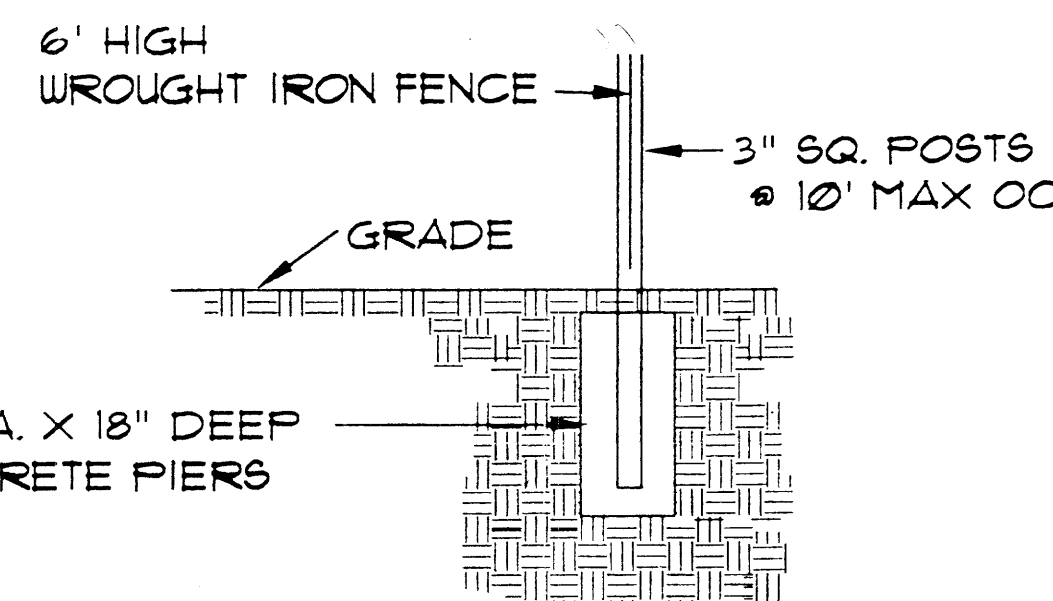
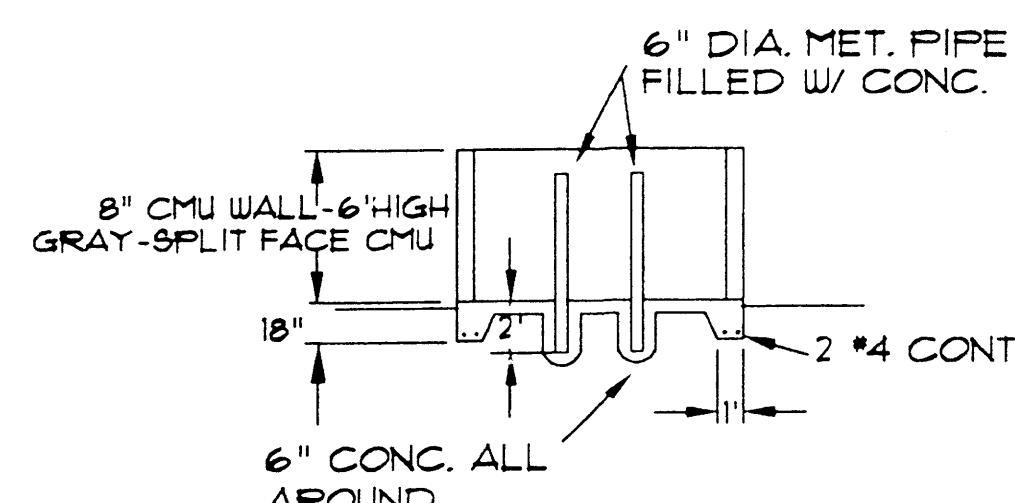
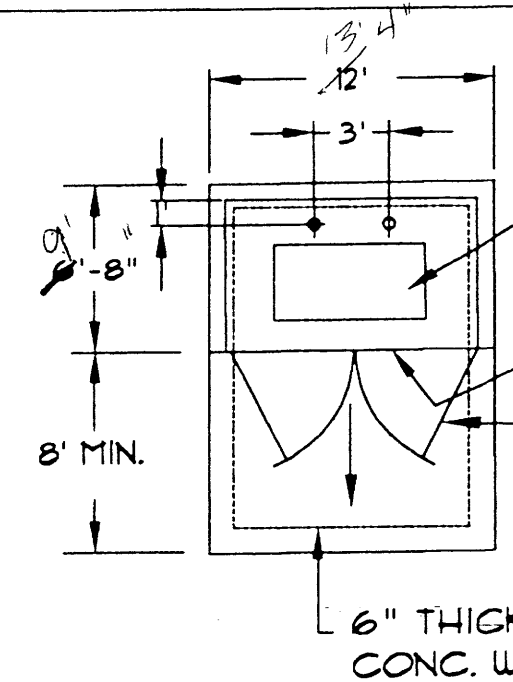


GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. HE SHALL ALSO VERIFY THE ACCURACY & COMPLETENESS OF THE PLANS BEFORE STARTING CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO 4-HILLS DESIGNERS FOR APPLICABLE REVISIONS.
- ALL ROOF TOP EQUIPMENT NOT BELOW THE LEVEL OF THE PARAPET SHALL BE SCREENED BY ROOF TOP WALLS. THESE WALLS AND ROOF TOP EQUIPMENT SHALL BE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR.
- PERMITTING ENGINEERING CONSTRUCTION SUB CONTRACTING, VARIANCES, LEINS & LIABILITIES ARE THE RESPONSIBILITIES OF THE OWNER AND/OR CONTRACTORS.
- AS SHOWN ON THE DETAIL, THE REFUSE ENCLOSURE WILL BE CONSTRUCTED OF SPLIT FACE CMU TO MATCH THE BUILDING CMU. OPAQUE METAL GATES SHALL BE ATTACHED TO THE ENCLOSURE.
- PROVIDE LEGIBLE PREMISES IDENTIFICATION, VISIBLE FROM THE STREET.
- THE PLAYGROUND AREAS SHALL BE COMPOSED OF PEA GRAVEL, SAND, CONCRETE, CONCRETE COVERED WITH ASTRO-TURF AND 3" DEEP WOOD CHIPS USED AS ENERGY ABSORBING SURFACE BENEATH SWINGS AND SLIDES. PLAYGROUND SURFACES SHALL COMPLY WITH NEW MEXICO RULES & REGS FOR CHILD CARE CENTERS - 25.43.
- ALL HANDICAP PARKING AND RAMPS SHALL COMPLY WITH CABO/ANSI A117.1-1998.
- THE NEAREST FIRE HYDRANT IS LOCATED AT THE SOUTHWEST CORNER OF PARADISE BLVD. AND DAVENPORT ST. 145' FROM THE BUILDING. A SECOND FIRE HYDRANT IS LOCATED ON DAVENPORT, 400 FT. SOUTH OF THE CORNER OF PARADISE BLVD. AND DAVENPORT, 230 FT. FROM THE PROPOSED BUILDING.
- ACCESS FROM THE BUILDING TO THE EXISTING SIDEWALK IS VIA THE NEW 4' SIDEWALK AT THE WEST SIDE OF THE BUILDING. THE SIDE WALKS SHALL BE LOCATED SO AS NOT TO BE OBSTRUCTED BY LANDSCAPING, SIGNAGE OR FIRE HYDRANTS.
- ALL FENCES & GATES SHALL COMPLY WITH 1991 UBC 1007.1.3.11.
- BEAR ALL FOOTINGS 12" INTO UNDISTURBED NATURAL EARTH OR FILL COMPACTED TO 95% NATURAL DENSITY. FILL DIRT UNDER SLABS, PARKING & WALKS SHALL BE COMPACTED IN 6" LIFTS TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. MINIMUM BEARING STRENGTH FOR ALL EARTH SHALL BE 1500 psf.

ZONING NOTES

- PARKING, LIGHTING, SIGNAGE & LANDSCAPING SHALL COMPLY WITH REQUIREMENTS OUTLINED IN THE ALBUQUERQUE ZONING CODE.
- LANDSCAPING IS SHOWN ON SHEET 2.



SECTION A
SCALE: 3/8" = 1'-0"

Appl. # 01450.00000.01062

Project Number 1001276
CASE NUMBER: Z- DRB 99-85

EPC APPROVAL: 0112800744

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC)

ON July 19, 2001

AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

Paul J. Jones
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

9-13-01
DATE

William E. Cardelino
PARKS & RECREATION

10/15/01
DATE

Roger J. Allen
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION

8-15-01
DATE

Bradley L. Bingham
CITY ENGINEER, ENGINEERING DIVISION/AMFCA

8/15/01
DATE

[Signature]
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT MANUAL.

10-17-01
DATE

[Signature]
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT

10-17-01
DATE

[Signature]
PLANNING DEPARTMENT

PLANNING DEPARTMENT

PLANNING DEPARTMENT

PLANNING DEPARTMENT

ALL GATES SHALL BE SPECIFIED FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE SKILLS OR KEYS

NOTE: FOR VICINITY MAP SEE SHEET 2

AREA OF LOT - 38125 SQ. FT.
NET AREA OF BUILDING - 9762 SQ. FT.
COVERED PORCHES - 3191 SQ. FT.
AREA OF ASPHALT - 11160 SQ. FT.
BUILDING USE - DAY CARE - LEARNING CENTER
HOURS OF OPERATION - 6 AM TO 6 PM
NUMBER OF EMPLOYEES - 15
MAXIMUM BUILDING HEIGHT - 26'
LANDSCAPING - 3201 SQ. FT. (SEE SHEET 2)

PARKING CALCULATIONS

9,762 SQ. FT. = 20 SPACES + 2 = 22 REQ'D.
500 SQ. FT.

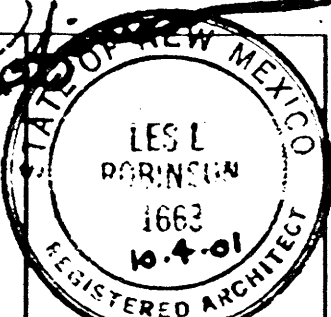
SITE PLAN

SCALE: 1" = 15'

LEGAL DESCRIPTION
LOT NUMBERED 1-A, BLOCK LETTERED B, OF ALBUQUERQUE WEST, BEING A REPLAT OF LOT 1, BLOCK 3, ALBUQUERQUE WEST, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.

SITE

866SITE4-361



Leslie Robinson
Architect

COPYRIGHT © 2001
BY 4-HILLS DESIGNERS
ALL RIGHTS RESERVED

SPRINGSTONE - PARADISE
CHILDREN'S LEARNING CENTER

4-HILLS DESIGNERS



13

* CHILDRENS LEARNING CENTER-RIO RANCHO
* 100 YEAR EXISTING AND DEVELOPED CONDITIONS

TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6
TYPE=1 RAIN QUARTER=0.0
RAIN ONE=1.90 IN RAIN SIX=2.20 IN
RAIN DAY=2.65 IN DT=0.0333 HRS

ID=1 HYD NO=EXIST DA=0.00161 SQ MI
PER A=30 PER B=67 PER C=0 PER D=3
TP=0.1333 HR MASS RAIN=-1

ID=1 CODE=1

ID=2 HYD NO=PROP DA=0.00161 SQ MI
PER A=0 PER B=20 PER C=21 PER D=59
TP=0.1333 HR MASS RAIN=-1

ID=2 CODE=1

ID=3 HYD NO=POND INFLW=2 CODE=5
OUTFLOW(CFS) STORAGE(AC FT) ELEV(FT)
0.0 0.0 66.30
0.5 0.015 66.55
1.0 0.032 66.80
2.0 0.060 67.05

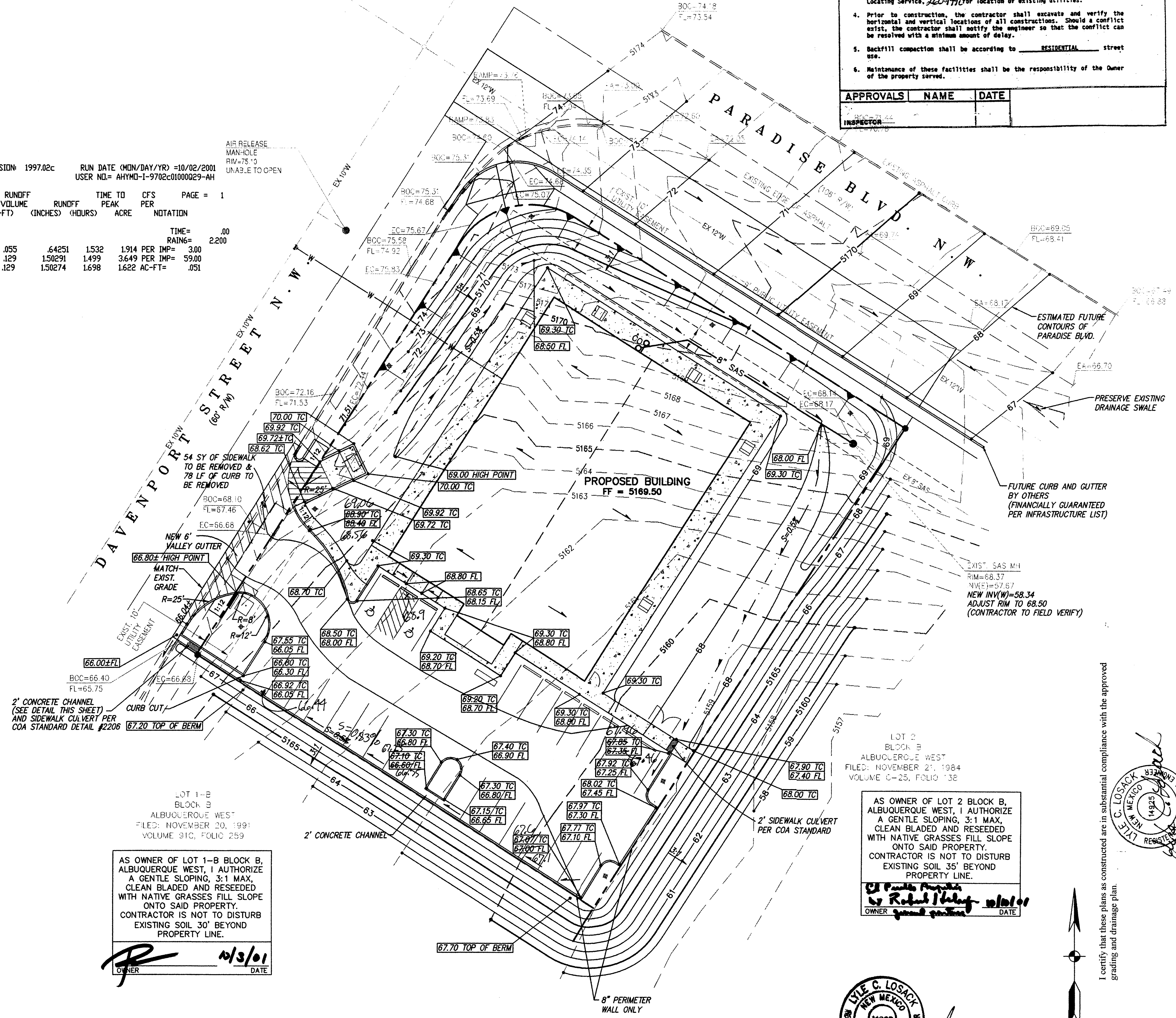
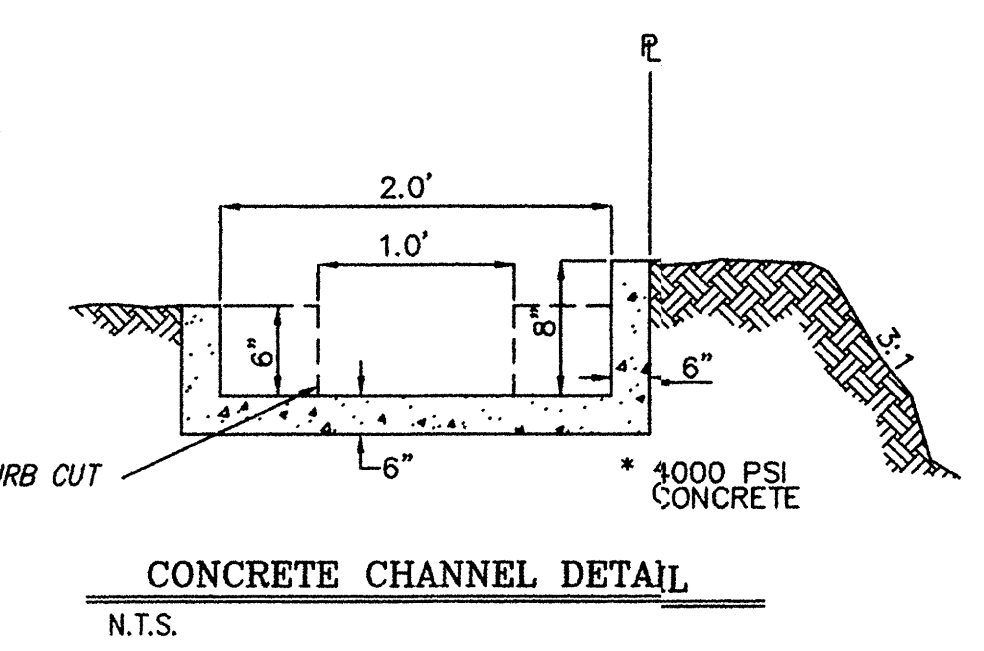
ID=3 CODE=1

PRINT HYD
FINISH

AHYMD PROGRAM SUMMARY TABLE (AHYMD_97) -
INPUT FILE = F:\N561\PROPOSED\SHEETS\LEARN-C-1.DAT

VERSION: 1997.02c RUN DATE (MM/DD/YY) = 10/02/2001
USER NO. = AHYMD-1-9702C0100029-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MD)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START	RAINFALL	TYPE=1								1
COMPUTE NM HYD	EXIST	-	1	.00161	197	.055	.64251	1.532	1.914 PER IMP= 3.00	
COMPUTE NM HYD	PROP	-	2	.00161	3.76	.129	1.50291	1.499	3.649 PER IMP= 59.00	
ROUTE RESERVOIR	POND	2	3	.00161	1.67	.129	1.50274	1.698	1.622 AC-FT= .051	
FINISH										



AS OWNER OF LOT 1-B BLOCK B, ALBUQUERQUE WEST, I AUTHORIZE A GENTLE SLOPING, 3:1 MAX, CLEAN BLADED AND RESEEDED WITH NATIVE GRASSES FILL SLOPE ONTO SAID PROPERTY. CONTRACTOR IS NOT TO DISTURB EXISTING SOIL 30' BEYOND PROPERTY LINE.

OWNER: [Signature] DATE: 10/3/01

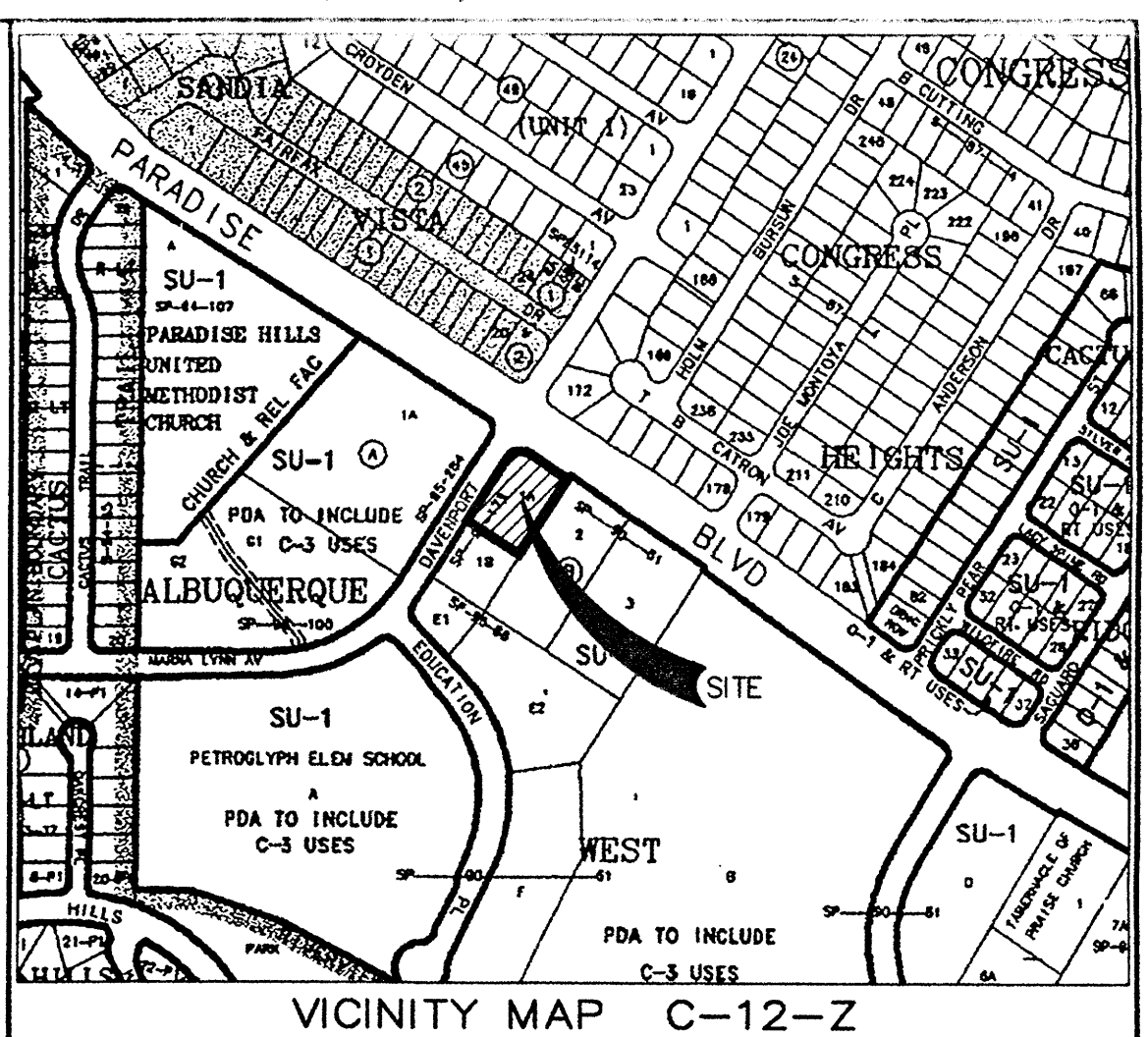
50-19
CITY OF ALBUQUERQUE
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
- All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with City of Albuquerque Interim Standard Specifications for Public Works Construction, 1980.
- Two working days prior to any excavation, contractor must contact Line Locating Service, 260-1770 for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to RESIDENTIAL street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.

APPROVALS NAME DATE

INSPECTOR: [Signature]



TEMPORARY BENCHMARK

TEMPORARY BENCHMARK FOR THIS PROJECT IS AN EXISTING SANITARY SEWER MANHOLE LOCATED AT THE NORTHEAST CORNER OF THIS SITE (LOT 1-A, BLOCK B, ALBUQUERQUE WEST) AS SHOWN ON THIS PLAN. RIM ELEV= 5168.37

LEGAL DESCRIPTION

LOT 1-A, BLOCK B, ALBUQUERQUE WEST, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

HYDROLOGY NOTES

- CURRENTLY THIS SITE IS UNDEVELOPED. THIS SITE IS NOT IN A 100 YEAR FLOODPLAIN.
- THE SITE WILL DISCHARGE 1.7 cfs THRU A 1' CURB CUT(LESS THAN HISTORIC). PONDING WILL BE ACCOMPLISHED WITH DEPRESSION IN PARKING LOT S.W. CORNER AND THROTTLED TO THE STREET WITH A 2' WIDE CONCRETE CHANNEL.

LEGEND

- 5165 --- EXISTING CONTOUR (MAJOR)
- 5168 --- EXISTING CONTOUR (MINOR)
- BOC=75.31 EXISTING BACK OF CURB SPOT ELEVATION
- EA=75.31 EXISTING EDGE ASPHALT SPOT ELEVATION
- EC=75.31 EXISTING EDGE CONCRETE SPOT ELEVATION
- FL=75.31 EXISTING FLOW LINE SPOT ELEVATION
- G=75.31 EXISTING GROUND SPOT ELEVATION
- --- EXISTING CURB & GUTTER
- [02.00 TC] PROPOSED TOP OF CURB ELEVATION
- [02.00 FL] PROPOSED FLOW LINE ELEVATION
- --- PROPOSED CURB & GUTTER
- 0.5% PROPOSED FLOW ARROW
- --- PROPOSED EARTHEN SWALE 0.5% SLOPE
- 63 PROPOSED CONTOURS

GENERAL NOTE

- PROPOSED 8" CMU WALL ALONG NORTH SIDE PER ARCHITECT DRAWINGS IS DECORATIVE. MAINTAIN BOTTOM 8" BELOW FINISHED GRADE IF CONSTRUCTIVE.

CHILDREN'S LEARNING CENTER
GRADING AND DRAINAGE PLAN

DATE: 10/20/01
SCALE: AS SHOWN
DESIGNED: P.J.M.
DRAWN: P.J.M.
CHECKED: LCL

QuikDraw
ENGINEERING/ DESIGN
P.O. Box 729
Corrales, NM 87046
Office (505) 698-0399 Cell (505) 934-5039

SHEET 3 OF 5