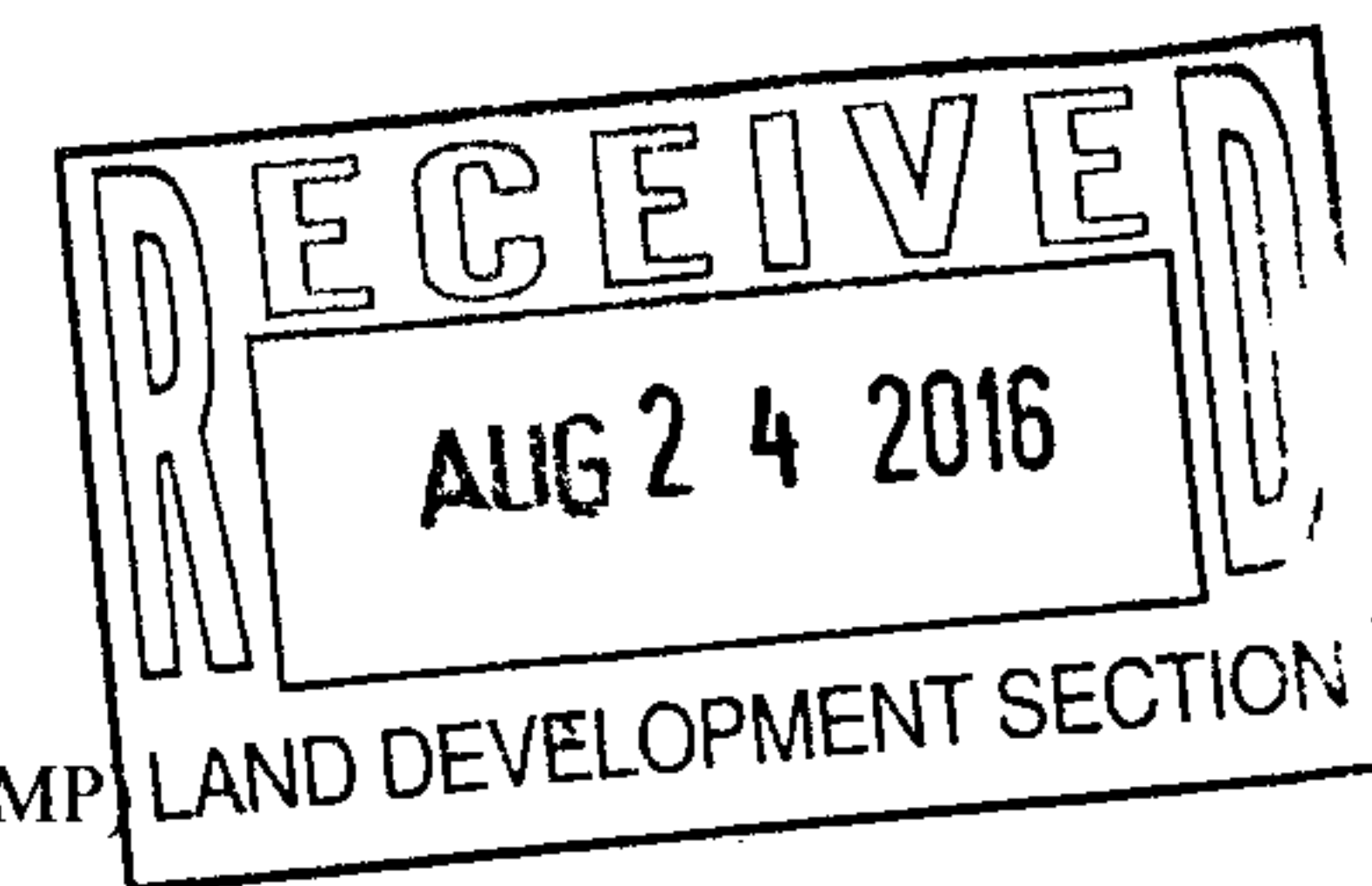
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \$50.00

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: August 24, 2016 By: Mike Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Joshua Lutz

From: Joshua Lutz
Sent: Wednesday, August 24, 2016 8:48 AM
To: 'PLNDRS@cabq.gov'
Cc: Michael Balaskovits
Subject: Youth Building Classroom Addition - C12/D17 - TCL Certification
Attachments: TCL combined.pdf

Attached is the TCL Certification for 1st Baptist Church in support of permanent certification of occupancy. Please email me if you have any questions.

Thank you,
Josh Lutz
Engineer Intern
Community Development & Planning

Bohannon  Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM 87109-4335
www.bhinc.com



August 23, 2016

Mrs. Racquel Michel, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification – Youth Building Classroom Addition,
4101 Paseo Del Norte NW Albuquerque, NM 87114

Dear Racquel:

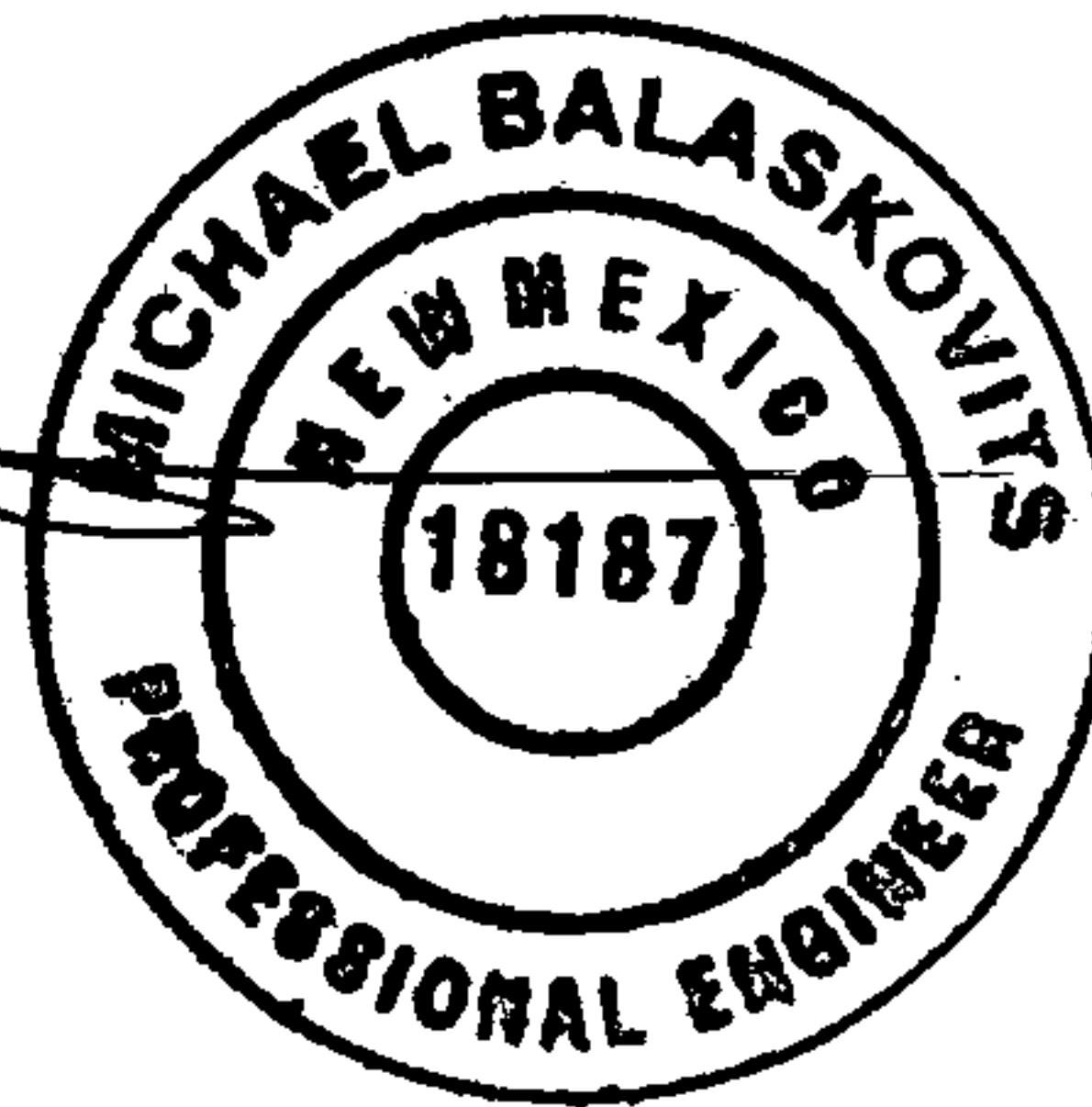
Enclosed for your review is the approved Site Plan with the Administrative Amendment dated December 21, 2015. I visited the site on August 22, 2016 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan.

Your review and approval is requested for a **Permanent Certificate of Occupancy**. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Michael Balaskovits, P.E.
Project Manager
Community Development & Planning



MJB/jjl
Enclosures

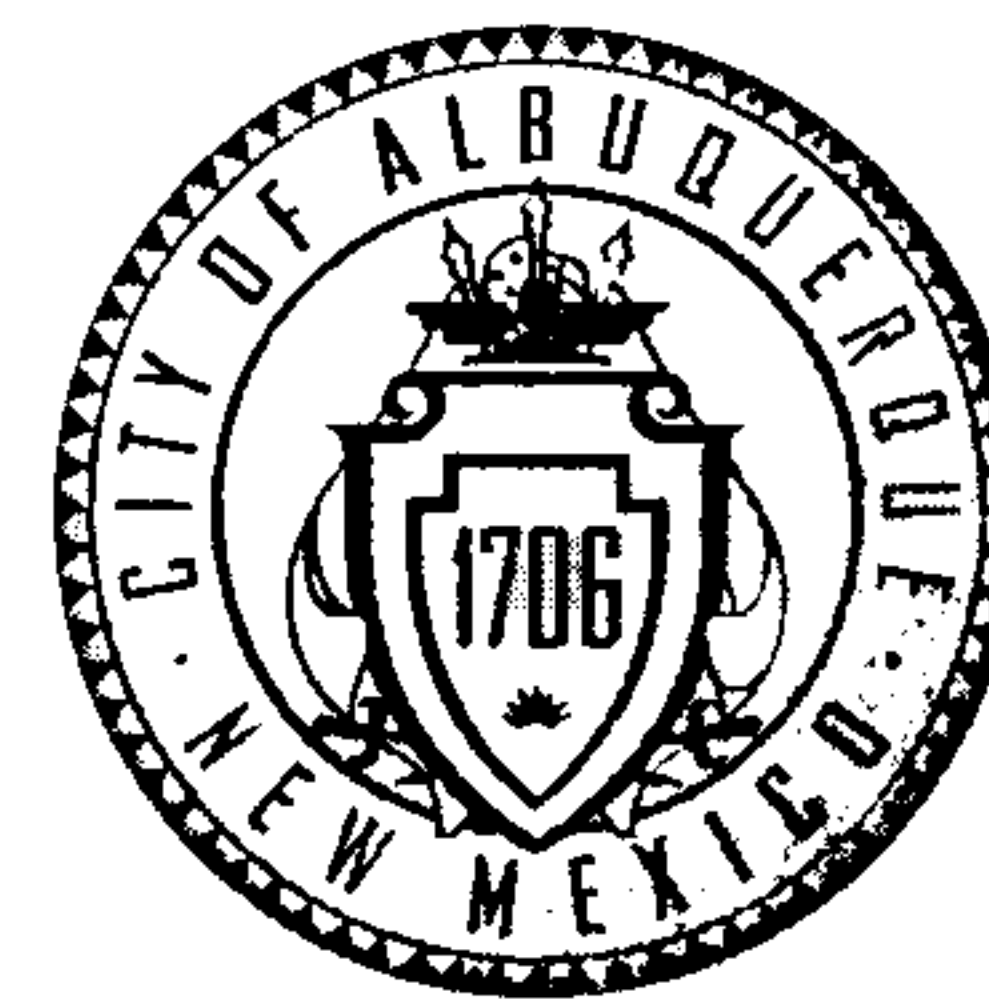


Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

CITY OF ALBUQUERQUE



August 25, 2016

Mike Balaskovits, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**Re: First Baptist Church Addition
4101 Paseo Del Norte
Request Temporary 30-Day C.O. - Accepted
Engineer's Stamp dated: 2-16-16 (C12D017)
Certification dated: 8-23-16**

Dear Mr. Balaskovits,

Based on the Certification received 8/24/2016, the above referenced is approved for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

- The as-built drawing needs to reflect the actual number and location of the splash blocks.
- Geotextile non-woven filter fabric needs to be placed under the splash block and extend up around the sides. There is considerable erosion taking place underneath both splash blocks.
- The splash block on the north side of the building needs to have the rip-rap extended to all 3 sides to slow down the erosion.

PO Box 1293

Albuquerque

New Mexico 87103

An inspection by our office will need to take place after these corrects are made.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

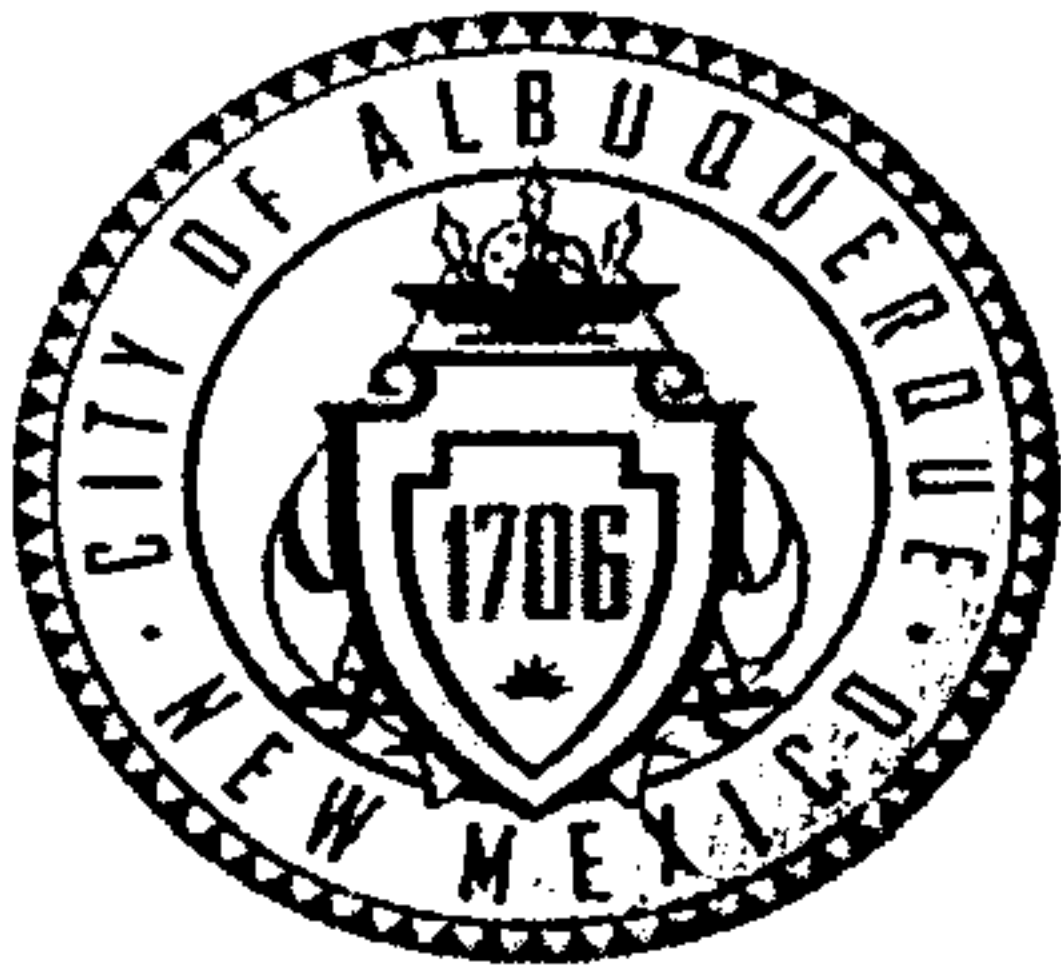
www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: First Baptist Church Addition Building Permit #: _____ City Drainage #: C12/D17
DRB#: 10000762 EPC#: 06EPC-01711 Work Order#: _____
Legal Description: Tract I Fountain Hills Subdivision
City Address: 4101 Paseo Del Norte

Engineering Firm: Bohannon Huston, Inc. Contact: Mike Balaskovits
Address: 7500 Jefferson St NE Courtyard 1
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: First Baptist Church of Albuquerque Contact: Michael Cook
Address: 4101 Paseo Del Norte
Phone#: (505) 247-3611 Fax#: _____ E-mail: michael@fbcabq.com

Architect: HH Architects Contact: Mitch Harding
Address: 5910 N. Central Exp. Ste 1200 Dallas, TX 75206
Phone#: (972) 404-1034 Fax#: _____ E-mail: mharding@hharchitects.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

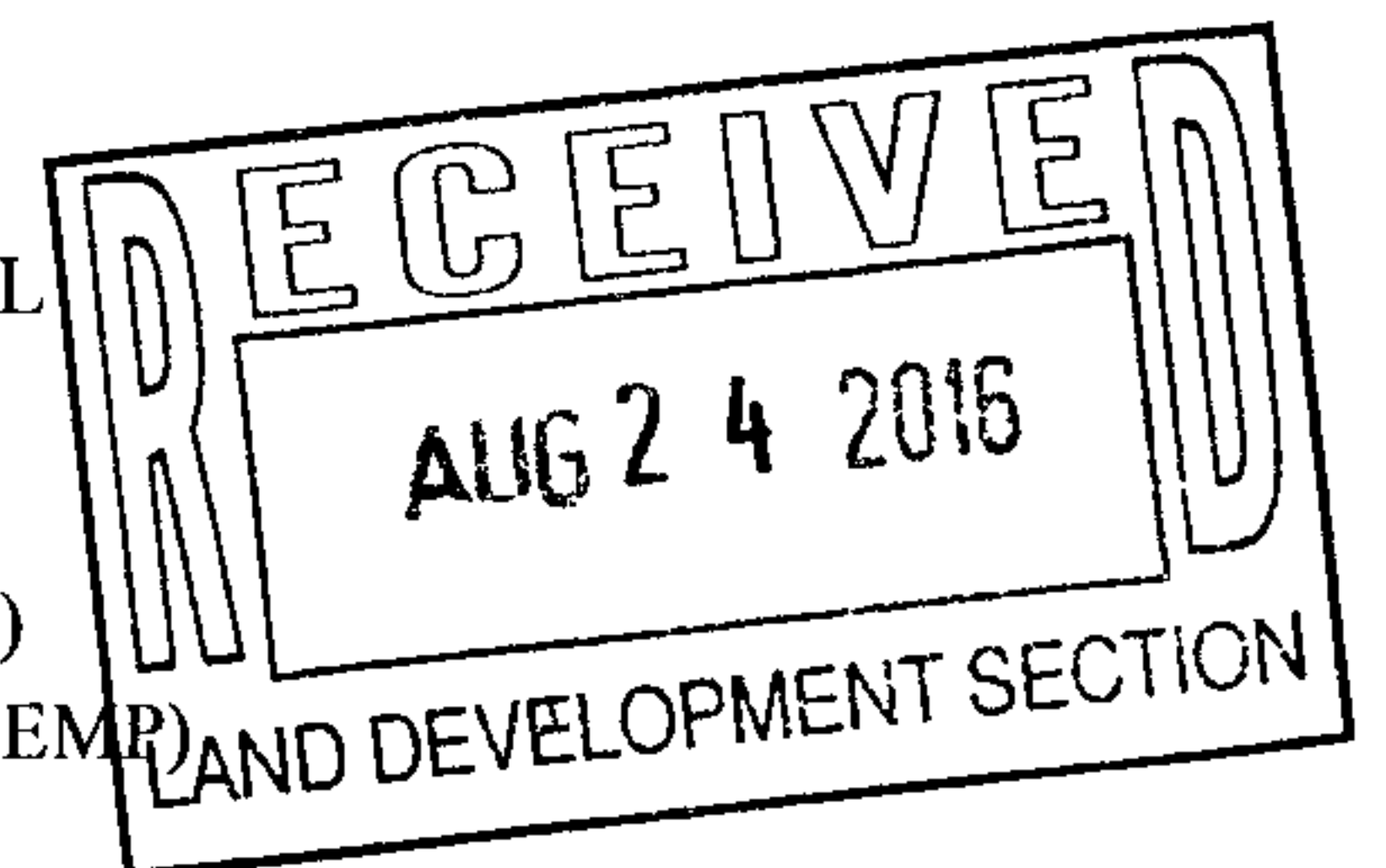
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \$3000

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: August 24, 2016 By: Mike Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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Joshua Lutz

From: Joshua Lutz
Sent: Wednesday, August 24, 2016 8:45 AM
To: 'PLNDRS@cabq.gov'
Subject: Youth Building Classroom Addition - City #C12/D17 - Drainage Certification
Attachments: Drainage Cert combined.pdf

Attached is the Drainage Certification for 1st Baptist Church in support of permanent certification of occupancy. Please email me if you have any questions.

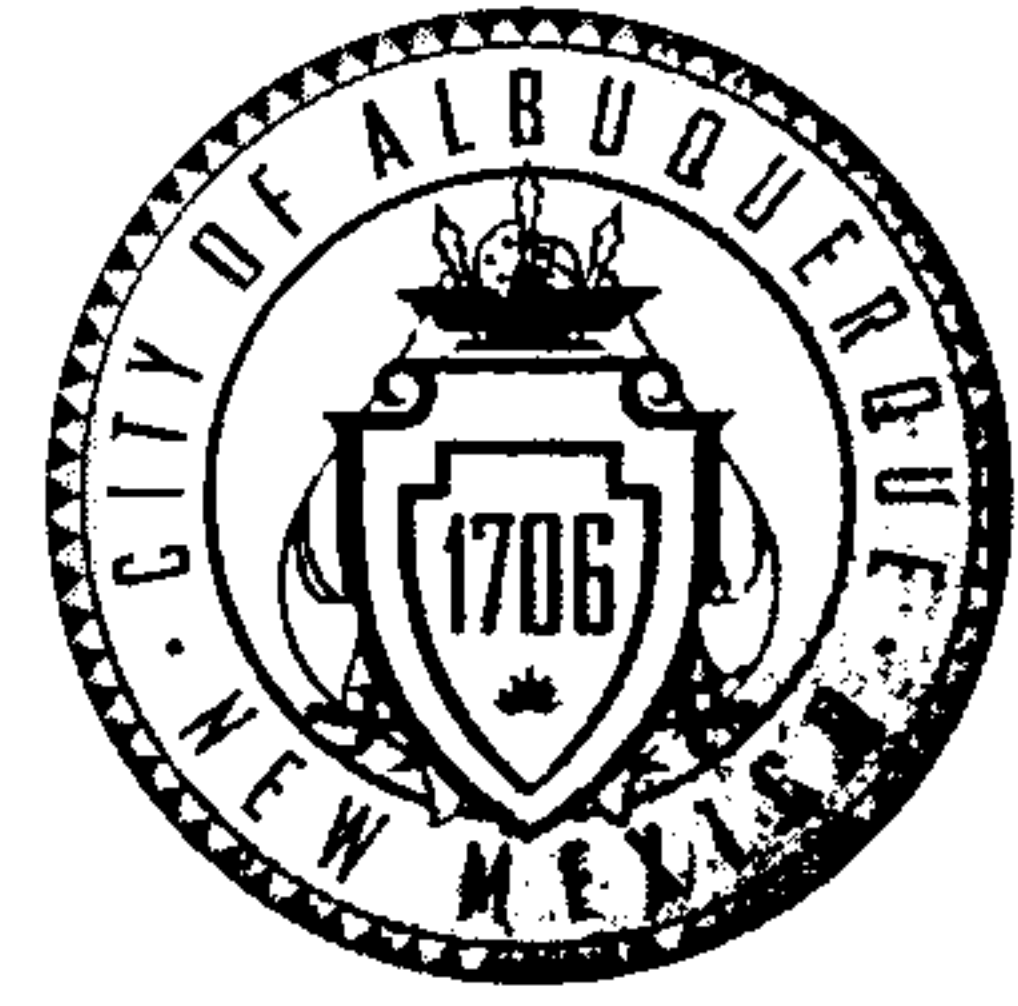
Thank you,
Josh Lutz
Engineer Intern
Community Development & Planning

Bohannon  Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM 87109-4335
www.bhinc.com



CITY OF ALBUQUERQUE



March 16, 2016

Richard J. Berry, Mayor

Mike Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE Courtyard 1
Albuquerque, NM, 87109

**RE: First Baptist Church Addition (Paseo del Norte)
Grading and Drainage Plan
Stamp Date 2/16/16 (File: C12D17)**

Dear Mr. Balaskovits:

Based upon the information provided in your submittal received 2-17-16, the above referenced Grading and Drainage Plan is approved for Building Permit and Grading Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

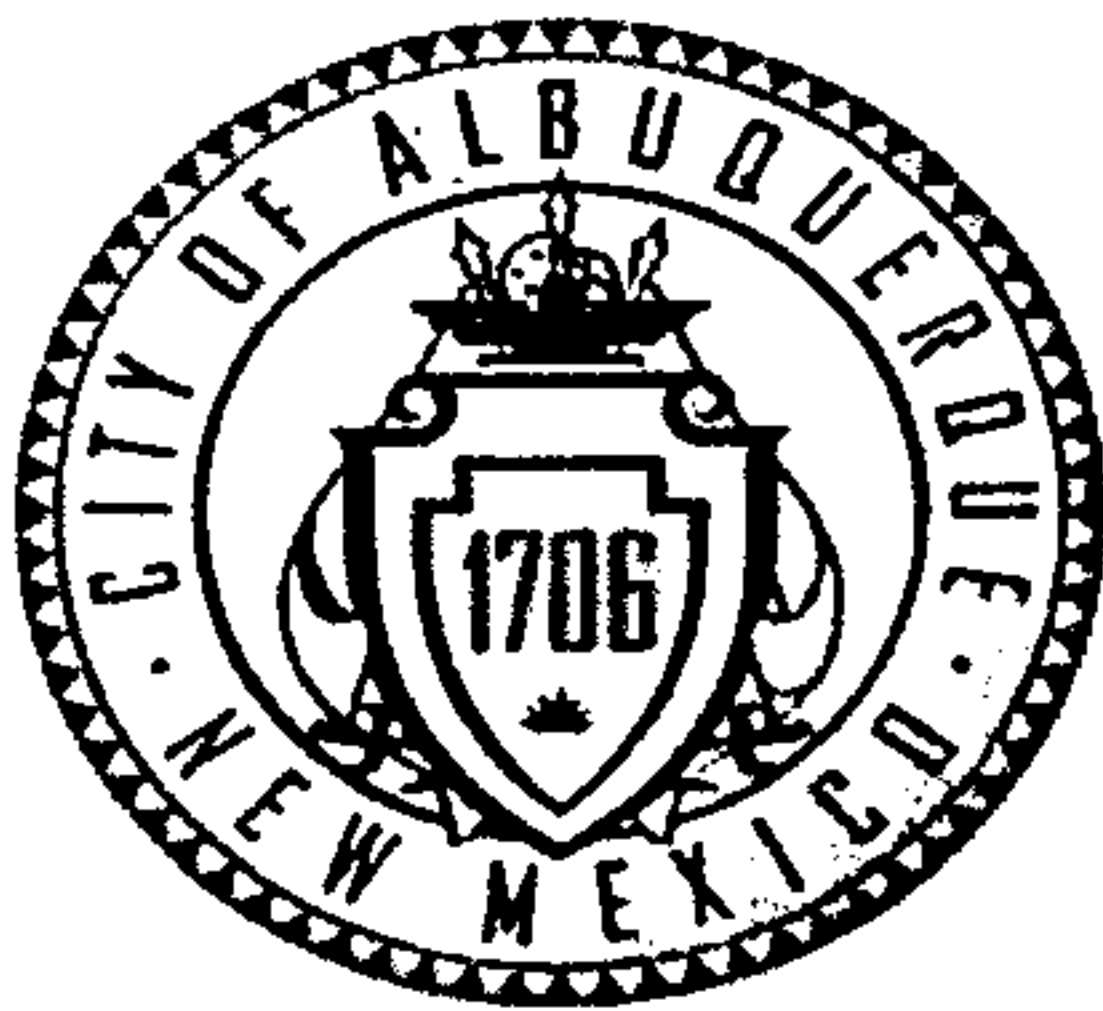
Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: First Baptist Church Addition Building Permit #: _____ City Drainage #: C12/D17
DRB#: 10000762 EPC#: 06EPC-01711 Work Order#: _____
Legal Description: Tract I Fountain Hills Subdivision
City Address: 4101 Paseo Del Norte

Engineering Firm: Bohannon Huston, Inc. Contact: Mike Balaskovits
Address: 7500 Jefferson St NE Courtyard 1
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: First Baptist Church of Albuquerque Contact: Michael Cook
Address: 4101 Paseo Del Norte
Phone#: (505) 247-3611 Fax#: _____ E-mail: michael@fbcabq.com

Architect: HH Architects Contact: Mitch Harding
Address: 5910 N. Central Exp. Ste 1200 Dallas, TX 75206
Phone#: (972) 404-1034 Fax#: _____ E-mail: mharding@hharchitects.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

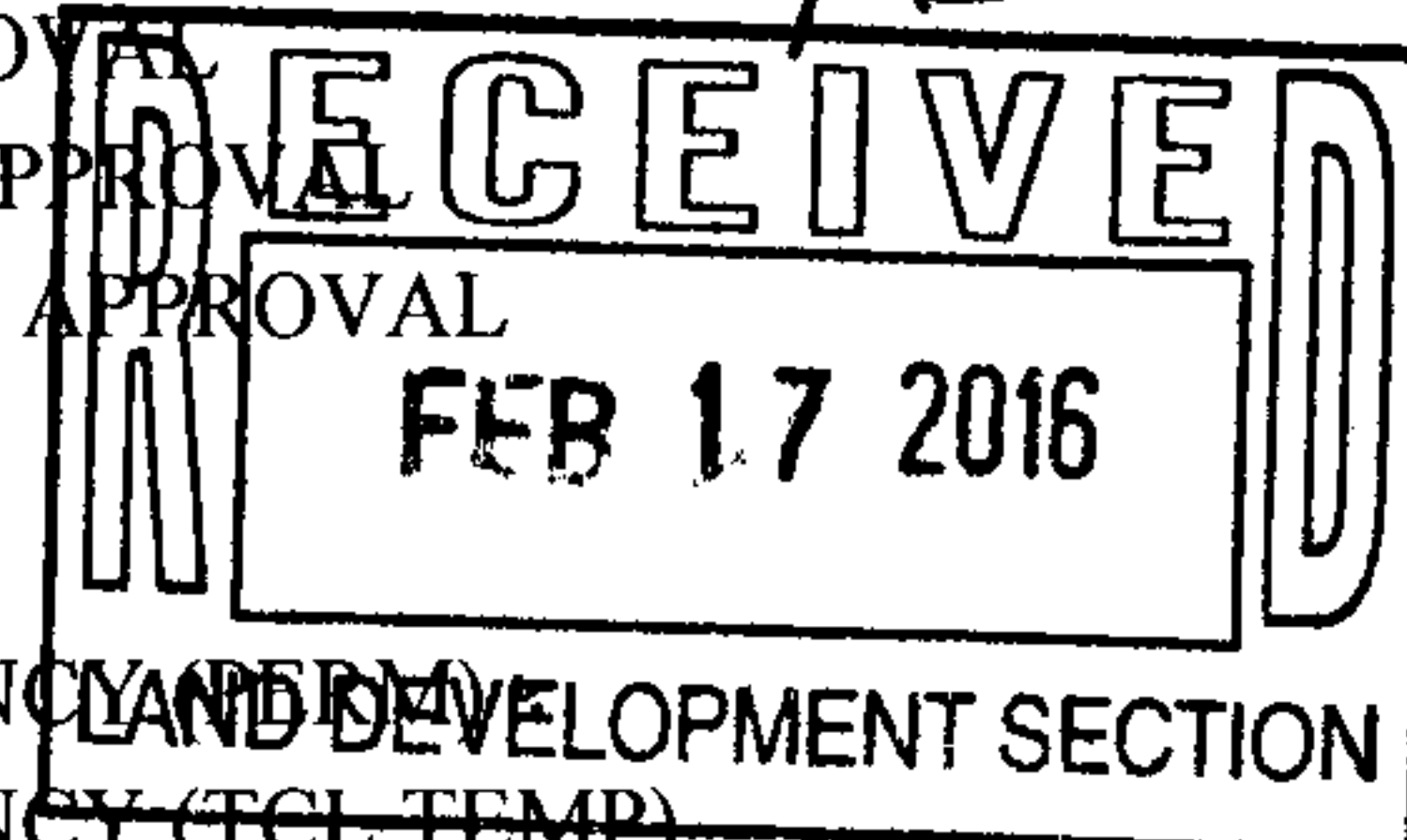
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
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- ☐ ENGINEER'S CERT (ESC)
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- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: February 17, 2016 By: Mike Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335
www.bhinc.com
voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Abiel Carrillo
Plaza del Sol
2nd loor
600 2nd Street NW
Albuquerque, NM 87102

Requested by: Mike Balaskovits

Date: February 17, 2016

Time Due: ☒ This A.M.
☐ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: (505)928-3460
Job No.: 20160244

Job Name: First Baptist Church Addition

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

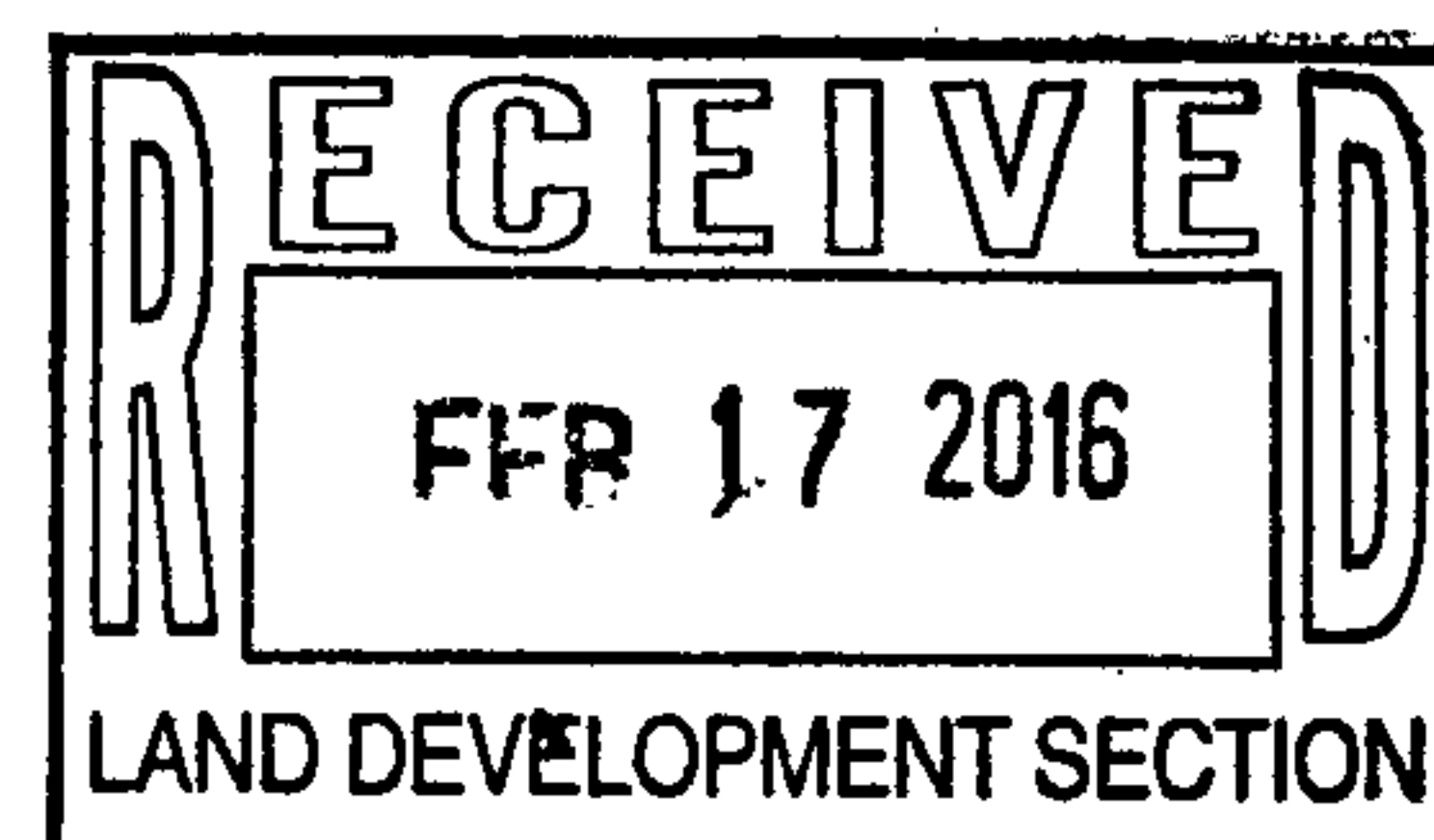
PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
-----------------	-----------------	--------------------

1	1	Drainage Management Plan and Grading and Drainage Plan Engineering Stamp date 02-17-2016
2	1	Drainage & Transporation Information Sheet
3	1	Email noting delivery of electronic files.

COMMENTS / INSTRUCTIONS



REC'D BY: _____ DATE: _____ TIME: _____

February 17, 2016

Mr. Abiel Carrillo, PE
Principal Engineer
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

Re: First Baptist Church Addition, Hydrology Re-Submittal (Hydrology File C12D17)

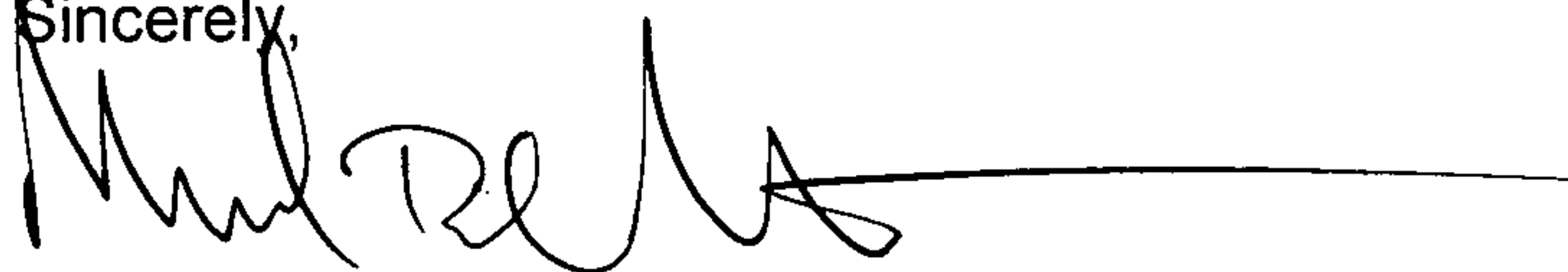
Dear Mr. Carrillo:

Enclosed for your review is a copy of the revised grading plan and drainage management plan. The revisions are based on comments received in your email dated January 21, 2016. Please note that the Grading Plan is now denoted as sheet C2.01 rather than sheet C1.00 in our previous submittal. Below is a brief description of how the comments were addressed:

1. The First Flush Volume Pond was moved to the edge of the southern parking lot to double as a de-siltation pond as requested. A rip rap blanket will be provided where the pond and the hardscape meet to prevent any erosion. A detail was provided showing the relationship between the pond, rip rap, and parking lot hardscape. See sheet C2.01 for more details.
2. In response to informational comment, the previously approved DRB plans and conceptual grading and drainage sheets did not adhere to the First Flush requirements due to the date at which it was approved. All possible considerations to retain the First Flush for future development will be taken into account.
3. The revision clouds shown are for the use of the contractor. Spot elevations and roof drain locations changed since the previous submittal but still ultimately outfall into the swale and First Flush Volume Pond.

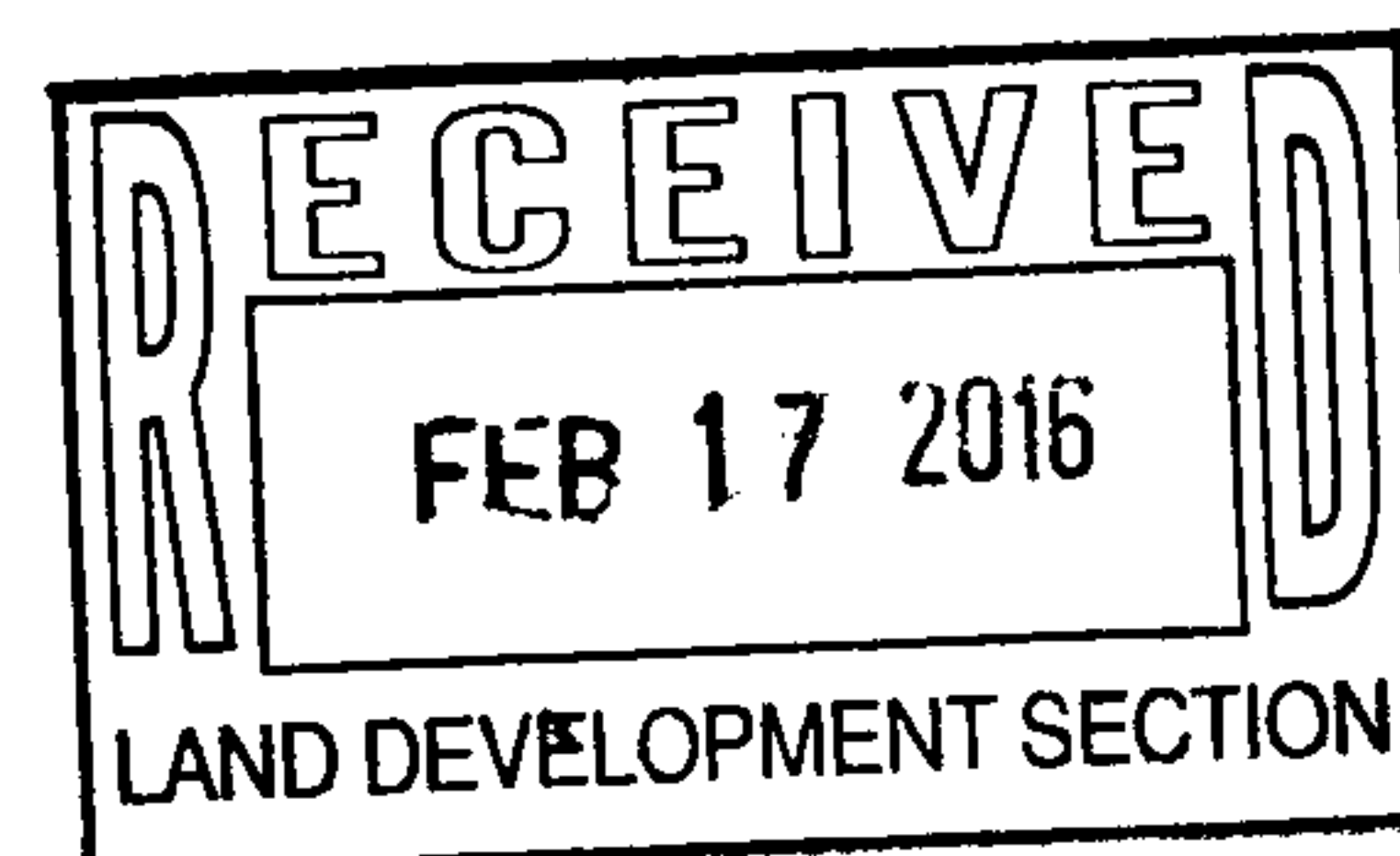
With this resubmittal, we are requesting Hydrology Building Permit and Grading Permit Approval. If you have any questions or require further information, please feel free to contact me.

Sincerely,



Michael Balaskovits, PE
Senior Project Manager
Community Development & Planning

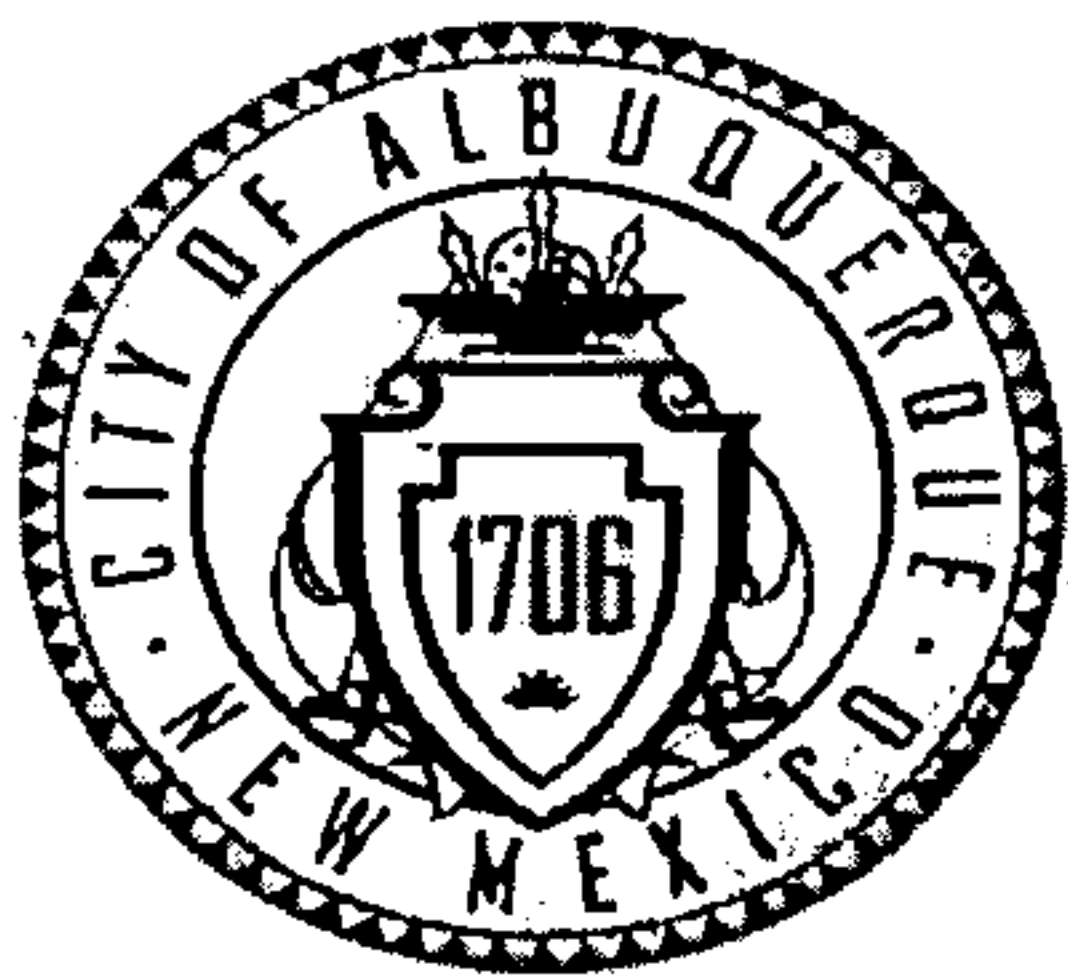
MJB/mhs
Enclosures



Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: First Baptist Church Addition Building Permit #: _____ City Drainage #: C12/D17

DRB#: 10000762 EPC#: 06EPC-01711 Work Order#: _____

Legal Description: Tract I Fountain Hills Subdivision

City Address: 4101 Paseo Del Norte

Engineering Firm: Bohannon Huston, Inc. Contact: Mike Balaskovits

Address: 7500 Jefferson St NE Courtyard 1

Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: First Baptist Church of Albuquerque Contact: Michael Cook

Address: 4101 Paseo Del Norte

Phone#: (505) 247-3611 Fax#: _____ E-mail: michael@fbcabq.com

Architect: HH Architects Contact: Mitch Harding

Address: 5910 N. Central Exp. Ste 1200 Dallas, TX 75206

Phone#: (972) 404-1034 Fax#: _____ E-mail: mharding@hharchitects.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

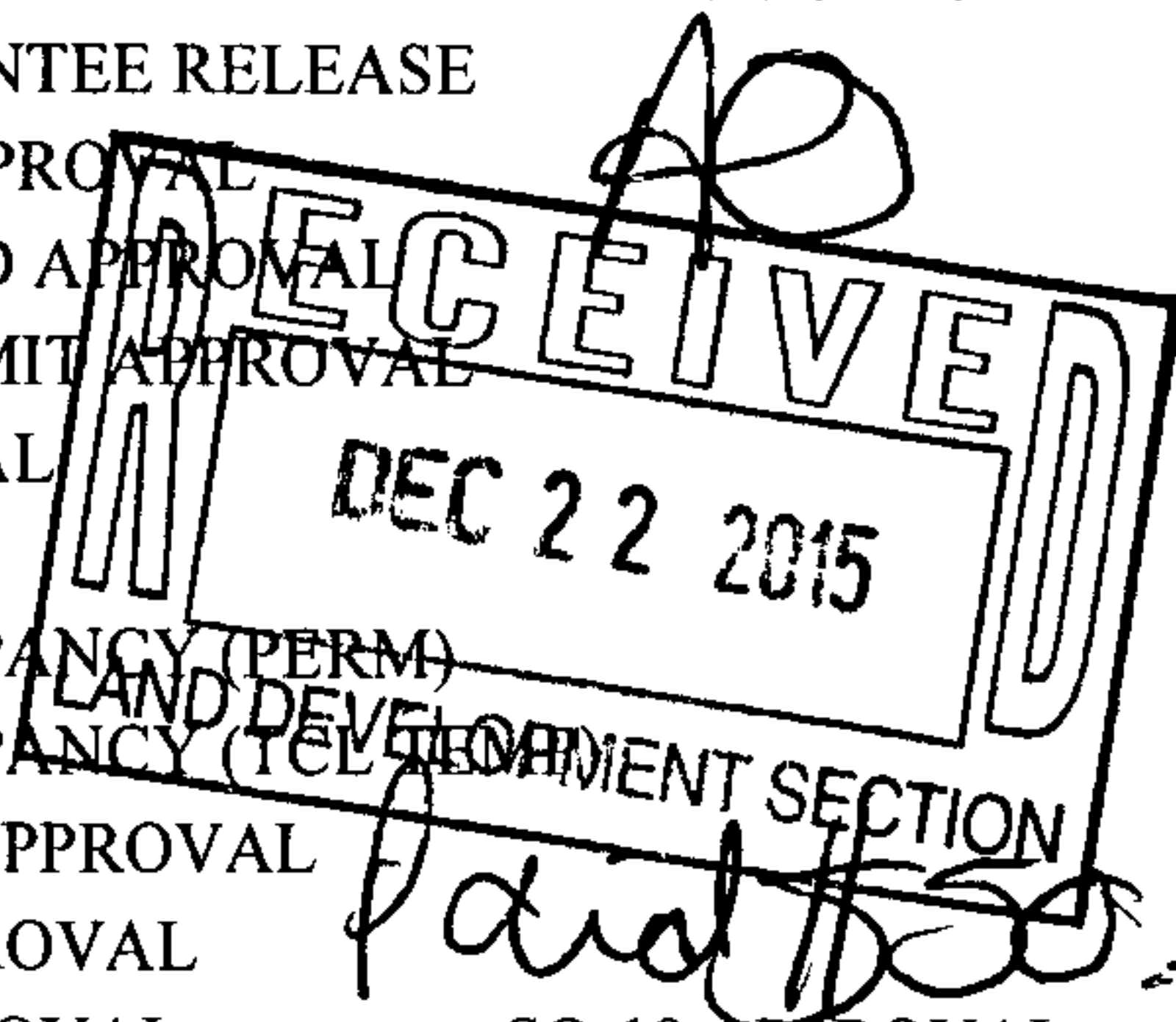
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: December 22, 2015 By: Mike Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Abiel X. Carrillo

From: Abiel X. Carrillo
Sent: Thursday, January 21, 2016 12:50 PM
To: Michael Balaskovits
Cc: Harmon Rita T.
Subject: C12D17 - First Baptist Church (Stamp Date: 12-22-15)

Hey Mike, just so you know, we are trying to expedite initial reviews by emailing comments instead of preparing a letter....

Mike,

Based upon the information provided in your submittal received 12-22-2015, the above referenced plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed:

- The transition from the natural ground surfaces to the paved parking lot outfall is subject to erosion and sediment transfer to the City's storm drain system. Permanent BMPs should be planned at the eastern edge of the paved parking lot, since Basin 1-2 will not be fully developed in the near future. Alternatively, the first flush volume pond could be relocated as close as practicable to the edge of the parking lot to double as a de-siltation pond (this option would be preferred, but any BMP suggestion would be considered).
- Informational Comment: The first flush volume will need to be maintained throughout future additions and developments of this basin.

If you have any question please do not hesitate to contact me.

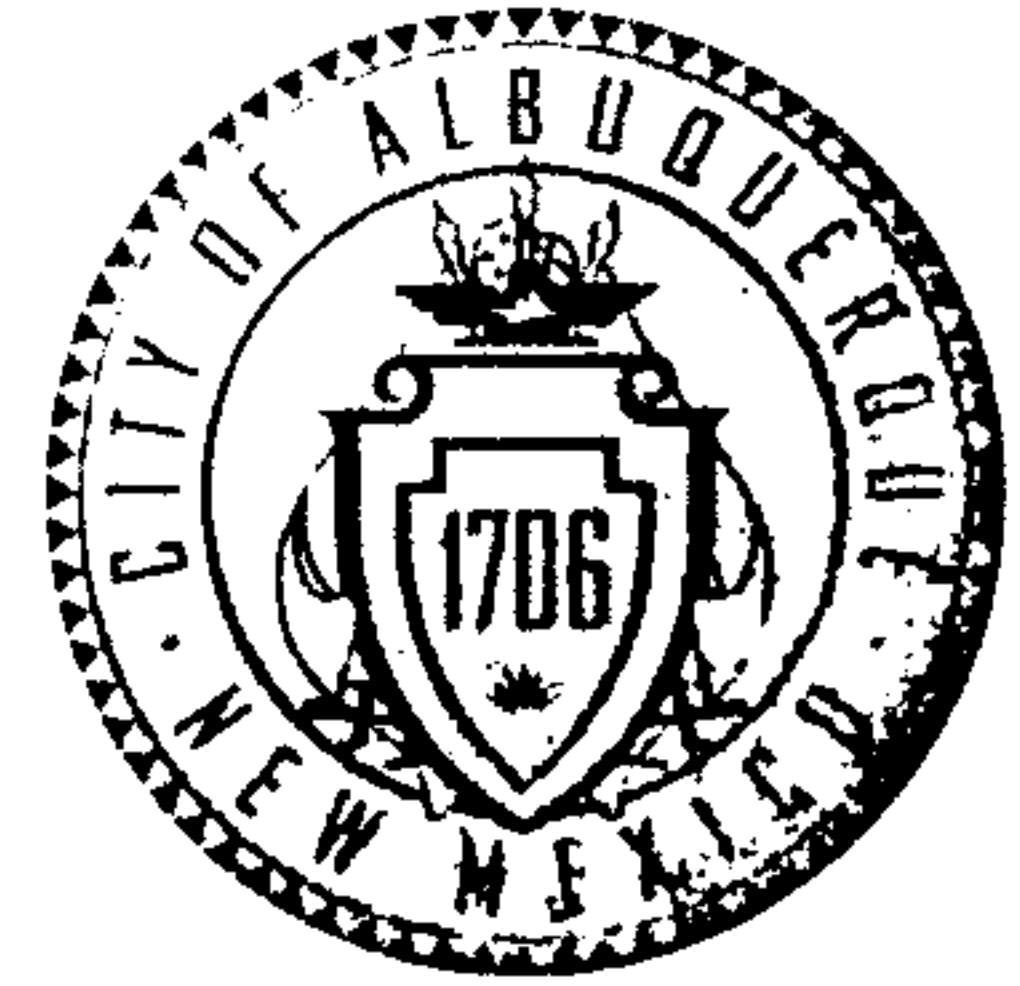
This email replaces a letter attachment. A Reply to this email will not be considered a re-submittal.

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102

*1.0 = 2.61 acre
Free discharge*

CITY OF ALBUQUERQUE



May 11, 2009

Bruce J. Stidworthy, P.E.
Bohannon Huston, Inc
7500 Jefferson St. NE
Albuquerque, NM 87109

**Re: First Baptist Church, 4101 Paseo Del Norte,
(C-12/D017)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 07-26-07
Engineer's Certification Date: 5-05-09**

PO Box 1293

Dear Mr. Stidworthy,

Albuquerque

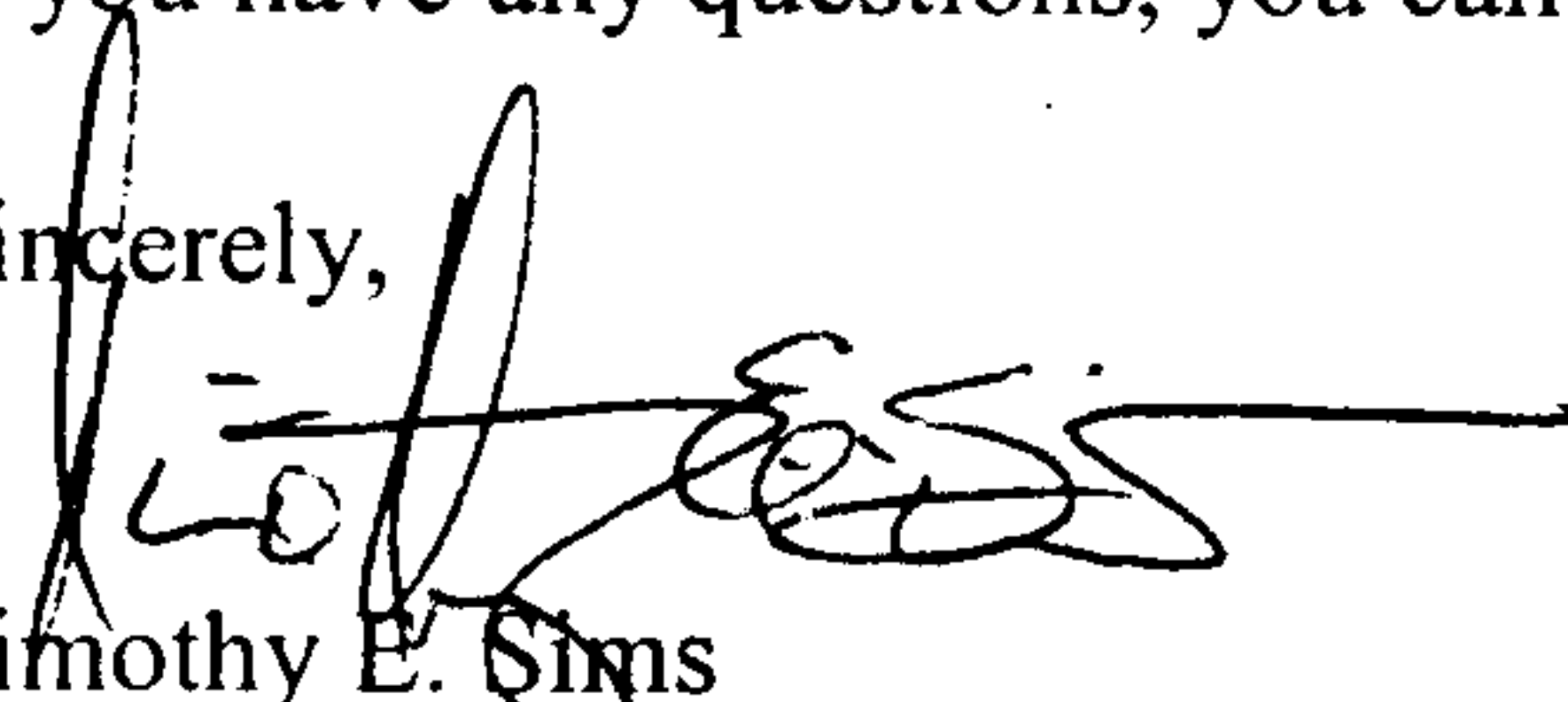
Based upon the information provided in your submittal on 5/06/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov


Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

CITY OF ALBUQUERQUE



October 22, 2007

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: First Baptist Church – NEC Richland Hills and Paseo del Norte, (C12/D17)
Engineer's Stamp Dated 7-26-07

Dear Mr. Stidworthy,

Based upon the information provided in your submittal received on October 18, 2007, the above referenced plan is approved for Building Permit and SO-19 Permit. Please attach a copy of this letter and the approved plan to the construction sets prior to sign-off by Hydrology.

A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Be advised that no Certificate of Occupancy, temporary or permanent, will be released prior to inspection and approval of the storm drain connection by the Storm Drain Maintenance Department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of their SWPPP on a CD in .pdf format to Kathy Verhage with the Department of Municipal Development Storm Drainage Division at the following address.

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions, you can contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file C12/D17

Antoinette Baldonado, Construction Services
Dwayne Schmitz, DMD Street / Storm Maintenance
Kathy Verhage, DMD Storm Drainage





B-1

No. of Lots: _____
 Nearest Major Streets: _____

FIGURE 12 PROJECT: 5844.82

**SUBDIVISION IMPROVEMENTS
 AGREEMENT-PUBLIC AND/OR PRIVATE
 (Procedure B)**

**AGREEMENT TO CONSTRUCT
 PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 23rd day of October, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and ~~The First Baptist Church of Albuquerque~~ ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] corporation, whose address is 101 Broadway Blvd. ABQ, NM 87102 and whose telephone number is 505-247-3611, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tract B Richland Hills, recorded on May 9, 1994 in the records of the Bernalillo County Clerk at Book 94C, pages 148 through XXXXX (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] The First Baptist Church of Albuquerque ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Tract I, Fountain Hills Plaza Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 20 day of May, 2009 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 5844.82.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk</u>	<u>As required per City-</u>
<u>Ordinance, Street Restor-</u>	<u>approved estimate.</u>
<u>ation Fees</u>	<u>(Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Geo/Survey, and construction surveying of the private Improvements shall be performed by _____. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Bohannon Huston, Inc., and inspection of the private Improvements shall be performed by _____, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider

shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Western Technologies, and field testing of the private Improvements shall be performed by _____, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Loan Commitment: Church Finance Corporation
Amount: \$36,661.10 Name of Financial Institution or Surety
providing Guaranty: Church Finance Corporation
Date City first able to call Guaranty: May 20, 2009
[Construction Completion Deadline]: May 20, 2009
If Guaranty other than a Bond, last day City able to call Guaranty is:
July 20, 2009
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:

By [Signature]:

Name:

Title:

Dated:

CITY OF ALBUQUERQUE

For Bradley L. Bingham
City Engineer

Dated: 10/23/07

10/22/07

10-15-07

SUBDIVIDER'S NOTARY

STATE OF New Mexico ss.
COUNTY OF Bernalillo

This instrument was acknowledged before me on 25 day of September 2007 by [name of person:] Kyle Childress, Administrator [title or capacity, for instance "President" or "Owner":] of [Subdivider:] The First Baptist Church of Albuquerque.

Notary Public

My Commission Expires:

5-5-08

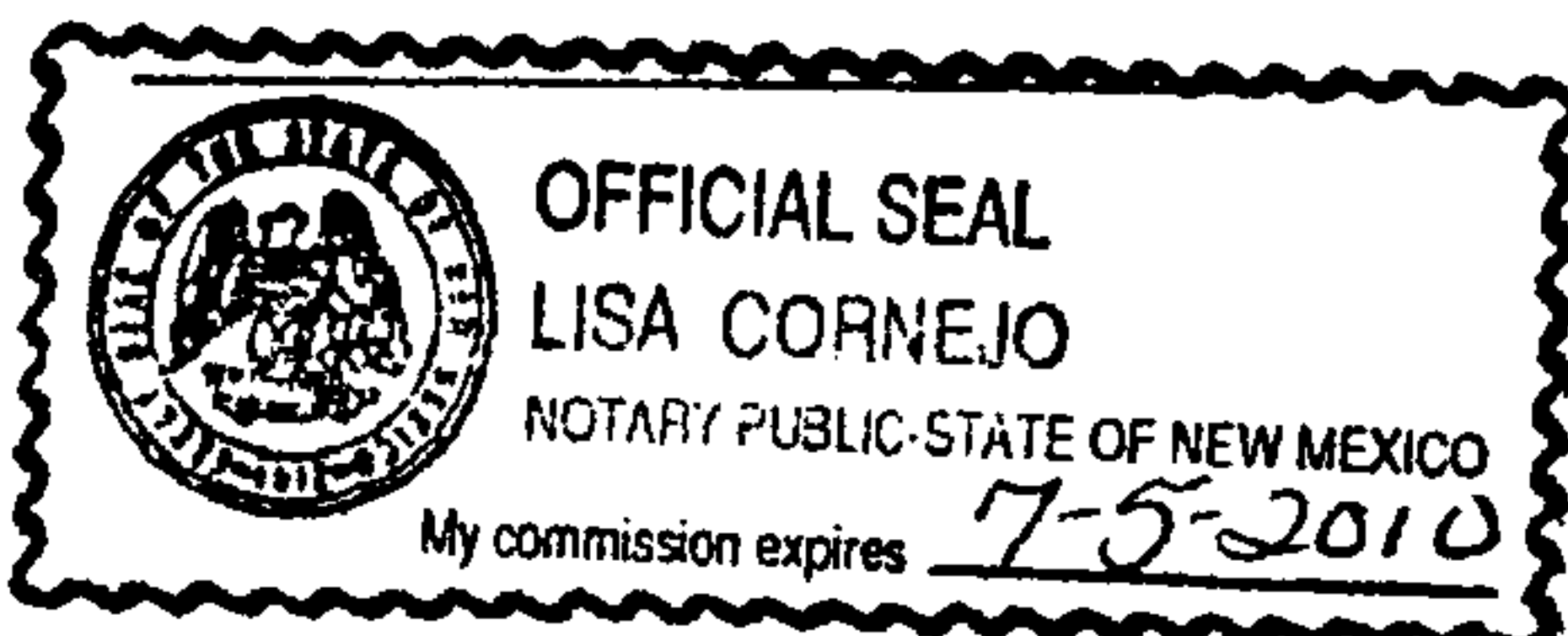
CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 23 day of October, 2007 by Bradley L. Bingham City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Notary Public

My Commission Expires:



FINANCIAL GUARANTY AMOUNT

08/15/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 584482, 1st Baptist Church of Albuquerque, Phase/Unit #: 1

Requested By: Bruce Sildworthy


Approved estimate amount:		\$21,575.77
Contingency Amount:	15.00%	\$3,236.37
Subtotal:		\$24,812.14
NMGRT	6.875%	\$1,705.83
Subtotal:		\$26,517.97
Engineering Fee	6.60%	\$1,750.19
Testing Fee	4.00%	\$1,060.72
Subtotal:		\$29,328.88
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$36,661.10</u>

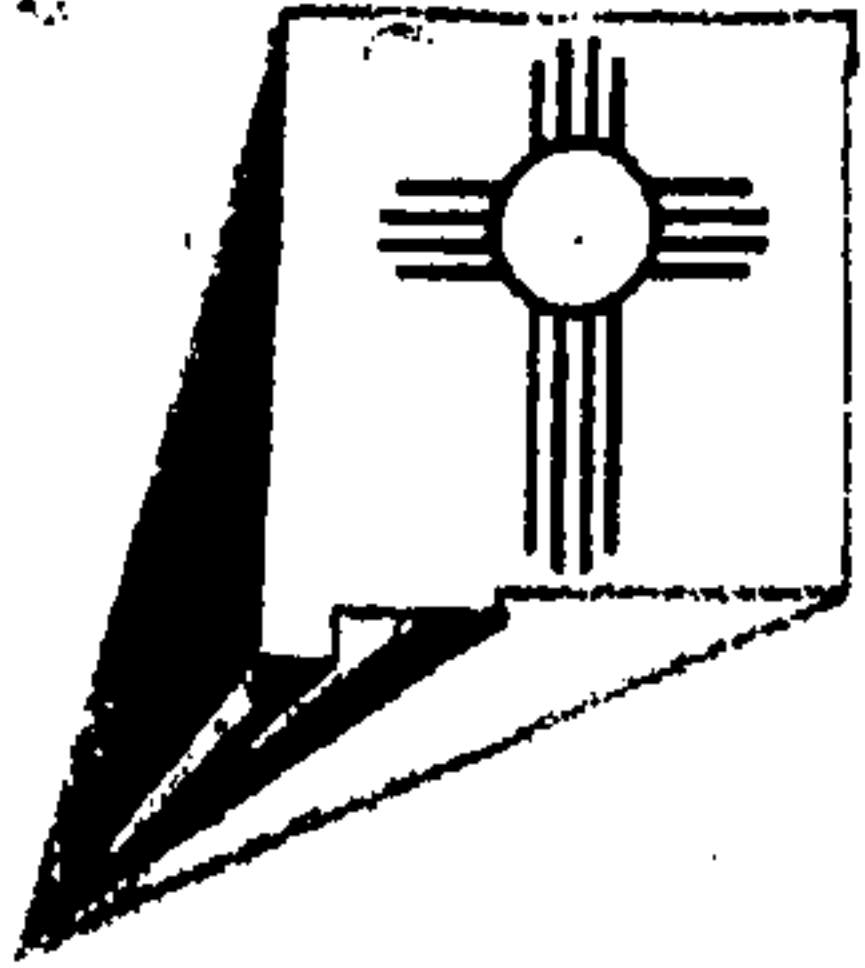
APPROVAL:

DATE:

8-29-07

Notes: B-1; 15% contingency; Prior to Phase 2 construction or release of FG for this project, CPN 584480 work order must be built and accepted by the COA.





CHURCH FINANCE CORPORATION

P.O. Box 16560
Albuquerque, New Mexico 87191

Phone 505-332-1777 or 877-841-1777

Fax 505-332-2777

e-mail churchfinance@nmbf.com

website www.nmbf.com

September 13, 2007

Mr. Kyle Childress
Associate Pastor
First Baptist Church
101 Broadway Blvd NE
Albuquerque, NM 87102

Mr. Bruce J. Perlman, Ph.D.
Chief Administrative Officer
City of Albuquerque
P. O. Box 1294
Albuquerque, NM 87103

RE: Loan commitment for First Baptist Church, Albuquerque, NM for City of
Albuquerque Project No.584482

Dear Mr. Childress and Mr. Perlman:

The Church Finance Corporation hereby commits to make a loan to First Baptist Church ("Church"), Albuquerque, NM, on the terms and conditions herein set forth, for the purpose of ensuring the payment of the cost of subdivision improvements as listed in the Exhibit A infrastructure list attached.

1. The amount of the loan will be for \$36,661.10 "Loan Proceeds" for curb and gutter for deceleration lane median modifications, Directional Island (the "Improvements"). These Improvements are identified in the Agreement between the City and the Church (reference DRB application number 07drb-00597), and recorded on 10/24, 2007, in Book NA, at page NA in the records of Bernalillo County Clerk, Bernalillo County, New Mexico. *Document # 2007148849*
2. The loan commitment shall be irrevocable for the benefit of the City and will remain open until July 20, 2009 (the "Expiration Date").
3. The loan proceeds will be paid directly to the City of Albuquerque, as necessary to satisfy the Church's obligations to reimburse the City for the cost of the aforementioned Improvements.

4. The loan commitment will be for the exclusive purpose of providing a financial guarantee which the City of Albuquerque requires First Baptist Church to provide for the installation of the aforementioned Improvements.
5. The City may demand the Loan Proceeds by delivering to Church Finance Corporation a certified "Demand for payment" on or before the Expiration Date executed by the Chief Administrative Officer which shall state the Church has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the Improvements. Upon receipt of the Demand for Payment Church Finance Corporation shall promptly draw upon the loan proceeds and deliver to the City by cashiers check. The amount stated in the Demand for Payment. The Church Finance Corporation shall deliver the cashiers check to the City within three (3) days of receipt of the Demand for Payment.

First Baptist Church
101 Broadway Blvd NE
Albuquerque, NM 87102

By: _____

Title: _____

Date: _____

Church Finance Corporation
P.O. Box 1560
Albuquerque, NM 87191-6560

By: _____

Title: _____

Date: _____

ACCEPTED

City of Albuquerque

By: _____

Title: _____

Date: _____

10-15-07

Current DRC

FIGURE 12

ORIGINAL

INFRASTRUCTURE LIST

Rev. 1-25-59

EXIST

TO SUBDIVISION IMPROVEMENTS AGREEMENT



DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

First Baptist Church of Albuquerque

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract B, Richland Hills, Unit 1 and a portion of Tracts B1 A and C1 A, Albuquerque West, Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subject's responsibility will be incorporated into the project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size *  24" to 30" *  30" to 36"	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
			Storm Drain	Fountain Hills Pkwy	Education Place	Fountain Hills Blvd	/	/	/
			Storm Drain	Fountain Hills Blvd	Fountain Hills Pkwy	Tract 6-A-1-A	/	/	/
			Standard Concrete Curb & Gutter for decal lane	Northern Frontage of Paseo Del Norte	Approx. 300' west of Richland Hills Rd	Richland Hills Rd	/	/	/
			Median modifications as required to allow southbound left access to site	Richland Hills Rd at site driveway			/	/	/
			* Directional Island as required to prohibit left turns from site to Richland Hills Rd.	Site driveway at Richland Hills Rd			/	/	/
			* This item to be a modified procedure B SIA with deferred construction.				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

PAGE 1 OF 2

PAGE 1 OF 2

Exhibit 'A' for Loan Commitment Letter

A

1

NOTES

This item financially guaranteed under CPN 584480 and that work order must be built and accepted prior to Phase 2 construction at release of EG for this project. These items do not need to be financially guaranteed under this project

2

3

AGENT / OWNER

Racquel Michel
NAME (print)

Bohannon Huston Inc.
FIRM

Racquel Michel 5/29/07
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRS CHAIR - date
5/30/07

5-30-07
PARKS & RECREATION - date

2/21/07
TRANSPORTATION DEVELOPMENT - date
5-30-07

Rogert Green 5/30/07
UTILITY DEVELOPMENT - date

2-22-07 5-30-07
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRS CHAIR	USER DEPARTMENT	AGENT / OWNER
A	5/20/07	Racquel Michel	Bohannon Huston Inc.	Bohannon Huston Inc.

F I R S T B A P T I S T C H U R C H



RECEIVED

OCT 04 2007

DESIGN REVIEW

5/9/07

CORPORATE RESOLUTION

The First Baptist Church Albuquerque, Inc. grants approval for the individual listed below to sign any and all legal proceeding affecting this Church. This includes, but is not limited to, contracts, real estate agreements, mortgages, financial documents, and financial guarantees.

Kyle Childress, Associate Pastor/Administrator

DURATION: Indefinite until rescinded in writing.

APPROVED THIS 09 DAY OF MAY, 2007.

Michael Cook
Senior Pastor, President
First Baptist Church Albuquerque

F I R S T B A P T I S T C H U R C H



**Recommendation For Special Called Business Meeting
May 9, 2007**

Recommendation

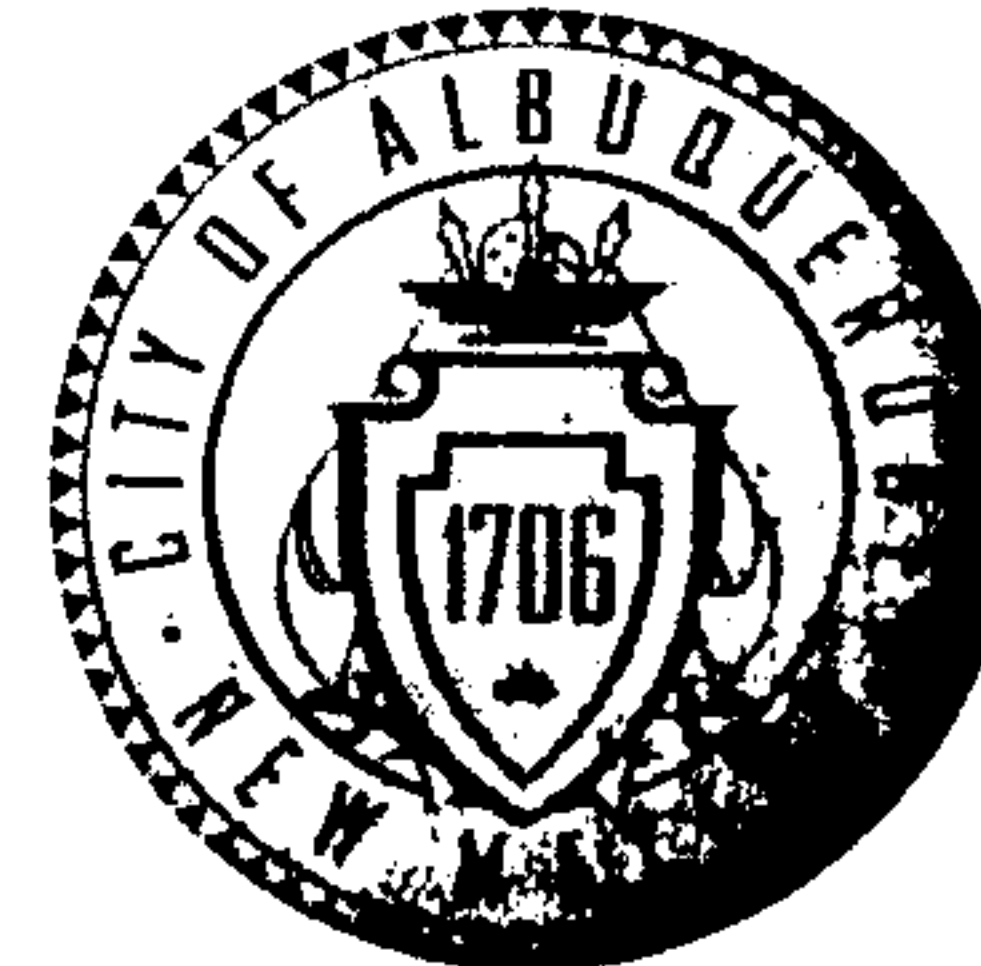
On December 17, 2006 the church authorized the following persons to be signers for the construction loan transaction. This recommendation would be that the church authorize these persons to sign any and all transactions for the church.

**Edyth Lake – Trustee
George Stevens – Trustee
Billy Goodrum - Trustee
Ollie Allred - Treasurer
Kyle Childress – Associate Pastor/Administrator
Mary Nell Taylor – KRT – Check Signer
Linda Kolle – Check Signer
Lenton Malry – Check Signer**

Justification

With the sale of Central Place and other land sales (yet to be approved by the Church) there is a need for documentation of an approved list of signers. Approval of this recommendation would allow these individuals to sign for any future needs that may arise.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 7, 2010

Bruce J. Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE, Coutyard I
Albuquerque, NM 87109

Re: Certification Submittal for Permanent Certificate of Occupancy (C.O.) for
First Baptist Church Phase I, [C-12 / D017]
4101 Paseo Del Norte NW
Engineer's Stamp Dated 05/07/10

Dear Mr. Stidworthy:

Based upon the information provided in your submittal received 05-07-10,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy. This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: First Baptist Church ZONE MAP/DRG. FILE # C12/D17
DRB #: 1000762 EPC#: 06EPC-01711 WORK ORDER#: _____

LEGAL DESCRIPTION: tract I Fountain Hills subdivision

CITY ADDRESS: 4101 Paseo Del Norte

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy P.E.
ADDRESS: 7500 Jefferson NE – Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: First Baptist Church of Albuquerque CONTACT: Kyle Childress
ADDRESS: 101 Broadway Blvd. PHONE: (505) 247-3611
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

ARCHITECT: HH Architects CONTACT: Mitch Harding
ADDRESS: 5910 N. Central Expy, Suite 1200 PHONE: (972) 404-1034
CITY, STATE: Dallas, TX ZIP CODE: 75206

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

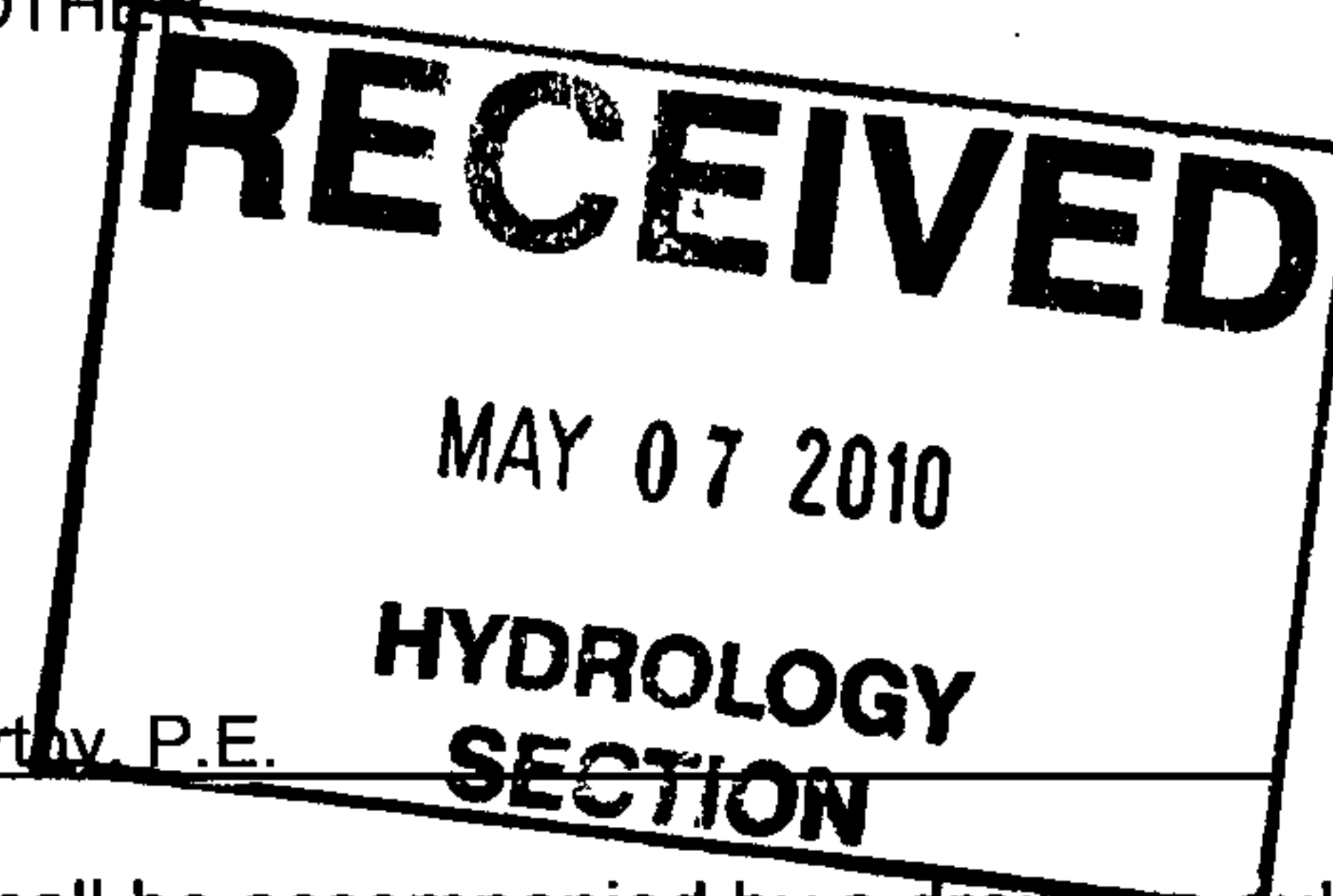
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ ROUGH GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: May 7, 2010 BY: Bruce Stidworthy, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

May 7, 2010

Ms. Kristal Metro
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: First Baptist Church Traffic Certification, Phase 1, Permanent Certificate of Occupancy

Dear Kristal:

I Bruce Stidworthy, NMPE 14523, of the firm Bohannon Huston, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 11/21/08 (date of final approval signatures). The record information edited onto the original design document has been obtained by Bohannon Huston, Inc. I further certify that I have personally visited the project site on 2/24/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

As you may recall, we submitted a certification for this project on February 24, 2010. At that time, the Administrative Amendment to the DRB approved Site Plan for Building Permit had not been approved so we only requested Temporary Certificate of Occupancy approval. Since that time, the Administrative Amendment has been approved. Accordingly, we are re-submitting the certification with a copy of the approved Administrative Amendment, and we are now requesting Permanent Certificate of Occupancy.

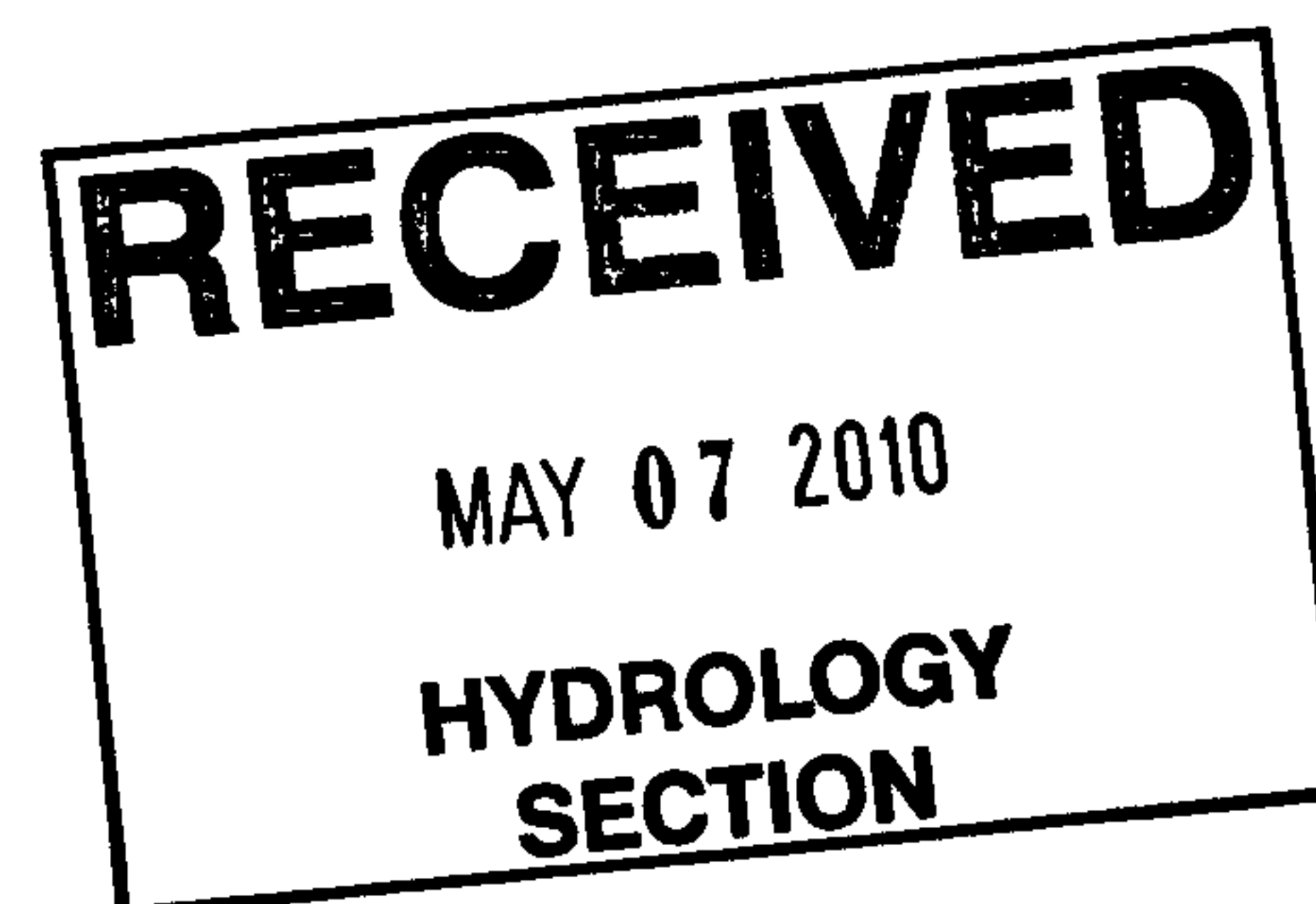
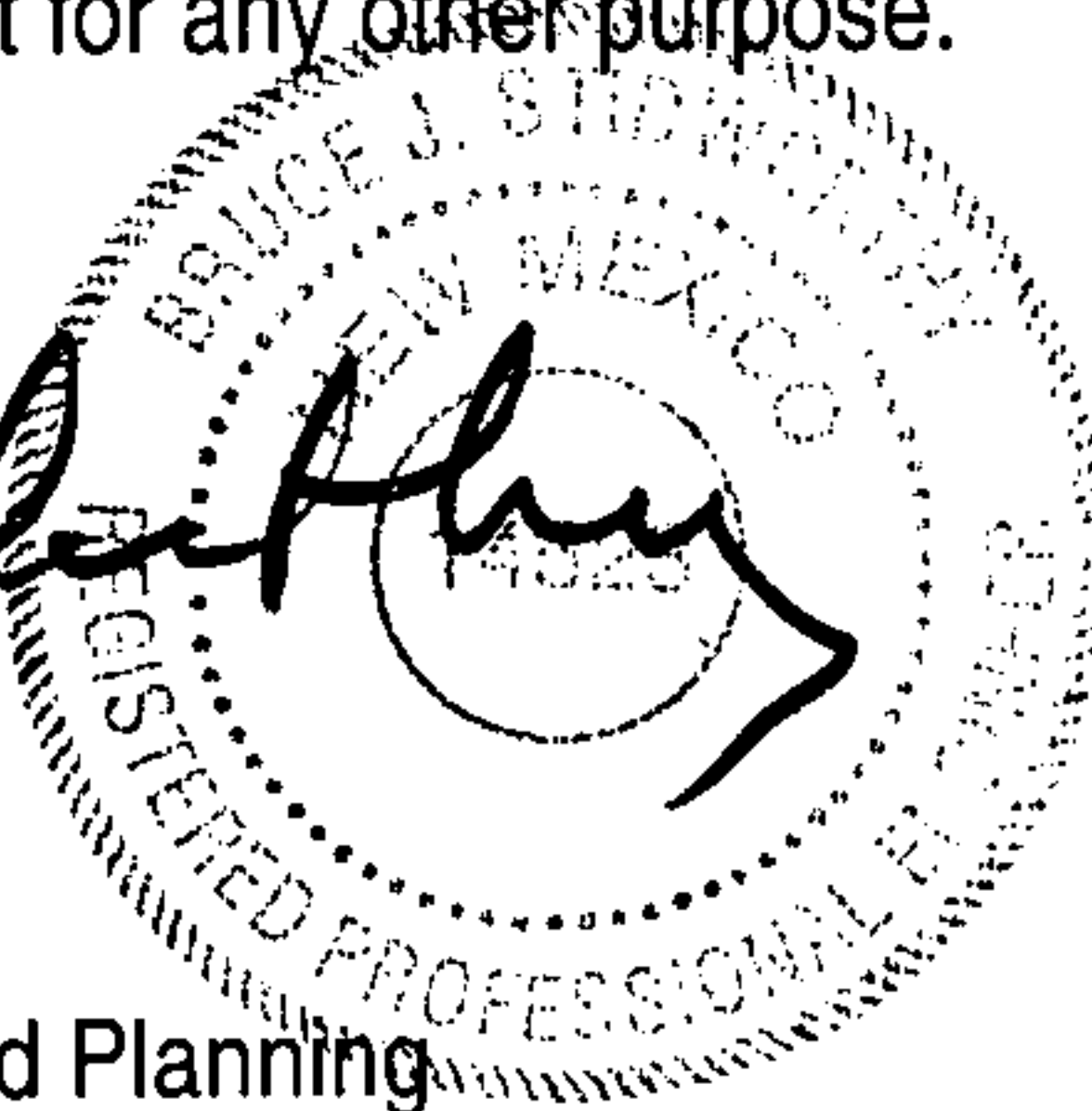
The record information is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning

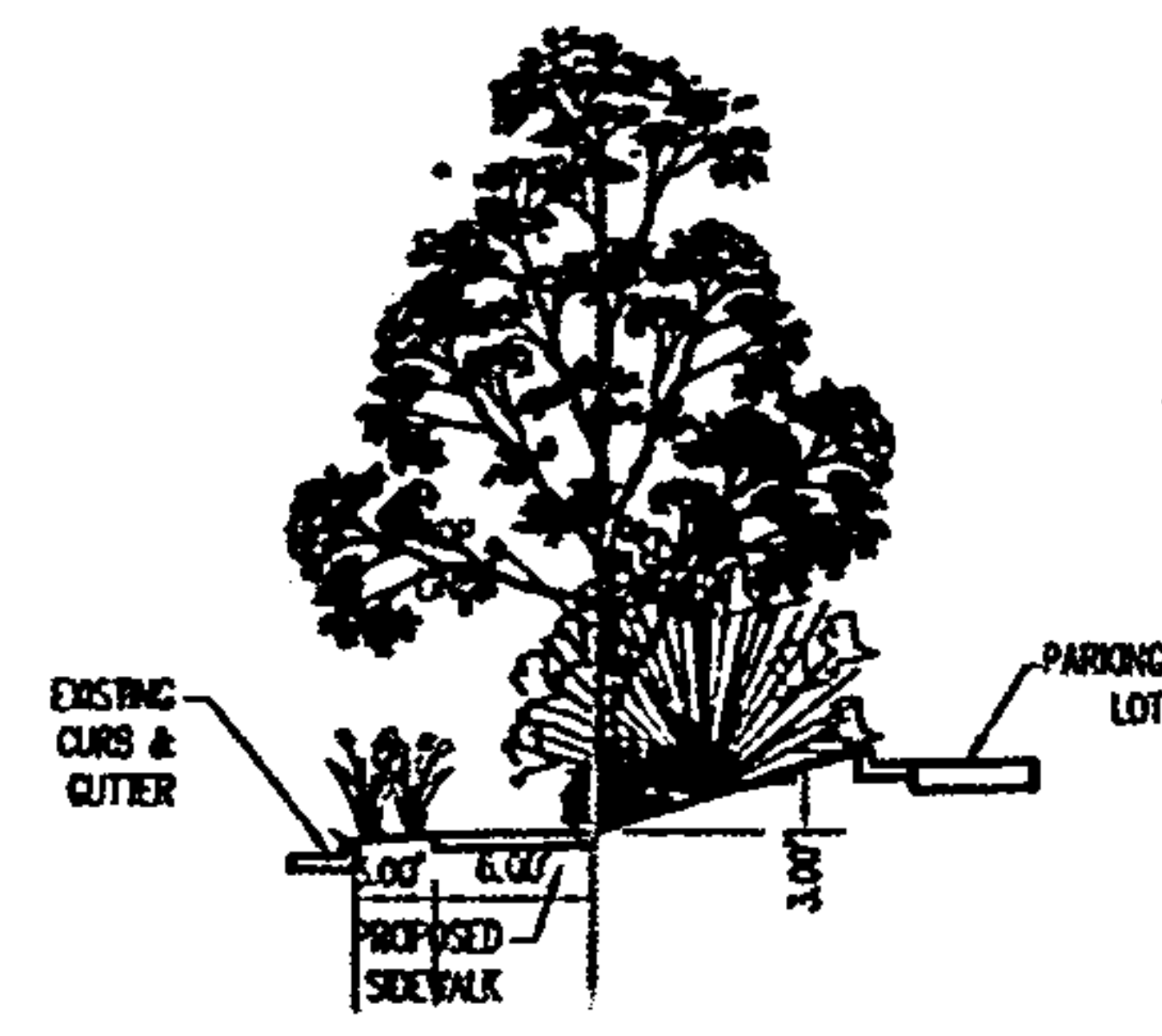
BJS/cc



ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



Vegetation Berm Detail

Scale: Not to Scale

General Notes

1. Not Used.
2. Permission granted by the Environmental Planning Commission for 1"=50'-0" on site plan and 1/8"=1'-0" for building elevations.
3. Refer to the utility plan for fire hydrant distribution lines, proposed and existing water/sewer storm drainage facilities proposed.
4. Streets, parking spaces and associated drives to be asphalt unless noted otherwise.
5. Sidewalks to be standard gray scored concrete unless noted otherwise.
6. All parking shown shall be 9' x 20' spaces, unless shown otherwise for inbound parking, and 9' x 18' with a 2'-0" overhang at all perimeter parking.
7. Wireless telecommunications facilities are not permitted, as requested by Neighborhood Associations.
8. The Church will have available a van service to pick up elderly Church members. The Church will also encourage members to carpool.
9. Sidewalk widths per code: minimum 6' for the crosswalks from the parking area to the sidewalk, minimum 8' for the sidewalks adjacent to all building facades that contain primary entrances to buildings, a 10' sidewalk along Paseo Del Norte, and 15' at entrances.
10. The owner is not requesting direct access to or from Paseo Del Norte.

Zoning Description

SU-1 for IP Uses, with Exceptions (bottling plant, cold storage, golf course or golf driving range, railroad R-O-W, gasoline or oil sales, auto washing or repair).

Legend

- Area Pole Light to comply with Dark Skies Ordinance Height 25'-0" 16'-0" within 100' of residential, see 05/A003
- Pedestrian Walk
- Table and Chairs
- Fire Hydrant

Legal Description

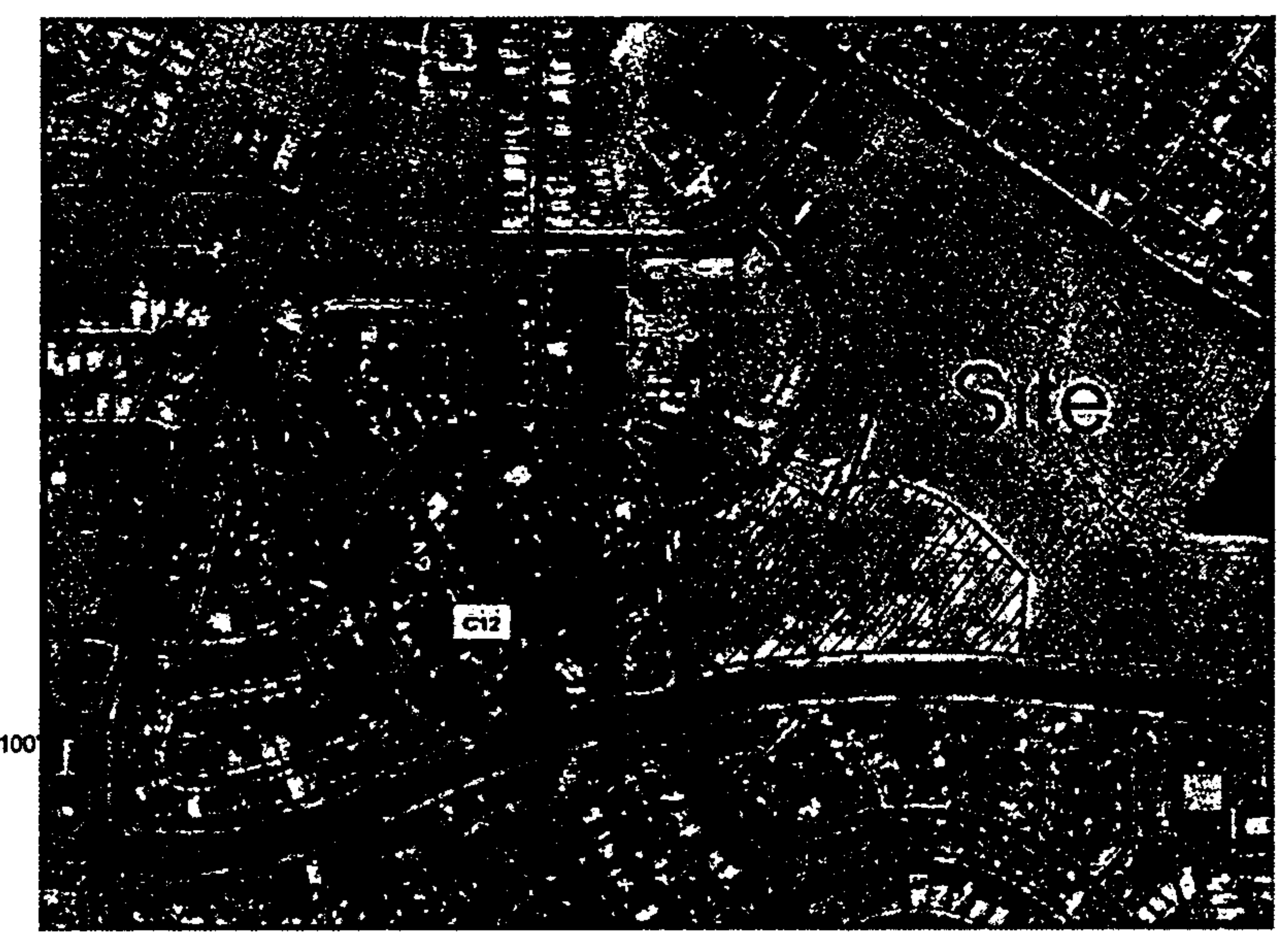
All or a portion of Tract B, Richland Hills Subdivision, Unit 1, and all or a portion of Tract(s) B1A and C1A, Albuquerque west, Unit 1

Site Data

Site Area: 13.8992 Acres 605,453 SF
Actual FAR: 123,946 GSF/605,453 SF=205
Maximum Building Height: 50'-0"

Keyed Notes - Final Build-out

1. H.C. parking, see 7/A003 & 3/A003
2. Automobile Ingress
3. Automobile Egress
4. Property Line
5. Landscape area, see sheet L101
6. Outdoor paved area; outdoor seating, shaded.
7. Amphitheater/ outdoor seating
8. Final Build Out trash enclosure w/ concrete apron, see 2/A003 & 1/A003.
9. Sidewalk - concrete (Per COA STD DWG 2430 for Sidewalks).
10. Bicycle rack, see 4/A003
11. Motorcycle parking designated with sign similar to 7/A003, Color: Beige
12. 10' wide multi-purpose trail facility
13. Not used
14. Tree planter 6" curb
15. Designate compact space with paint on pavement.
16. Parking island, typical. 15' radius.
17. Not used
18. Utility easement, to be abandoned.
19. Monument sign, see 1/A302
20. Building footprint
21. Retaining wall, concrete masonry unit, burnished block, Color: Beige
22. Drop off drive, no parking
23. 6" concrete retaining seat wall w/ 30" concrete seat
24. Existing sidewalk
25. Light pole, typ. Ref. detail 5/A003. Typ. 25'-0" height, 16'-0" height within 100' of residential.
26. Outdoor play area, fenced with 6'-0" ornamental iron, Color: Black.
27. Not Used
28. Pedestrian crossing, patterned concrete.
29. Drive w/ flush curb.
30. Vegetated berm.
31. Stop sign.
32. Traffic signal.
33. Phase 1 Refuse location. Remove and relocate for Phase 2.
34. Future island may be required to prohibit left turns out of this driveway.
35. New public curb and gutter, COA work order required.
36. New median modifications to accommodate left turn, COA work order required.
37. Driveway per COA Std Dwg 2426
38. Phase 1 Temporary Transformer Location



Vicinity Map

SCALE: 1" = 500'-0"

Parking

	Ratio	Required	Provided
Final Build-Out: Assembly (1650 seats)	1 Parking/4 Seats	413	708
Total Handicap Parking Per Zone Code	501-800	16	31
Total Motorcycle Parking	501-750	7	12
Total Bicycle Parking Required	1/20	18	42

	Ratio	Required	Provided
Phase 1: Assembly (20,825 SF / 450 Seats)	1 Parking/4 Seats	113	222
Handicap Parking Per Zone Code	101-300	8	9
Motorcycle Parking	101-300	4	4
Bicycle Parking Required	1/20	14	14

Project Number:

Application Number:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated and the findings and conditions in the official notification of the decision are satisfied.

Is an infrastructure List Required? (x) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Sheet Number	Sheet Name	DATE
ARCHITECTURAL		
A002	Site Development Plan - Final Build-out	05/29/07
A003	Enlarged Site Plans and Details	
A301	Elevations - Final Build-Out	
A302	Elevations - Final Build-Out	
A311	Elevations - Phase 1	
A312	Elevations - Phase 1	
Landscape		
L001.1	Landscape Plan - Phase 1	
L001.2	Landscape Plan - Final Build Out	
Civil		
C101	Grading Plan Final Build Out	
C102	Grading Plan Phase 1	
C103	Grading Details	
C201	Utility Plan	

Revision Schedule	
1	9/05/07 / AA-1 to DRB

FOR REGULATORY APPROVAL ONLY
NOT FOR CONSTRUCTION

Architects
Hatfield Holcomb, Inc. D.B.A. HHI Architects
5910 North Central Expressway Suite 1200
Dallas, Texas 75206
972-404-1014
Fax 972-404-1016

Site Plan for Building Permit

First Baptist Church Albuquerque
4101 Paseo Del Norte NW
Albuquerque, NM 87114

AA Approval on Black

0618 05/29/07

DRB Submittal

Site Development Plan - Final Build-out

A002

RECEIVED
MAY 07 2010
HYDROLOGY SECTION

Site Plan - Final Build-out

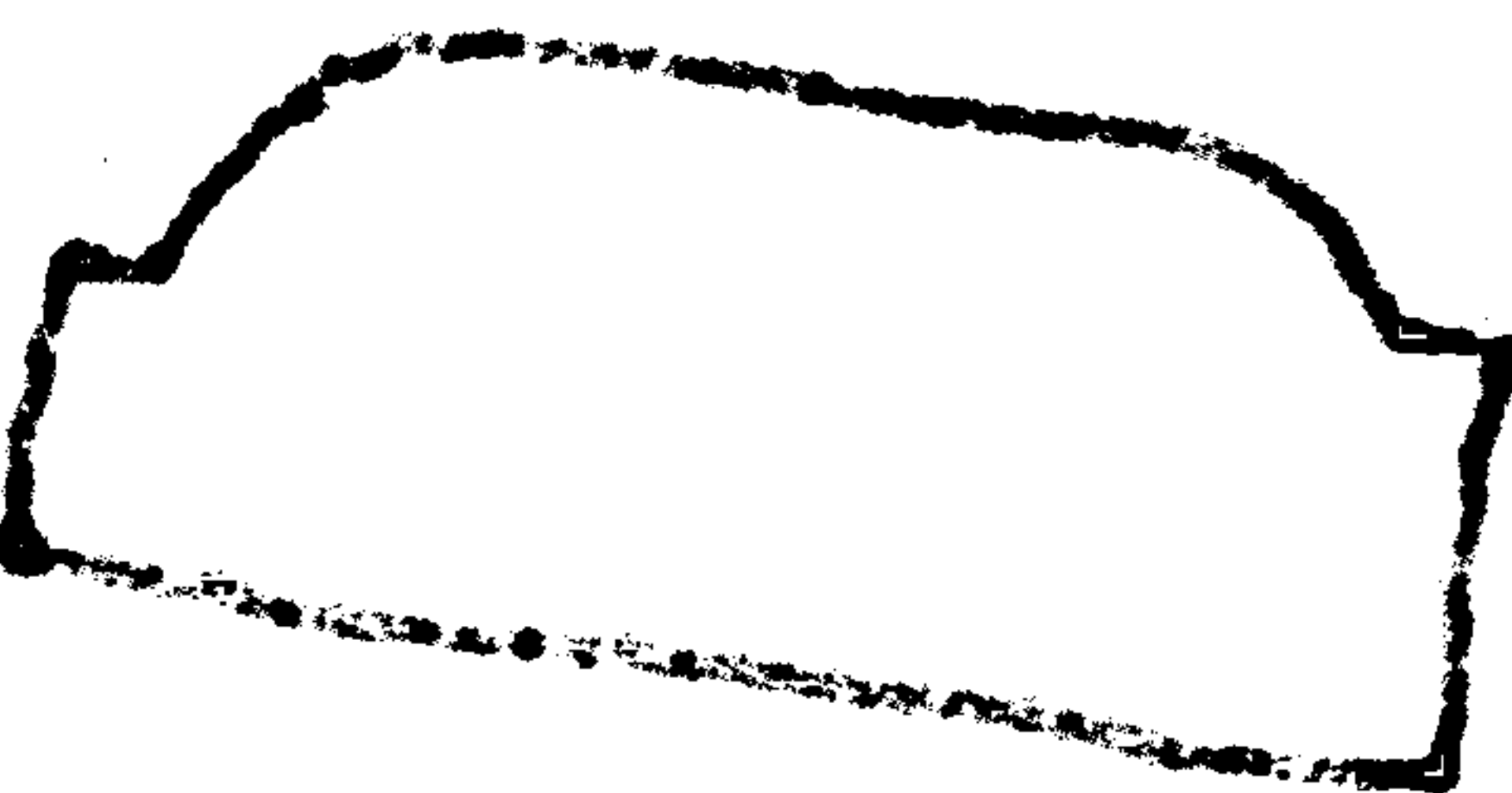
SCALE: 1" = 50'-0"



Paseo Del Norte N.W.
(ROW = 156'-0")

APPROVED
6/24/07
2-23-10
SIGNATURE & DATE

Future Extension
(by adjacent property owner
and under separate
submission for site plan)



ADMINISTRATIVE AMENDMENT	
FILE # <u>10-100227</u> PROJECT # <u>1000762</u>	
<u>postpone paving of NW parking</u>	
<u>lot to Phase 2</u>	
<u>Manone</u>	<u>3/5/10</u>
APPROVED BY	DATE

RECEIVED

MAY 07 2010

HYDROLOGY
SECTION

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 26, 2010

Bruce J. Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE, Courtyard I
Albuquerque, NM 87109

Re: Certification Submittal for Temporary Building Certificate of Occupancy (C.O.) for
First Baptist Church Phase I, [C-12 / D017]

~~10701 Corrales Road NW~~ 4101 Paseo del Norte NW cc 2-26-10
Engineer's Stamp Dated 02/24/10

Dear Mr. Stidworthy:

Based upon the information provided in your submittal received 02-25-10,
Transportation Development has no objection to the issuance of a 120-day Temporary
Certificate of Occupancy. This letter serves as a "green tag" from Transportation
Development for a 120-day Temporary Certificate of Occupancy to be issued by the
Building and Safety Division.

The following items will need to be addressed prior to issuance of a Permanent
Certificate of Occupancy: The final approval of an Administrative Amendment for
deferring 65 parking spaces to phase 2). Once these issues have been addressed you'll
need to re-submit for a Permanent C.O.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

February 24, 2010

Ms. Kristal Metro
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: First Baptist Church Traffic Certification, Phase 1

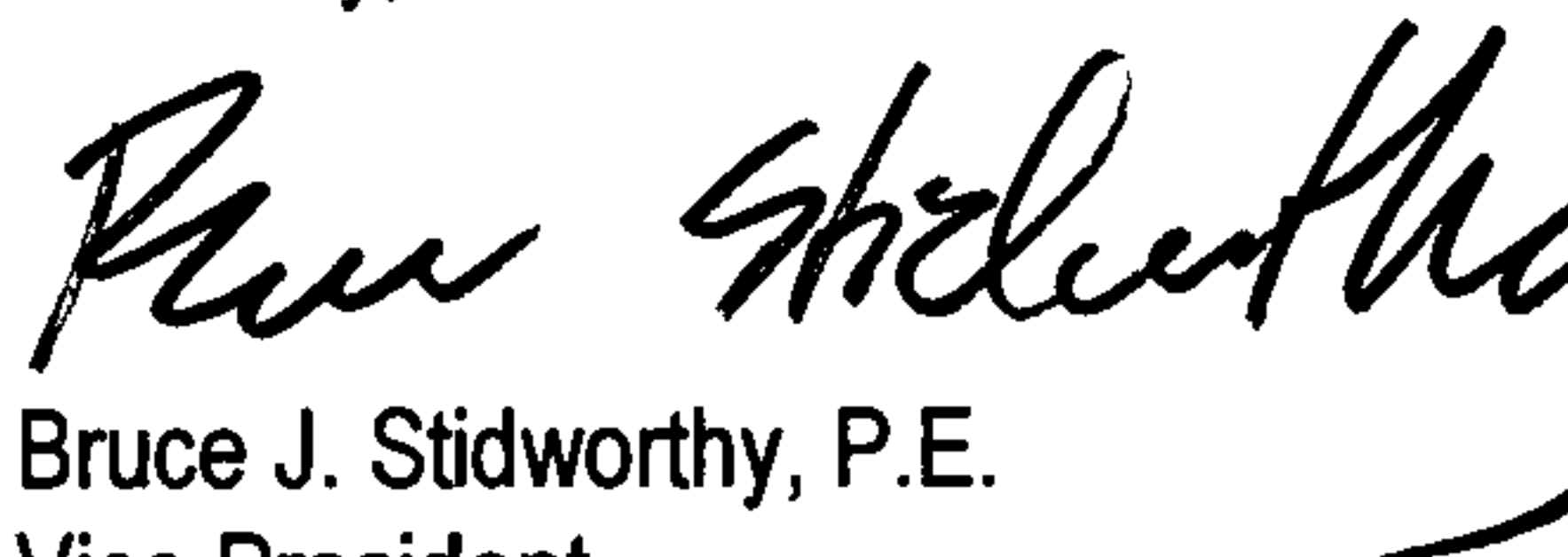
Dear Kristal:

I Bruce Stidworthy, NMPE 14523, of the firm Bohannon Huston, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 11/21/08 (date of final approval signatures). The record information edited onto the original design document has been obtained by Bohannon Huston, Inc. I further certify that I have personally visited the project site on 2/24/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

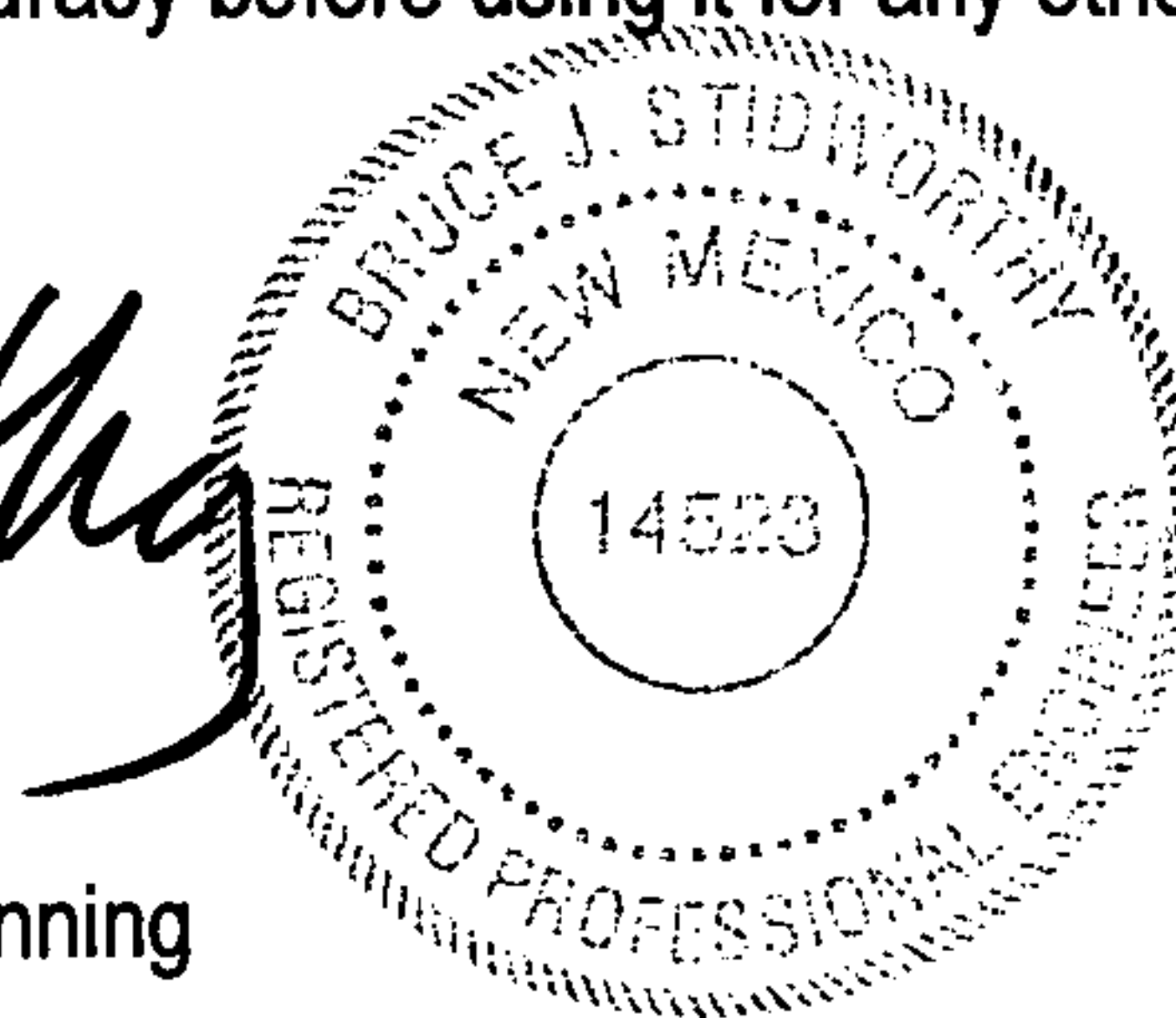
Please note that the construction of 65 parking spaces at the north side of the Phase 1 parking area has been deferred to Phase 2. An Administrative Amendment to the DRB approved Site Plan has been submitted to address this issue. Until the Administrative Amendment is approved, this certification is submitted as a request for Temporary Certification of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this document are advised to obtain independent verification of its accuracy before using it for any other purpose.

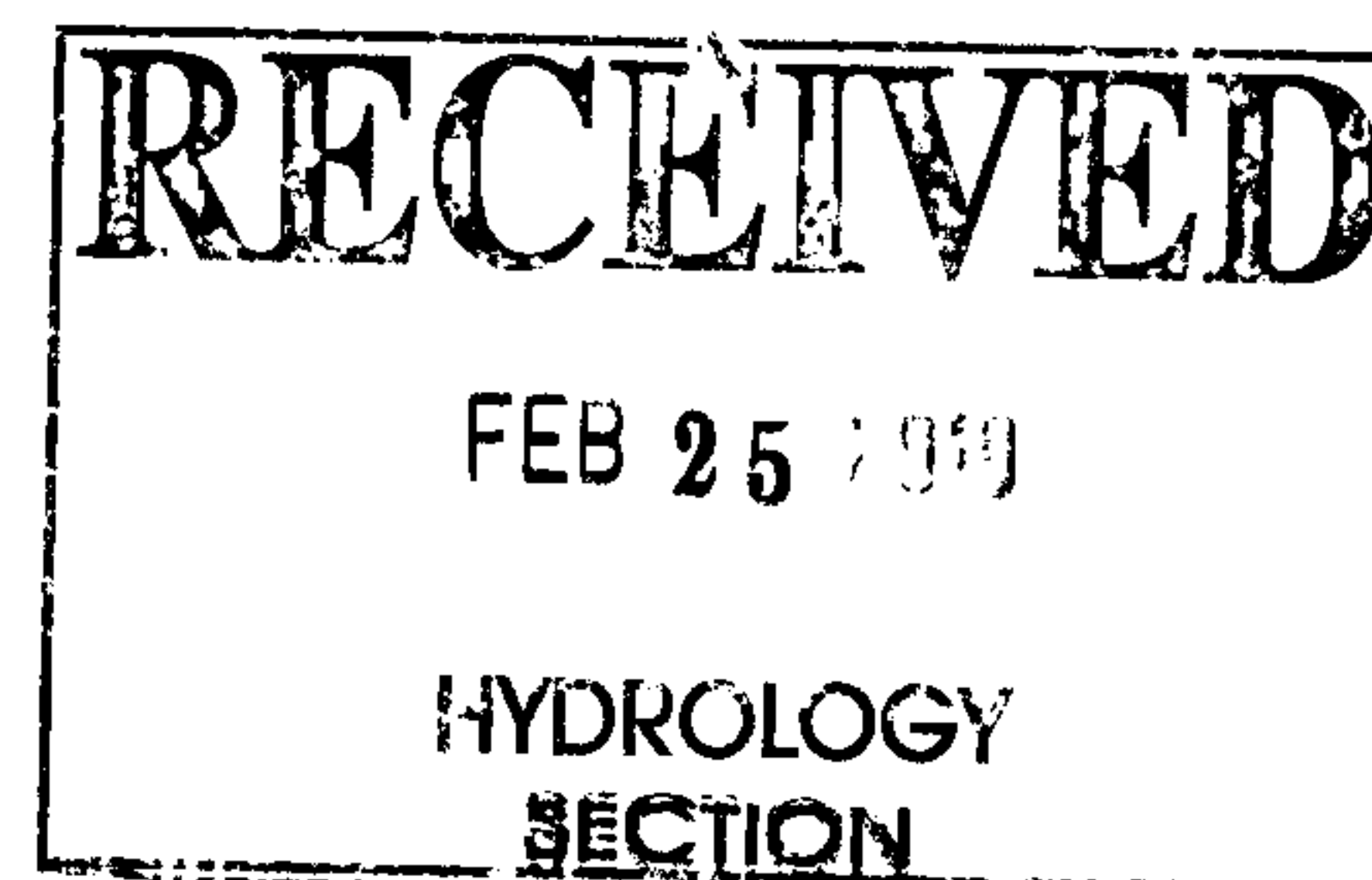
Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning



BJS/cc



ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲