

CITY OF ALBUQUERQUE



August 29, 2016

Michale Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

Re: First Baptist Church Addition – 4101 Paseo Del Norte NW
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 12-23-16 (C12D017)
Certification dated 08-23-16

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 08-24-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

August 23, 2016

Mrs. Racquel Michel, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification – Youth Building Classroom Addition,
4101 Paseo Del Norte NW Albuquerque, NM 87114

Dear Racquel:

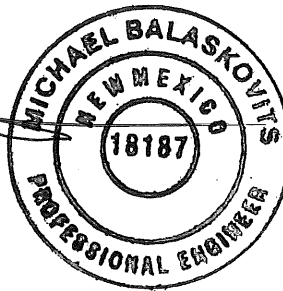
Enclosed for your review is the approved Site Plan with the Administrative Amendment dated December 21, 2015. I visited the site on August 22, 2016 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan.

Your review and approval is requested for a **Permanent Certificate of Occupancy**. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Michael Balaskovits, P.E.
Project Manager
Community Development & Planning



MJB/jjl
Enclosures

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

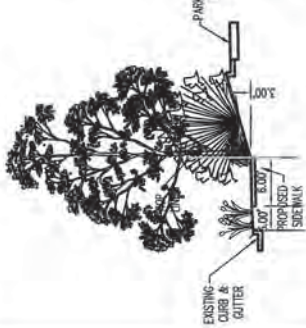
DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

General Notes

- 1. Not Used.
- 2. Permission granted by the Environmental Planning Commission for 500'-0" on site plan and 1/8"=1'-0" for building elevations.
- 3. Refer to the utility plan for fire hydrant distribution lines, proposed and existing water/sewer storm drainage facilities proposed.
- 4. Streets, parking spaces and associated drives to be asphalt unless noted otherwise.
- 5. Sidewalks to be standard gray scored concrete unless noted otherwise.
- 6. All parking shown shall be 9' x 20' spaces, unless shown otherwise for inbound parking, and 9' x 18' with a 2'-0" overhang at all perimeter.
- 7. Wiring, telecommunications facilities are not permitted, as requested by Neighborhood Associations.
- 8. The Church will have available a van service to pick up elderly Church members. The Church will also encourage members to carpool.
- 9. Sidewalk widths per code minimum 8' for the crosswalks from the parking area to the sidewalk, minimum 8' for the sidewalks adjacent to all building facades that contain primary entrances to buildings, a 10' sidewalk along Paseo Del Norte, and 15' at entrances.
- 10. The owner is not requesting direct access to or from Paseo Del Norte.



Vegetation Berm Detail

Scale: Not to Scale

Zoning Description

SU-1 for JP Uses, with Exceptions (bottling plant, cold storage, golf course or golf driving range, railroad R-O-W, gasoline or oil sales, auto washing or repair).

ADMINISTRATIVE AMENDMENT
FILE # 10166 PROJECT # 1000762
A 6000 SF ADDITION (PART OF CHURCH)
APPROVED 123,946 SF + ALL UPPATE D
CALCS + BUILDING ELEVATIONS
APPROVED BY 12.22.2015 DATE

Legend

- Area Pole Light to comply with Dark Skies Ordinance Height 25'-0", 16'-0" within 100' of residential, see 05/A003
- Pedestrian Walk
- Table and Chairs
- Fire Hydrant

Legal Description

All or a portion of Tract B, Richland Hills Subdivision, Unit 1, and all or a portion of Tract(s) B1A and C1A, Albuquerque west, Unit 1

Site Data

Site Area: 13.8892 Acres 605,453 SF
Actual FAR: 123,946 GSF/605,453 SF= 205
Maximum Building Height: 50'-0"

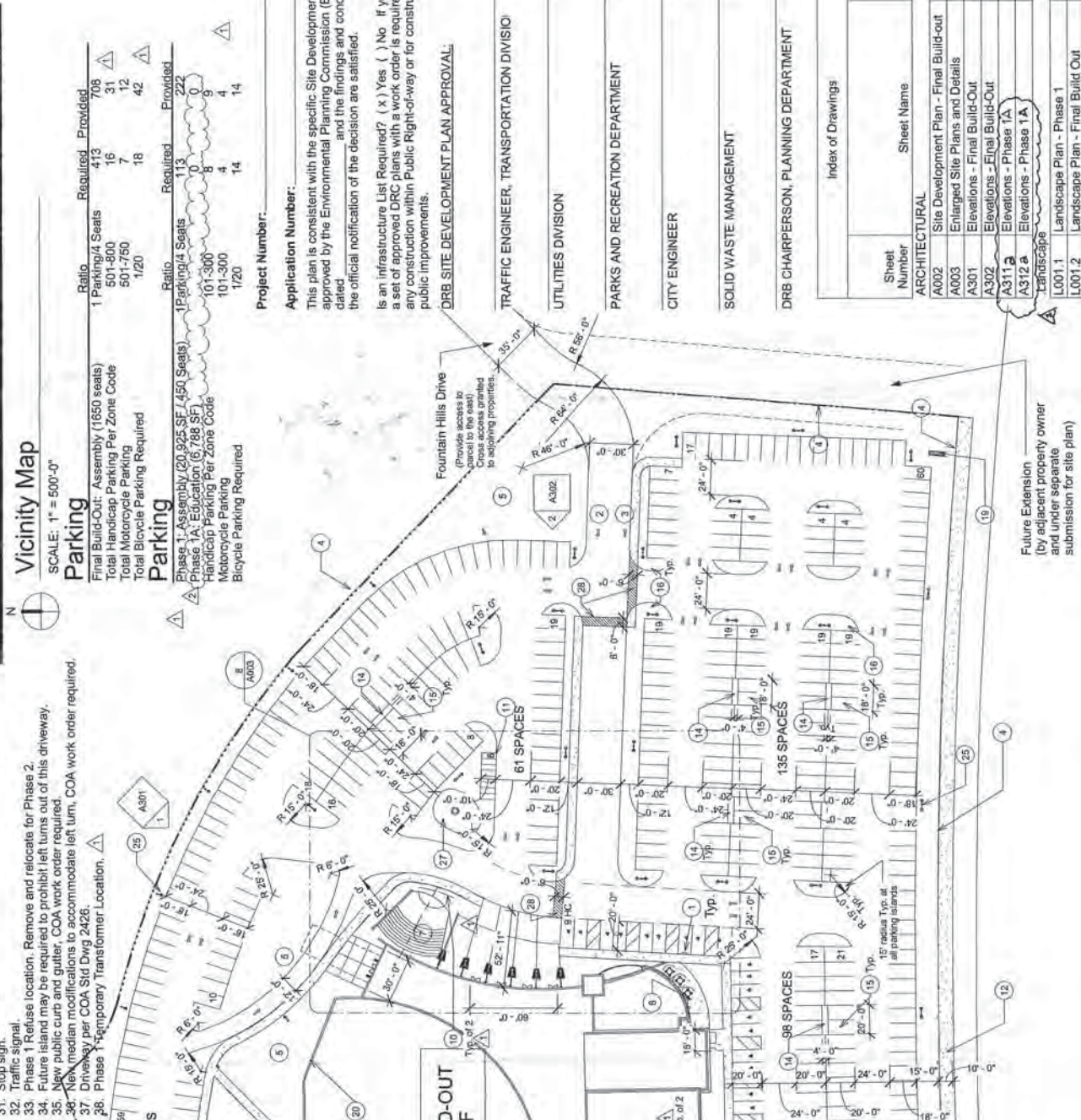
Keyed Notes - Final Build-out

- 1. H.C. parking, see 7/A003 & 3/A003
- 2. Automobile Ingress
- 3. Automobile Egress
- 4. Property Line
- 5. Landscape area, see sheet L101
- 6. Outdoor paved area, outdoor seating, shaded.
- 7. Any water/ outdoor seating w/ concrete apron, see 2/A003 & 1/A003.
- 8. Final Build Out traffic circulation, see COA STD DWG 2430 for Sidewalks
- 9. Sidewalk - concrete, see 1/A003
- 10. Bicycle rack, see 4/A003
- 11. Motorcycle parking designated with sign similar to 7/A003, Color: Beige
- 12. No multi-purpose trail facility
- 13. No trees
- 14. Tree planter 6" curb
- 15. Designate compact space with paint on pavement.
- 16. Parking island, typical, 15' radius.
- 17. Not used
- 18. Utility easement, to be abandoned.
- 19. Monument sign, see 1/A302
- 20. Building footprint
- 21. Retaining wall, concrete masonry unit, burnished block, Color: Beige
- 22. Drop off drive, no parking
- 23. 6" concrete retaining seat wall w/ 30" concrete seat
- 24. Existing sidewalk
- 25. Light pole, typ. Ref. detail 5/A003. Typ. 25'-0" height, 16'-0" height without 00' of residential.
- 26. Outdoor play area, fenced with 6'-0" ornamental iron, Color: Black.
- 27. Not Used
- 28. Pedestrian crossing, patterned concrete.
- 29. Drive w/ flush curb.
- 30. Vegetated berm.
- 31. Stop sign.
- 32. Traffic signal.
- 33. Phase 1 Refuse location. Remove and relocate for Phase 2.
- 34. Future island may be required to prohibit left turns out of this driveway.
- 35. New public curb and gutter, COA work order required.
- 36. New median modifications to accommodate left turn, COA work order required.
- 37. Driveway per COA Std Dwg 2426.
- 38. Phase 1 Temporary Transformer Location.



Site Plan - Final Build-out

Scale: 1" = 50'-0"



Paseo Del Norte N.W.
(ROW = 156' - 0")

Vicinity Map

SCALE: 1" = 500'-0"

Parking	Ratio	Required	Provided
1 Parking/4 Seats	501-800	16	31
Total Handicap Parking Per Zone Code	501-750	7	12
Total Motorcycle Parking	1/20	18	42

Parking

Parking	Ratio	Required	Provided
Phase 1: Assembly (20,925 SF / 450 Seats)	1 Parking/4 Seats	113	222
Phase 1A: Education (6,788 SF)	101-300	8	9
Handicap Parking Per Zone Code	101-300	4	4
Motorcycle Parking	1/20	14	14

Project Number:

Application Number:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the findings and conditions in the official notification of the decision are satisfied.

Is an infrastructure List Required? (x) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

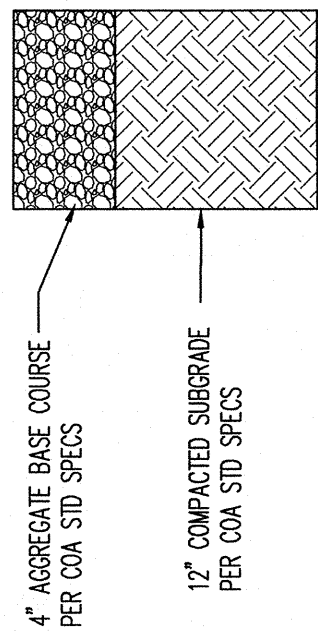
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Sheet Number	Sheet Name
ARCHITECTURAL	
A002	Site Development Plan - Final Build-out
A003	Enlarged Site Plans and Details
A301	Elevations - Final Build-Out
A302	Elevations - Final Build-Out
A311	Elevations - Phase 1A
A312	Elevations - Phase 1A
LANDSCAPE	
L001.1	Landscape Plan - Phase 1
L001.2	Landscape Plan - Final Build Out
Civil	
C101	Grading Plan-Final Build Out
C102	Grading Plan Phase 1A
C103	Grading Details
C201	Utility Plan

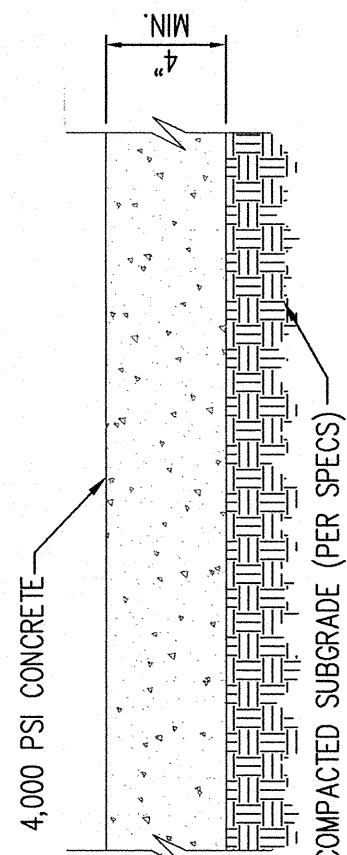
Future Extension
(by adjacent property owner
and under separate
submission for site plan)

KEYED NOTES

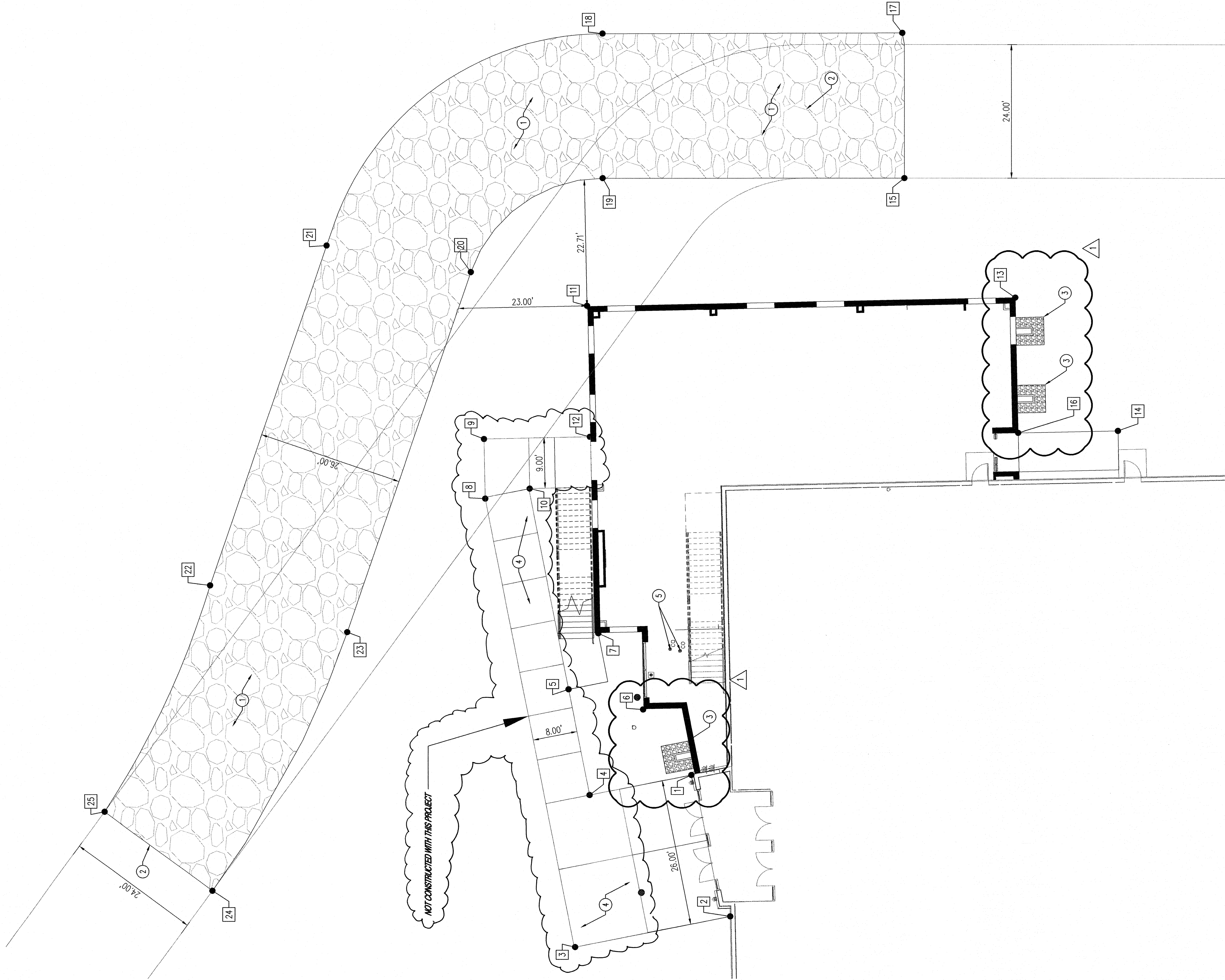
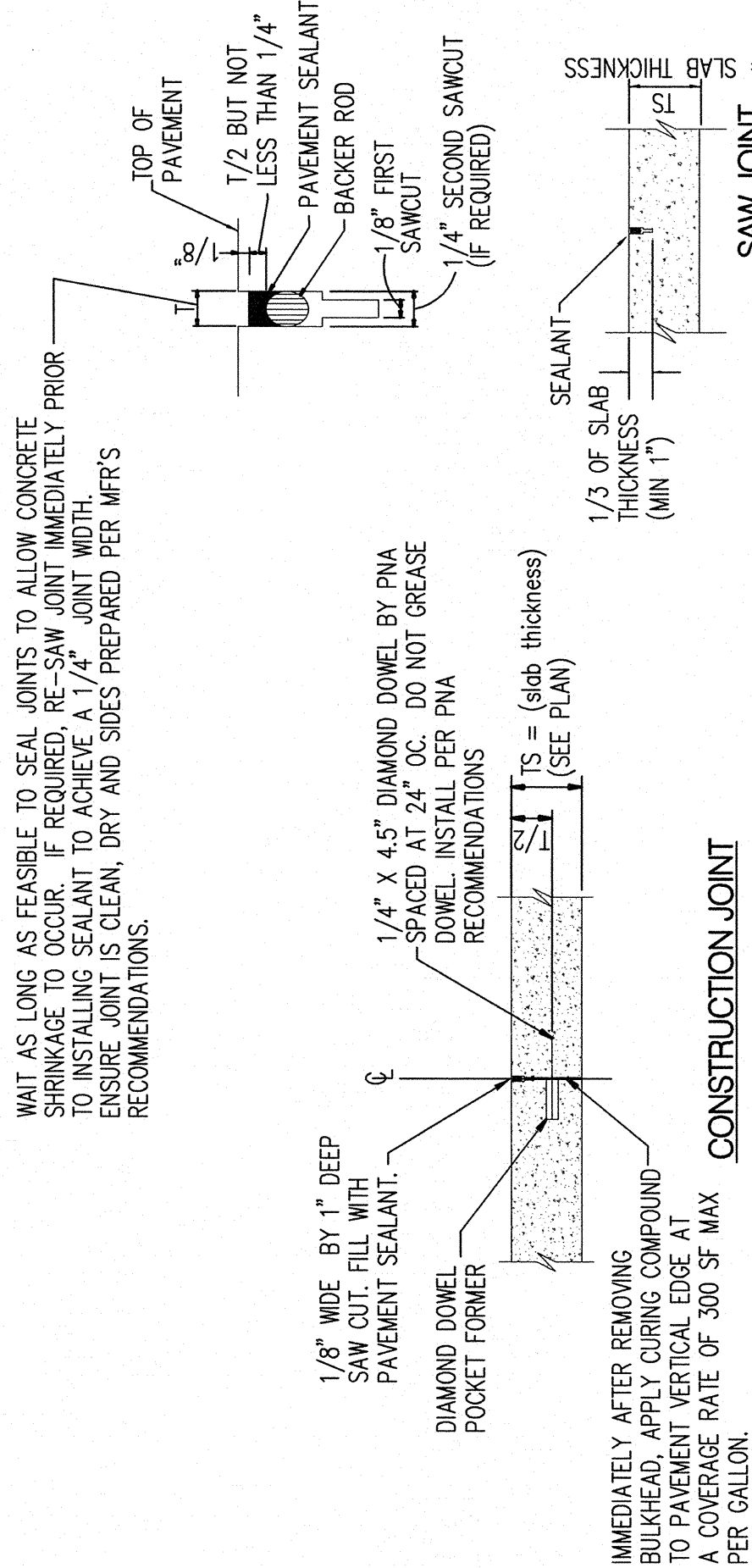
- CONSTRUCT 26" WIDE EMERGENCY ACCESS ROAD. SEE DETAIL "A"
THIS SHEET FOR TYPICAL SECTION.
- MATCH EXISTING EMERGENCY ACCESS ROAD BOTH VERTICAL AND
HORIZONTAL.
- INSTALL CONCRETE SPLASH BLOCK AND RIP RAP BLANKET.
REFERENCE SHEET 2.01.
- CONCRETE SIDEWALK - WIDTH AS NOTED PER DETAIL B & C, THIS
SHEET.
- EXISTING CLEANOUTS TO BE REMOVED. SEE SHEET 12.12



A BASE COURSE ACCESS ROAD
N.T.S.



B SIDEWALK DETAIL
N.T.S.



POINT TABLE		
POINT #	NORTHING	EASTING
1	1522314.84	371863.79
2	1522307.88	371780.45
3	1522335.67	371774.94
4	1522333.09	371802.17
5	1522336.85	371821.14
6	1522323.49	371817.52
7	1522331.53	371831.19
8	1522351.78	371855.33
9	1522352.01	371866.03
10	1522343.81	371857.14
11	1522333.53	371888.97
12	1522333.03	371866.43
13	1522256.77	371891.48
14	1522238.38	371867.53
15	1522276.62	371912.90
16	1522256.25	371867.16
17	1522276.98	371939.02
18	1522330.73	371938.91
19	1522330.72	371912.89
20	1522354.37	371886.01
21	1522380.22	371900.78
22	1522401.13	371839.82
23	1522376.53	371831.39
24	1522400.73	371785.04
25	1522420.10	371799.22

SITE CONTROL NOTES

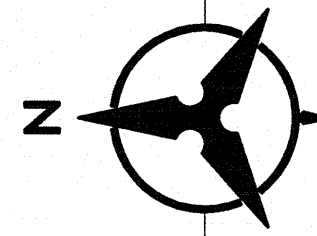
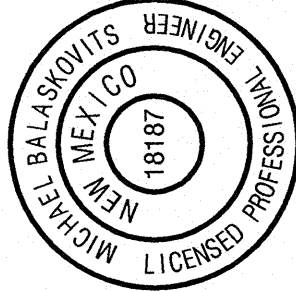
- ALL COORDINATE POINTS & CURVE DATA ARE TO
HAVE BEEN PROVIDED BY THE OWNER. THE CONTRACTOR
SHALL VERIFY THE ACCURACY OF THE PROVIDED DATA.
GRID INTERSECTIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY THE ACCURACY OF THE
PROVIDED DATA BY VISUAL INSPECTION OF THE
STRUCTURAL GRID DIMENSIONS PRIOR TO STAKING
OR CONSTRUCTION.
- CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY
IF ANY DISCREPANCIES ARE FOUND.

TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, MICHAEL J. BACSKOVITS, NMPE, 18187, OF THE FIRM BOHANNAN HUSTON, INC., HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ADMINISTRATIVE LAYOUT FILE AND THE PROJECT SITE ON 8/22/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THE INFORMATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE RESIDENTIAL TREATMENT BUILDING. SUBSEQUENT CERTIFICATIONS FOR THE EAST AND WEST BUILDINGS WILL BE SUBMITTED UPON COMPLETION OF THEIR RENOVATION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MICHAEL J. BACSKOVITS, NMPE 18187
DATE 8-23-16



SCALE: 1"=10'

C CONCRETE PAVEMENT JOINT DETAIL
N.T.S.

ISOLATION JOINT

CONCRETE PAVEMENT

PROVIDE ISOLATION JOINT WHERE CONCRETE
PAVEMENT ABUTS A RIGID STRUCTURE.

PLAN VIEW
30' x 18'

