

SITE PLAN KEYED NOTES

1. Future sign under separate contract.
2. Handicapped parking sign, per ANSI standard, see civil.
3. 3" PVC pipe under pavement for installing irrigation lines.
4. Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
5. Asphalt paving on compacted, (95%) subgrade, as directed by the owner.
6. Install concrete apron per City Specifications. See civil for work in the right of way. *Per COA #101-24216*
7. Deceleration lane and related improvements, see city project number 692181. *To Be Completed Prior to CO.*
8. Handicapped parking symbol, per ANSI standard.
9. Handicap ramp.
All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of all ramps shall be scored per ADA for detectable warning surfacing.
10. Bicycle rack.
11. Bollard, see civil.
12. Unidirectional handicapped ramp, see civil.
13. Concrete sidewalk, see civil.
14. Future filtered water dispenser.
15. Concrete slab with fibermesh, 8-inch thick, see joint layout 1/C1.4.
16. Concrete slab with #3 rebar at 12-inches OC EW, 8-inches thick, control joints at max 8-ft OC EW.

GENERAL NOTES

1. Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
2. All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
3. Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them in an approved location.
4. All exterior concrete shall be 3000 PSI @ 28 days.
5. See civil plans for site improvements, specifications, and details.

SITE PLAN

1" = 20'

15 0 10 25 50

GRAPHIC SCALE
SCALE IN FEET

BUILDING & SAFETY
OCT 04 2002

U.B.C.
PLAN CHECK
SECTION

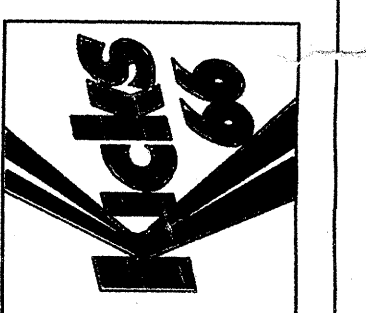
RECEIVED
MAR 14 2003

HYDROLOGY SECTION

TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature] 10/9/02
Date

ROBERTS OIL COMPANY
9201 GOLF COURSE RD NW
ALBUQUERQUE, NEW MEXICO



PROJECT NAME

DATE: AUG. 02

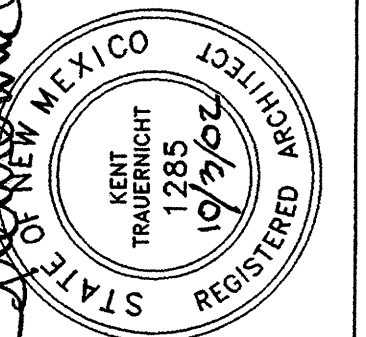
PROJECT NUMBER 0205

DRAWING TITLE

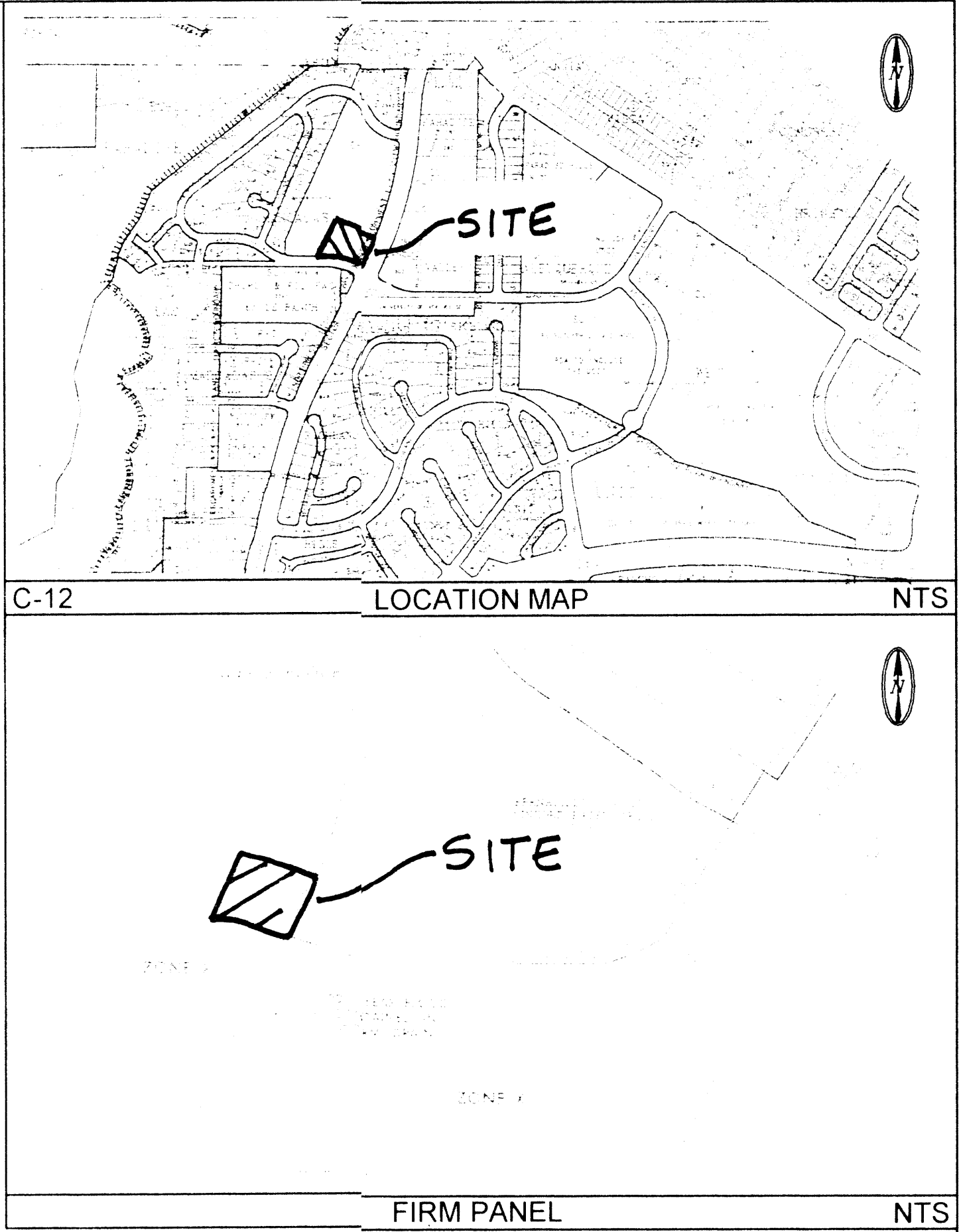
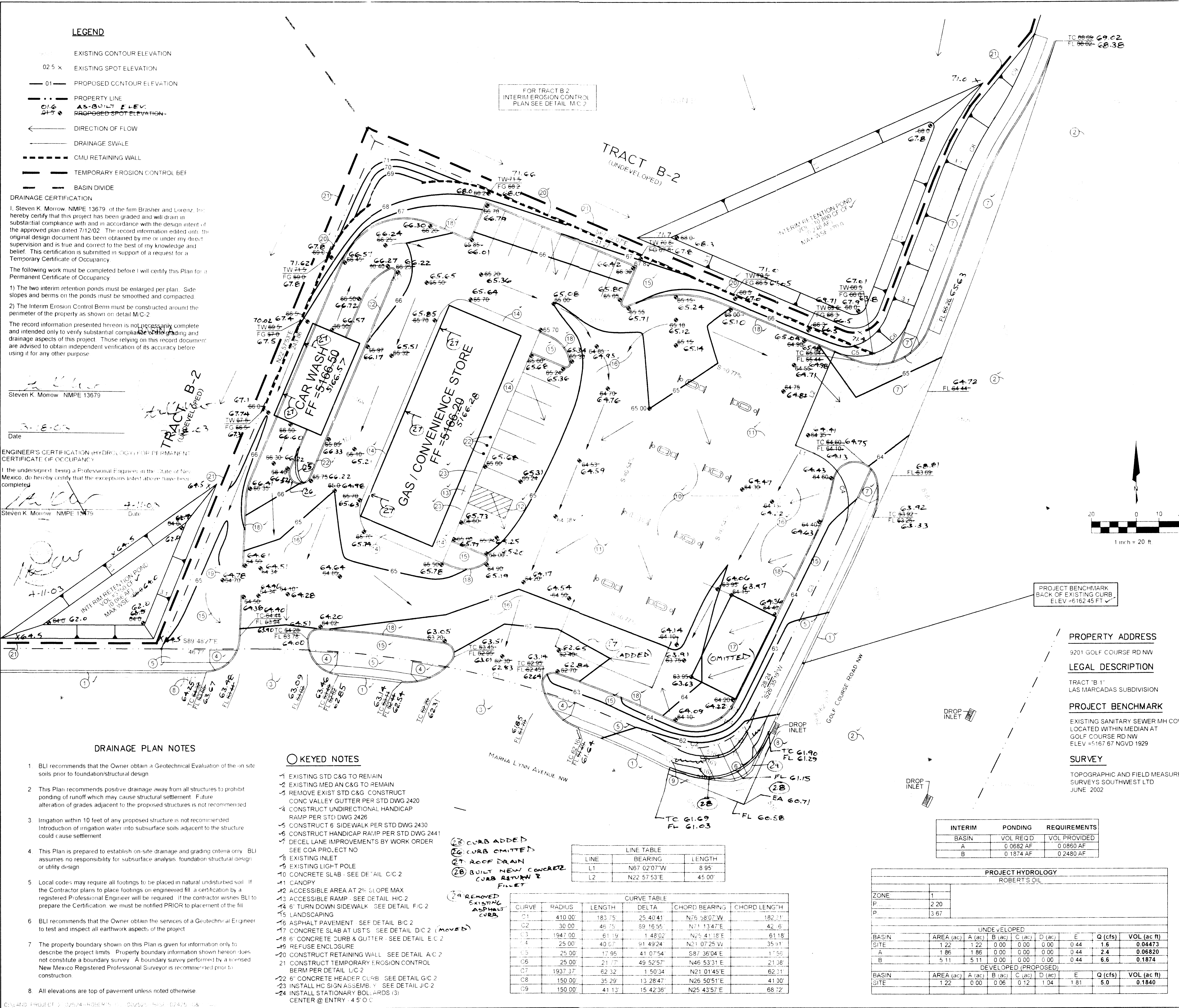
TRAFFIC CIRCULATION
LAYOUT

A0.1

Architects



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GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Robert's Oil Gas/Convenience Store, located on Golf Course NW at Marna Lynn NW. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 1.22 acres in size and is located on Golf Course NW, at Marna Lynn NW. The project site is particularly described as Tract B-1, Las Marcadas Subdivision. The site is bounded by undeveloped commercial land on the north and west, Marna Lynn on the south, and Golf Course Road on the east. Site topography slopes from west to east at approximately 3 percent. The site is impacted by sheet flow from undeveloped Tract B-2. All on-site runoff drains southeasterly to existing public storm drains located in Golf Course Road. Portions of the site and Tract B-2 have served as a temporary ponding area pending construction of downstream paving and drainage improvements. Existing downstream improvements will allow for the vacation of all interim drainage easements presently encumbering the properties.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of Robert's Oil Gas/Convenience Store, with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

All drainage flows will be managed on-site by paved swales that discharge to the perimeter streets. Existing drop inlets and storm drains located in Golf Course and Marna Lynn will intercept all flows. In order to control undeveloped off-site flows, temporary erosion control berms and interim retention ponds will be constructed on Tract B-2 to retain all undeveloped runoff. Existing downstream improvements will allow for the vacation of all interim drainage easements presently encumbering the properties.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of earthen berms or silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. It is the Contractor's responsibility to properly maintain these facilities during the construction phase of the project.

As stated above, interim erosion control berms and retention ponds will be implemented on undeveloped Tract B-2 to prohibit the discharge of sediment into the public street and storm drainage system.

CALCULATIONS

Calculations are provided which define the 100-year 6-hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

ROBERT OIL
GRADING & DRAINAGE PLAN

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DRAWN BY: RM
CHECKED BY: D.A.L.
FILE: 02524-BASE.DWG

DATE: JULY 2002
SHEET: C-1