

# CITY OF ALBUQUERQUE



March 16, 2016

Richard J. Berry, Mayor

Mike Balaskovits, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson St NE Courtyard 1  
Albuquerque, NM, 87109

**RE: First Baptist Church Addition (Paseo del Norte)**  
**Grading and Drainage Plan**  
**Stamp Date 2/16/16 (File: C12D17)**

Dear Mr. Balaskovits:

Based upon the information provided in your submittal received 2-17-16, the above referenced Grading and Drainage Plan is approved for Building Permit and Grading Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

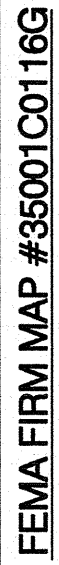
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development





## DRAINAGE NARRATIVE

EXISTING CONDITIONS:

THE SITE IS CURRENTLY PARTIALLY DEVELOPED AND HAS PREVIOUSLY BEEN INCLUDED IN AN APPROVED DRAINAGE MANAGEMENT PLAN (FIRST BAPTIST CHURCH - N.E. RICHLAND HILLS AND PASEO DEL NORTE C12/017, ENGINEERING STAMP DATE 7/26/07). IN ADDITION, THE FULL BUILD OUT OF THE CHURCH WAS ANALYZED FOR SITE PLAN FOR SUBDIVISION APPROVAL AT DRB, PROVIDING GUIDELINES FOR THE ULTIMATE OUTFALL LOCATION FOR THE ENTIRE SITE DRAINAGE.

THIS EASTERN PORTION OF THE SITE CURRENTLY OUTFALLS INTO AN EXISTING EARTHEN SWALE WHICH

## METHODOLOGY

PROPOSED CONDITIONS:

THE PROPOSED 3,350 SF FOOTPRINT ADDITION LIES WITHIN "BASIN 1-2" OF THE PREVIOUSLY APPROVED DRAINAGE MANAGEMENT PLAN. THE RUNOFF, AS A RESULT OF THE ADDITION, WILL CONTINUE TO DRAIN IN A REIGNED EARTHEN SWALE AND RUN SOUTH ALONG THE HISTORIC FLOW PATH BEFORE OUTFALLING INTO "INLET 3" OF THE AFOREMENTIONED APPROVED DRAINAGE MANAGEMENT PLAN.

PRIOR TO ENTERING THE SOUTHERN PARKING LOT, THIS DRAINAGE WILL ENTER A WATER HARVESTING POINT

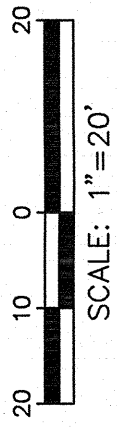
SEE FIRST FLUSH CALCULATIONS BELOW FOR MORE INFORMATION.

FIRST FLUSH:

- FIRST FLUSH VOLUME = IMPERVIOUS AREA X 0.44" - 0.1" (DUE TO INITIAL ABSTRACTION)

- ## CONCLUSION:

THERE IS NO ADDITION TO THE PEAK FLOW DUE AS THE ORIGINAL BASIN CALCULATIONS NOTED WITHIN THE PREVIOUS DMP WERE CONSERVATIVE. THIS COMPLES WITH PHASE 1 DESCRIBED WITHIN THE PREVIOUSLY APPROVED DRAINAGE MANAGEMENT PLAN AND DOES NOT ADVERSELY AFFECT THE EXISTING INLET OR OTHER DOWNSTREAM INFRASTRUCTURE. THE FIRST FLUSH VOLUME IS CONTAINED ONSITE VIA A SMALL RETENTION POND.



INLET TABLE					
Inlet #	Inlet Type	Top of Gate	Actual Flow Phase1	Avail Head ft	Capacity
EXISTING					
IN3	1-SGLA	27.66	7.59	0.5	10.76

FIRST BAPTIST CHURCH										
Existing and Proposed Conditions Basin Data Table										
This table is based on the permit section 22.2, Zone-1										
Basin ID	Area (SQ. FT.)	Area (AC.)	A	B	C	D	Q(100) (cfs/acre)	Q(100) (CFS)	V(100) (inches)	V(100) (CF)
EXCEPT FROM ORIGINAL BUILDING PERMIT SUBMITTAL										
1-2	142,149.4	3.26	0.0%	10.0%	10.0%	80.0%	3.99	13,017	1.74	20635





GENERAL NOTES

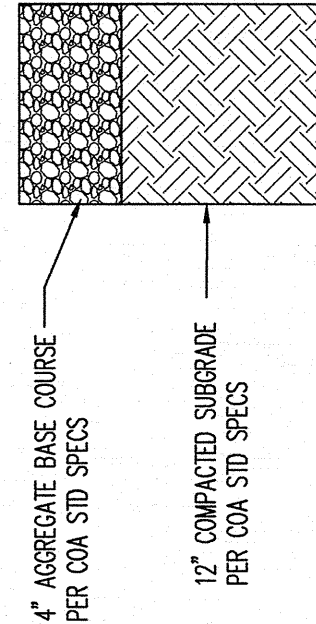
1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSIDERED TO BE THE PROPERTY OF THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PREPARATION OF THESE PLANS AND THE PRESENTATION OF THE PROJECT TO THE CITY OF ALBUQUERQUE. THE CITY OF ALBUQUERQUE SHALL BE RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL BE RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL BE RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THESE PLANS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE. TRAFFIC SCHEDULING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRETTING AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPROPRIATE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

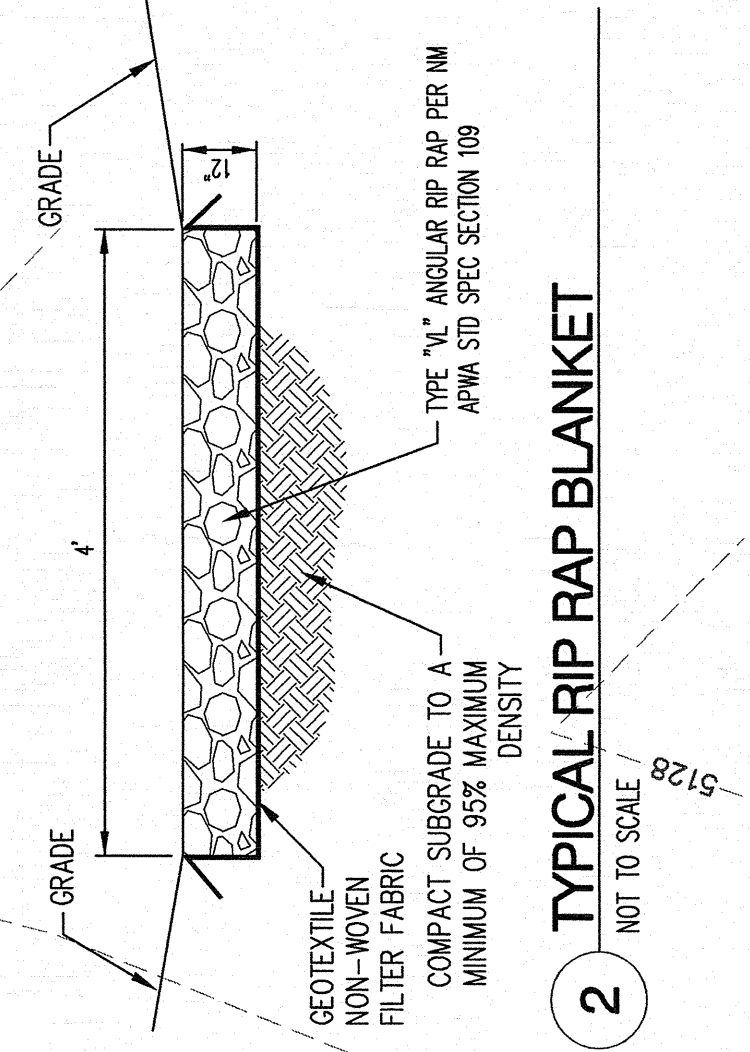
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CQA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR SOILS SHALL BE IDENTIFIED AND OBTAINED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO BE FROM SHALL BE MAINTAINED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OF PAYMENT SHALL BE MADE.
8. PAVING AND DRAINAGE GRADINGS SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAVEMENT ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CURBWAYS SELECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND SLABS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

1. CONSTRUCT 26" WIDE EMERGENCY ACCESS ROAD. SEE DETAIL "1" THIS SHEET FOR TYPICAL SECTION.
2. MATCH EXISTING EMERGENCY ACCESS ROAD BOTH VERTICAL AND HORIZONTAL.
3. CONSTRUCT RIP RAP BLANKET PER DETAIL "2" THIS SHEET WHERE ROOF DRAIN DAYLIGHTS. SEE ROOFING PLAN FOR LOCATIONS. CONSULT ENGINEER WITH ANY DISCREPANCIES.
4. WATER HARVESTING AREA.



1 BASE COURSE ACCESS ROAD  
N.T.S.



2 TYPICAL RIP RAP BLANKET  
NOT TO SCALE

