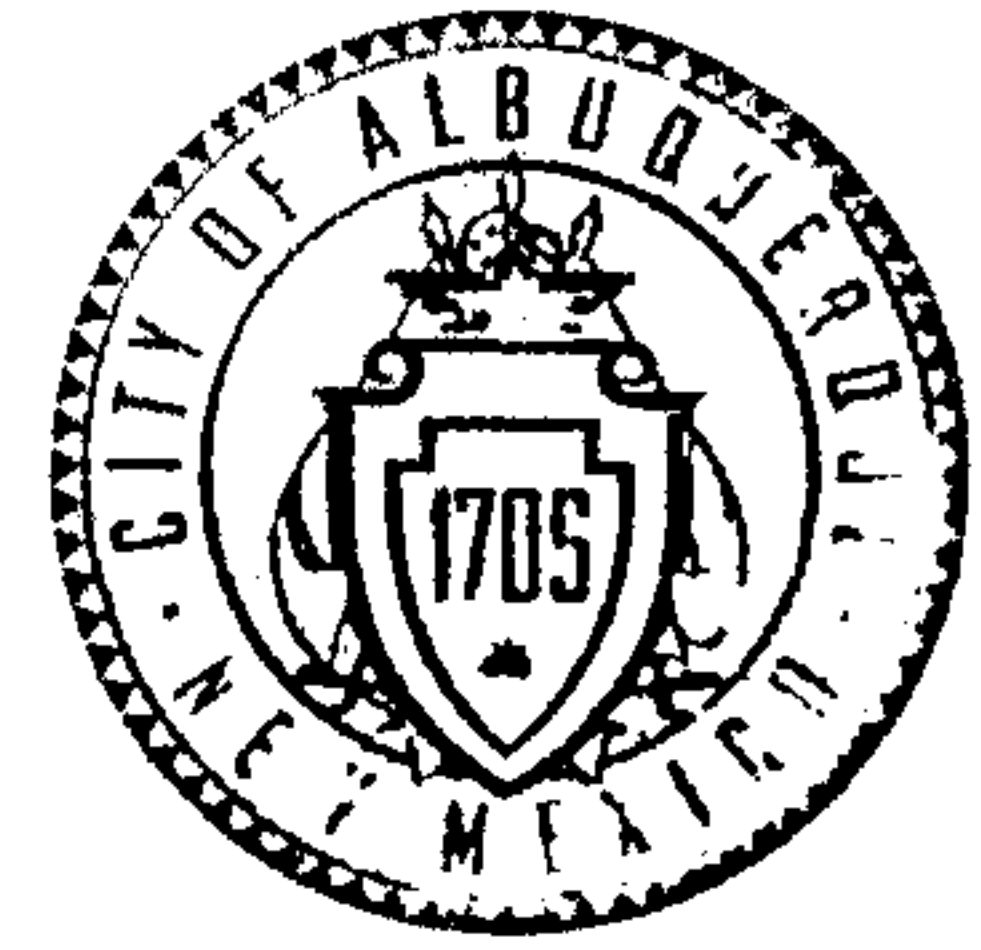


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 24, 2012

John Douglas Heller, Registered Architect
Mullen Heller Architecture, P.C.
925 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Certification for Permanent Certificate of Occupancy (C.O.)
Mountain America Credit Union [C-12/D022]
9200 Golf Course Road NW
Architect's Stamp Dated 05/23/12

Dear Mr. Heller:

Based upon the information provided in your submittal received 05-24-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

May 23, 2012

Mr. Nilo Salgado-Fernandez, PE
Senior Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for Mountain America Credit Union,
9200 Golf Course Road NW, Albuquerque, NM 87114**

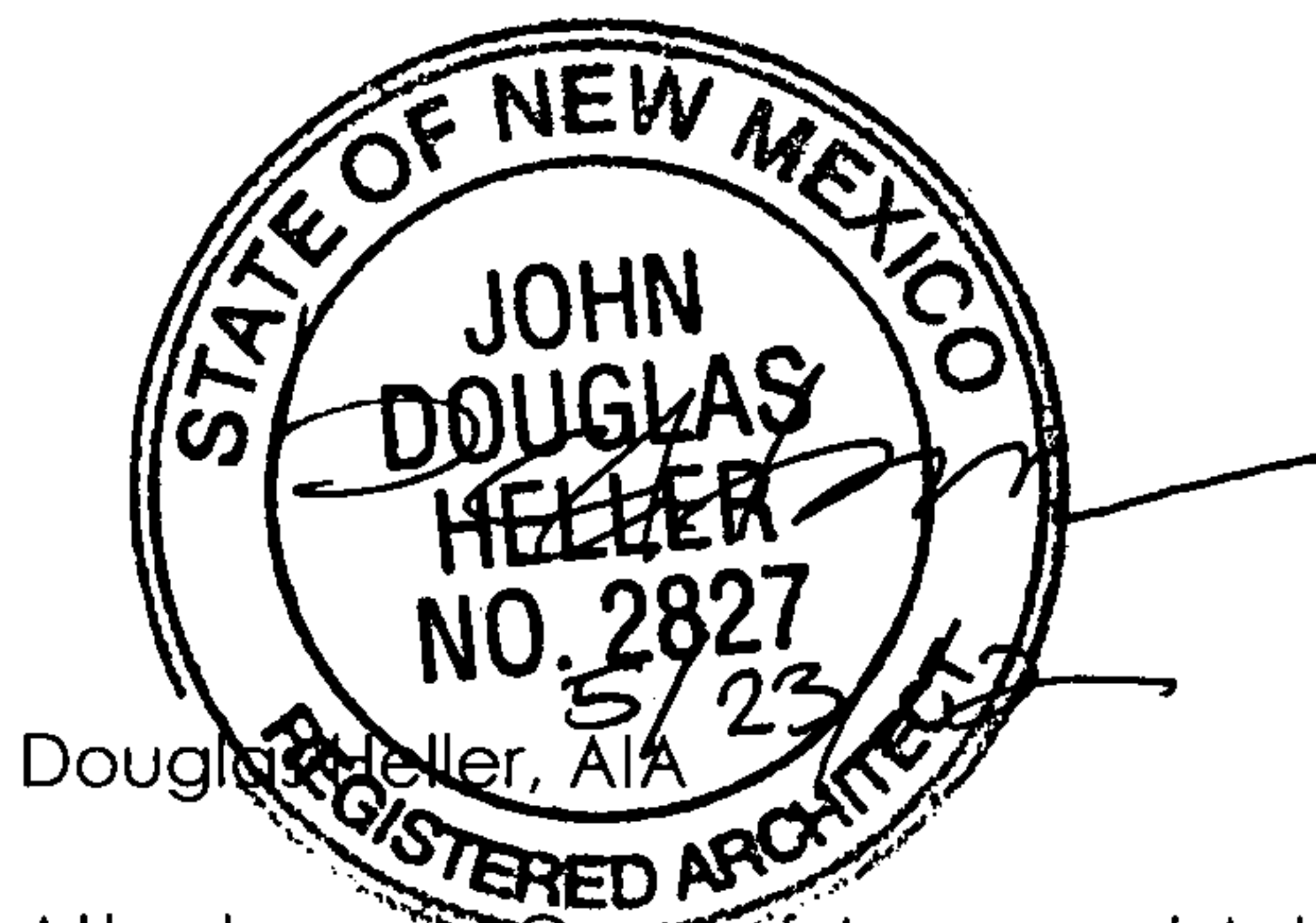
Dear Nilo:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment approved plan (Project #:1006559) approved June 29, 2007. I further certify that I have personally visited the project site on February 12, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (DRB Approved Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA

Attachment: Copy of Approved Administrative Amendment.

RECEIVED
MAY 24 2012
May



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Mountain America Credit Union
DRB #: 1006559/07AA-10007 EPC#: N/A

ZONE MAP/DRG. FILE #: 0-12-2
WORK ORDER#: N/A

C-12/DO22

LEGAL DESCRIPTION: Tract 5-D2 Paradise Valley Subdivision
CITY ADDRESS: 9200 Golf Course Road, NW.

ENGINEERING FIRM: Beam Designs

ADDRESS: 855 Polaris Boulevard SE

CITY, STATE: Albuquerque, NM

CONTACT: Billy McCarty

PHONE: 345-0620

ZIP CODE: 87124

OWNER: EMA

ADDRESS: 460 South 400 East

CITY, STATE: Salt Lake City, Utah

CONTACT: Patrick Roach

PHONE: 801-363-1511

ZIP CODE: 84111

ARCHITECT: Mullen Heller Architecture P.C

ADDRESS: 924 Park Avenue SW, Suite B

CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller

PHONE: 505-268-4144

ZIP CODE: 87102

SURVEYOR: Cartesian Surveys INC.

ADDRESS: Po. Box 44414

CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner

PHONE: 505-896-3050

ZIP CODE: 87174

CONTRACTOR: Wilger Enterprises

ADDRESS: 425 Edmond Road NW

CITY, STATE: Albuquerque, NM

CONTACT: John Wilger

PHONE: 505-345-2854

ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

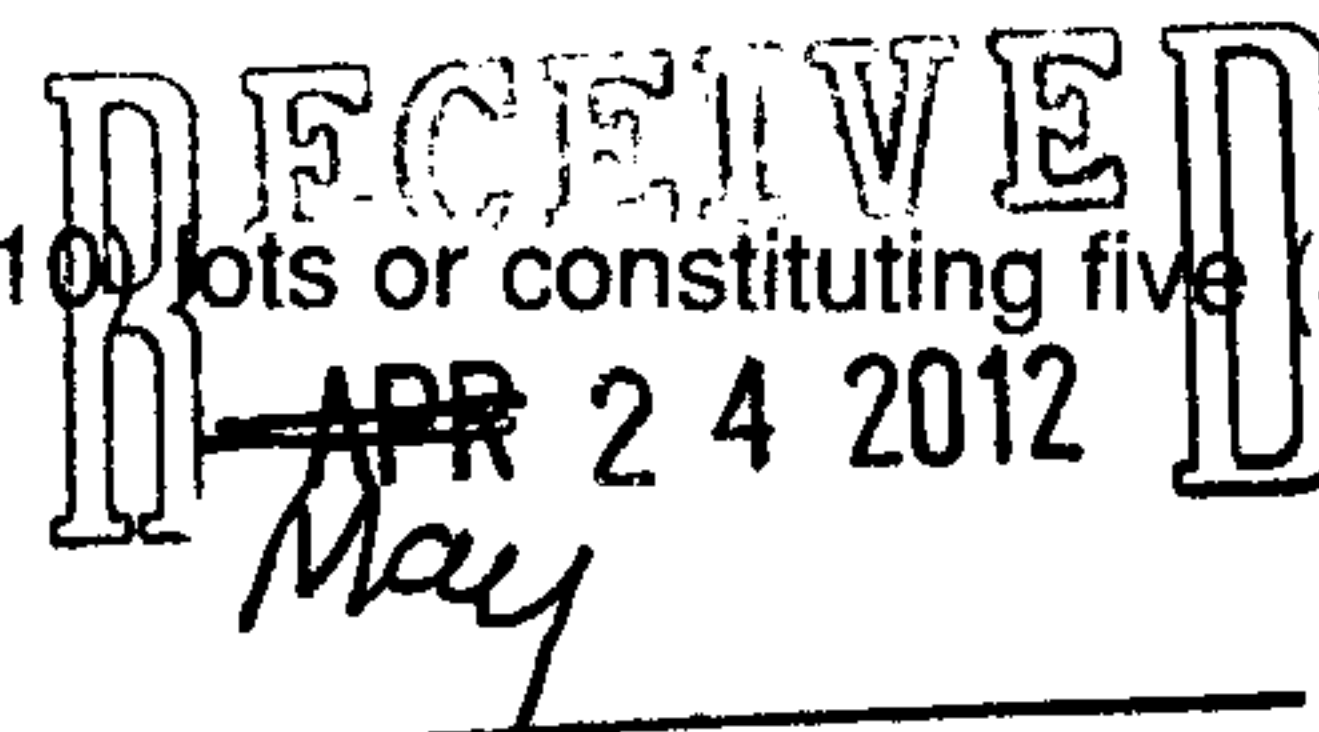
DATE SUBMITTED: May 23, 2012

BY: Doug Heller



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development determines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



PERMANENT EASEMENT

C12-004

Grant of Permanent Easement, between Mountain America Credit Union ("Grantor"), whose address is 9200 Golf Course Blvd. and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of Sidewalk, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this _____ day of _____, 20__.

APPROVED:

[Signature]
City Engineer
Date: 4-29-08

4-22-08

GRANTOR:

By: _____
(Individual)
Print Name: _____
Date: _____

GRANTOR:

By: [Signature]
(Corporation or Partnership)
Print Name: Helen Gallagher
Title: Sr. Vice Pres
Date: 4-2-08



INDIVIDUAL'S NOTARY

STATE OF _____)
COUNTY OF _____)ss

This instrument was acknowledged before me on _____ day of _____,
20____, by _____.

(SEAL)

My Commission Expires: _____

Notary Public

CORPORATION'S NOTARY

STATE OF UTAH)
COUNTY OF SALT LAKE)ss

This instrument was acknowledged before me on 2 day of April,
2008, by Helen Gallagher, Sr. Vice President
of Mountain America Credit Union, a not for profit
corporation, on behalf of the corporation.

(SEAL)

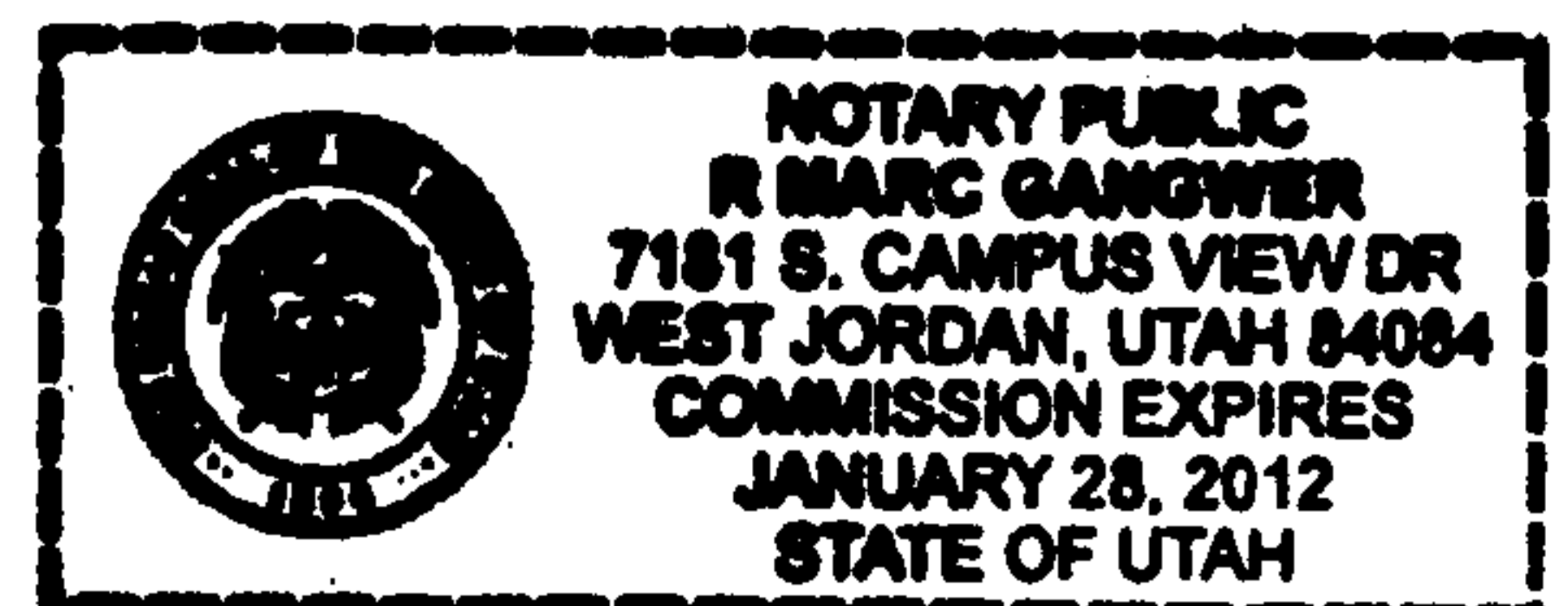
My Commission Expires: _____

1-29-12

R. M. [Signature]
Notary Public

PARTNERSHIP'S NOTARY

STATE OF _____)
COUNTY OF _____)ss



This instrument was acknowledged before me on _____ day of _____,
20____, by _____, partner(s), on behalf of
_____, a partnership.

(SEAL)

My Commission Expires: _____

Notary Public

(EXHIBIT "A" ATTACHED)

Easement Exhibit A

March 2008

page 1 of 2

Legal

A CERTAIN PARCEL OF LAND BEING A PORTION OF TRACT 5-D2 OF PARADISE VALLEY, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 18, 2000, IN VOLUME 2000C, FOLIO 110, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT 5-D2, MARKED WITH A CHISLED "X" IN CONCRETE;

THENCE, COINCIDING WITH THE NORTHERLY RIGHT-OF-WAY OF MARNA LYNN AVENUE, THE FOLLOWING THREE COURSES, 150.50 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 350.00 FEET, A DELTA OF 24°38'12", A CHORD BEARING N 75°42'58" W, A DISTANCE OF 149.34 TO A POINT OF TANGENCY;

THENCE, N 63°23'52" W, A DISTANCE OF 71.83 FEET TO A POINT OF CURVATURE;

THENCE, 11.02 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 21°02'22", A CHORD BEARING N 52°52'41" W, A DISTANCE OF 10.95 FEET TO AN ANGLE POINT;

THENCE, LEAVING SAID RIGHT-OF-WAY, S 63°23'52" E, A DISTANCE OF 82.60 FEET TO A POINT OF CURVATURE;

THENCE, 121.15 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 348.00 FEET, A DELTA OF 19°56'46", A CHORD BEARING S 73°22'15" E, A DISTANCE 120.54 FEET TO A POINT;

THENCE, 12.85 FEET ALONG A CURVE TO THE LEFT NON-TANGENT TO THE PREVIOUS COURSE, HAVING A RADIUS OF 22.81 FEET, A DELTA OF 32°17'20", A CHORD BEARING N 71°07'16" E, A DISTANCE OF 12.68 FEET TO AN ANGLE POINT;

THENCE, N 11°34'20" E, A DISTANCE OF 22.54 FEET TO AN ANGLE POINT;

THENCE, N 00°08'18" E, A DISTANCE OF 7.12 FEET TO AN ANGLE POINT;

THENCE, S 89°51'42" E, A DISTANCE OF 12.00 FEET TO AN ANGLE POINT;

THENCE S 00°19'16" W, A DISTANCE OF 37.41 FEET TO THE POINT OF BEGINNING CONTAINING ACRES (SQ FT) MORE OR LESS.

Notes

1. FIELD SURVEY PERFORMED IN DECEMBER 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.

Certification

I, WILL PLOTNER JR., A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE EASEMENT SURVEY AS SHOWN HEREON WAS BASED UPON A FIELD SURVEY AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr.
WILL PLOTNER JR.
N.M.P.S. No. 14271

DATE 3/28/08



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

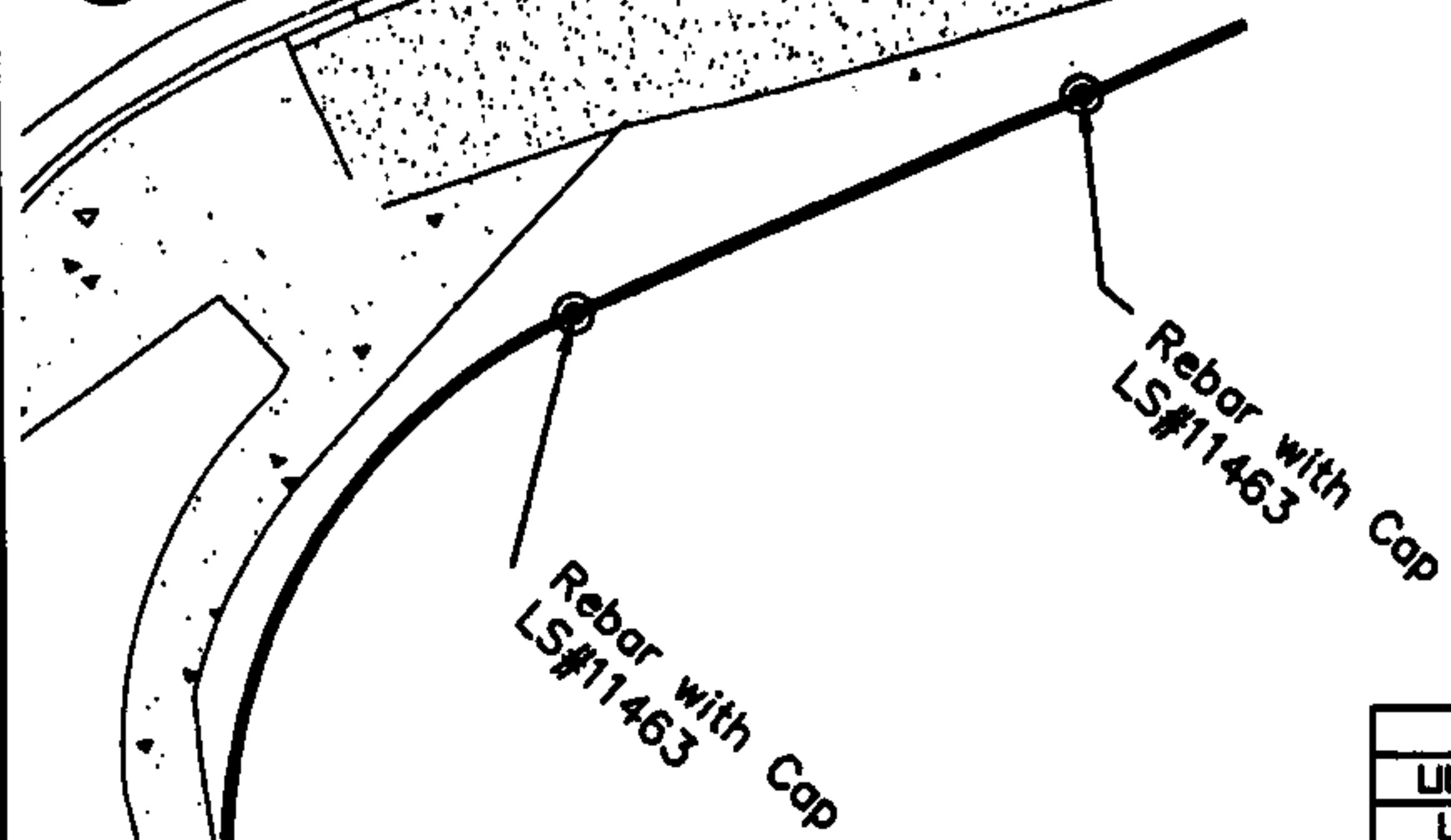
Sheet 1 of 2

064369

Golf Course Rd N.W.

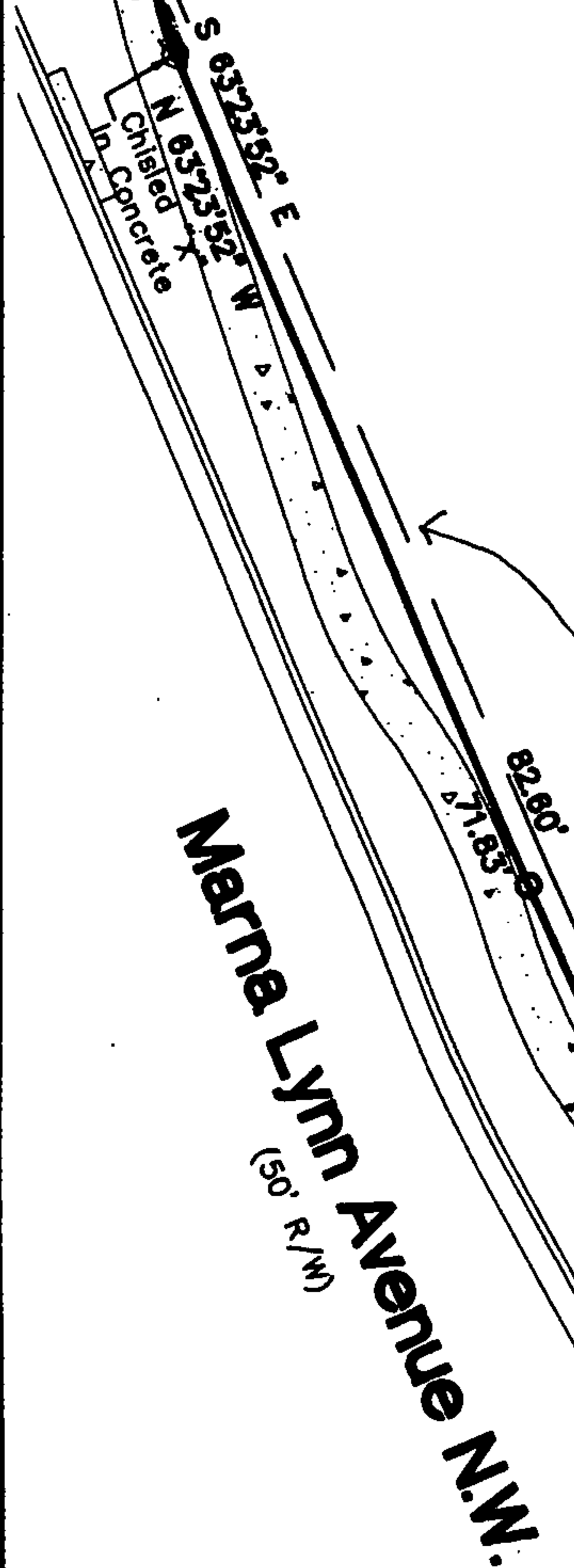
Easement Exhibit
March 2008

A
page 2 of 2



LINE TABLE		
LINE	LENGTH	BEARING
L1	12.00	S 89°31'42" E
L2	7.12	N 00°08'18" E
L3	22.54	N 11°34'20" E
L4	37.41	S 00°19'16" W

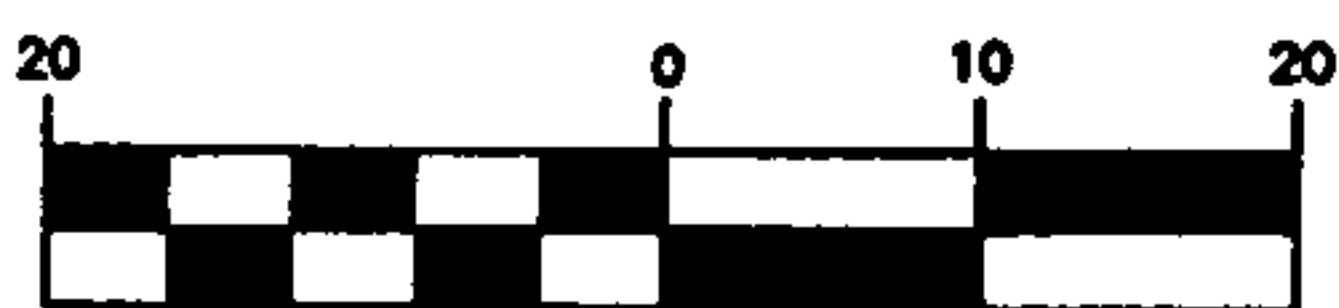
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	22.81'	12.85'	32°17'20"	N 71°07'18" E	12.68'
C2	348.00'	121.15'	19°56'46"	S 73°22'15" E	120.54'
C3	30.00'	11.02'	21°02'22"	N 52°52'41" W	10.95'
C4	350.00'	150.50'	24°38'12"	N 75°42'58" W	149.34'



Tract 5-D2
Paradise Valley
(4/18/00, 2000C-110)

easement

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

Sheet 2 of 2

064369

976 sq. ft.
0.0224 ACRES

L1
L2
L3
L4
POB L4
Chisled "x"
In Concrete

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 22, 2008

John Douglas Heller, Registered Architect,
Muller Heller Architecture P.C.
924 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Mountain America Credit Union, [C-12 / D022]
9200 Golf Course Road NW
Architect's Stamp Dated 02/21/08

Dear Mr. Heller:

Based on the information provided on your submittal dated February 22, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Easement (need sidewalk easement for sidewalk and wc ramp located beyond COA ROW) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

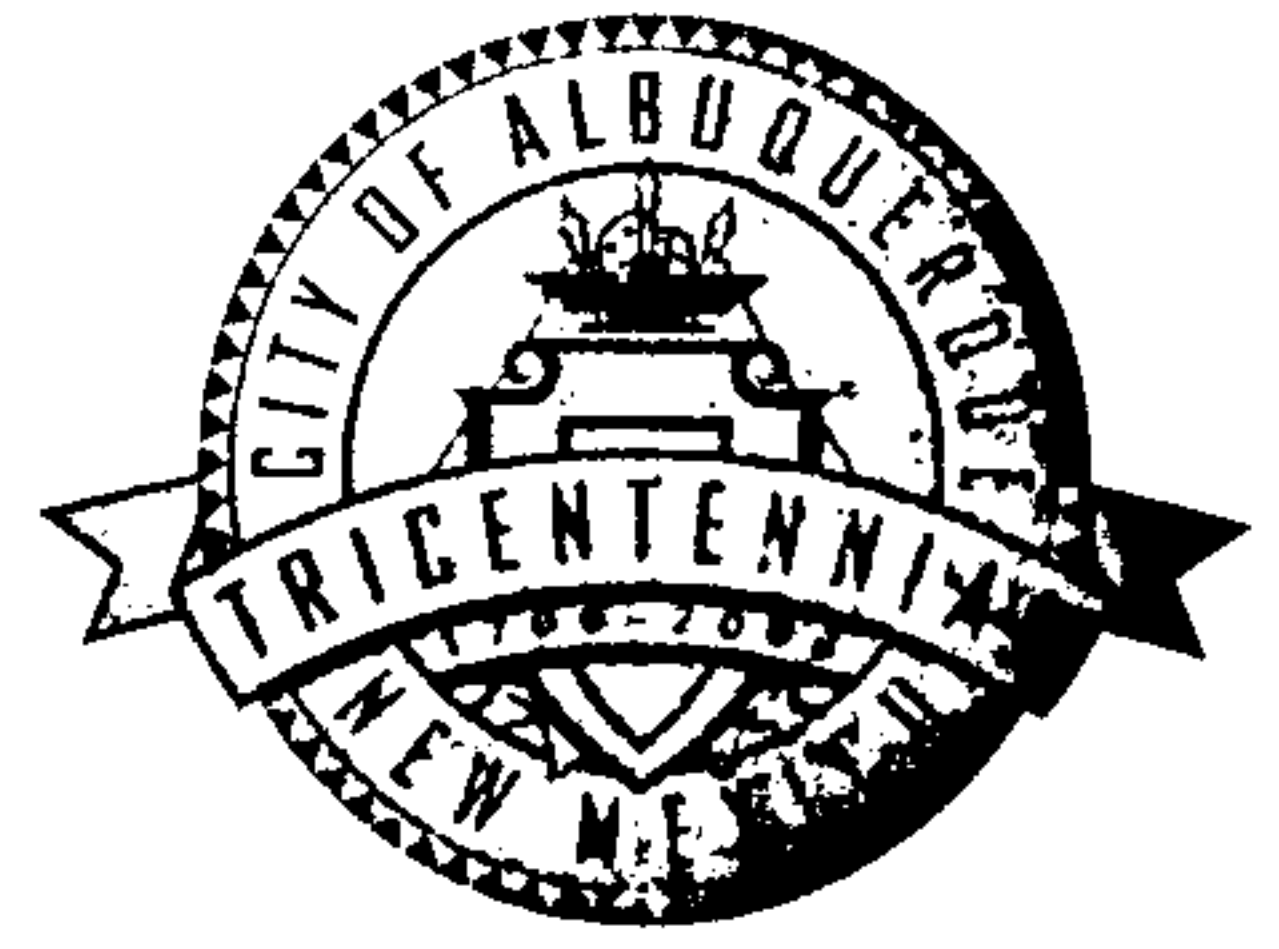
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 22, 2008

John Douglas Heller, Registered Architect,
Muller Heller Architecture P.C.
924 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Mountain America Credit Union, [C-12 / D022]
9200 Golf Course Road NW
Architect's Stamp Dated 02/21/08

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If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

February 21, 2008

Mr. Nilo Salgado-Fernandez, PE
Senior Engineer, Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: **Temporary Certificate of Occupancy for
Mountain America Credit Union, 9200 Golf Course Road NW**

Dear Nilo:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment approved plan dated June 29, 2007. I further certify that I have personally visited the project site on February 12, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification for Temporary Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

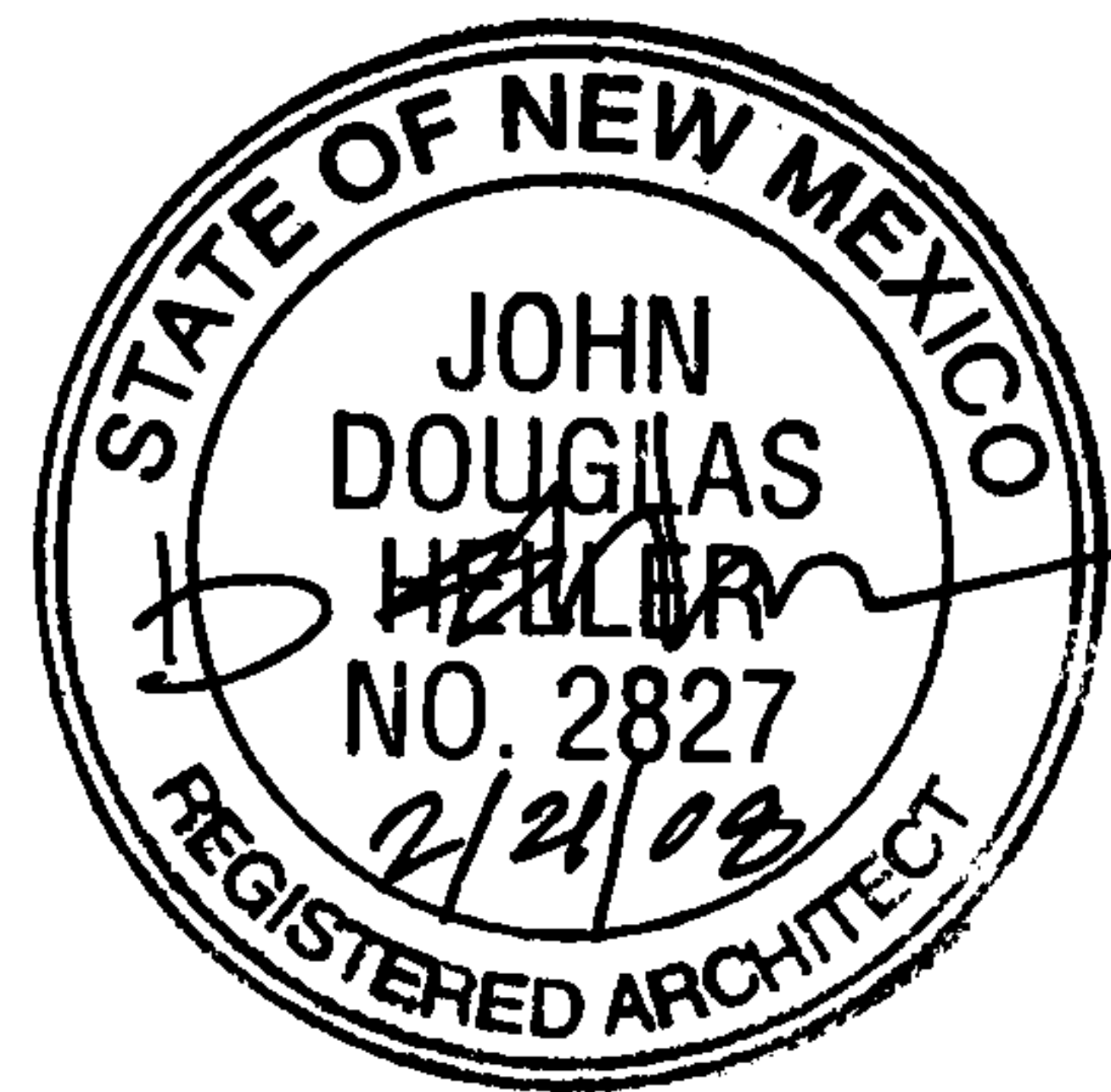
Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA

Attachment: Copy of Approved Administrative Amendment



C12/D022
C12-004

PERMANENT EASEMENT

Grant of Permanent Easement, between Mountain America Credit Union ("Grantor"), whose address is 9200 Golf Course Blvd. and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of Sidewalk, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

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This Easement shall not be effective until approved by the City Engineer in the signature block below.

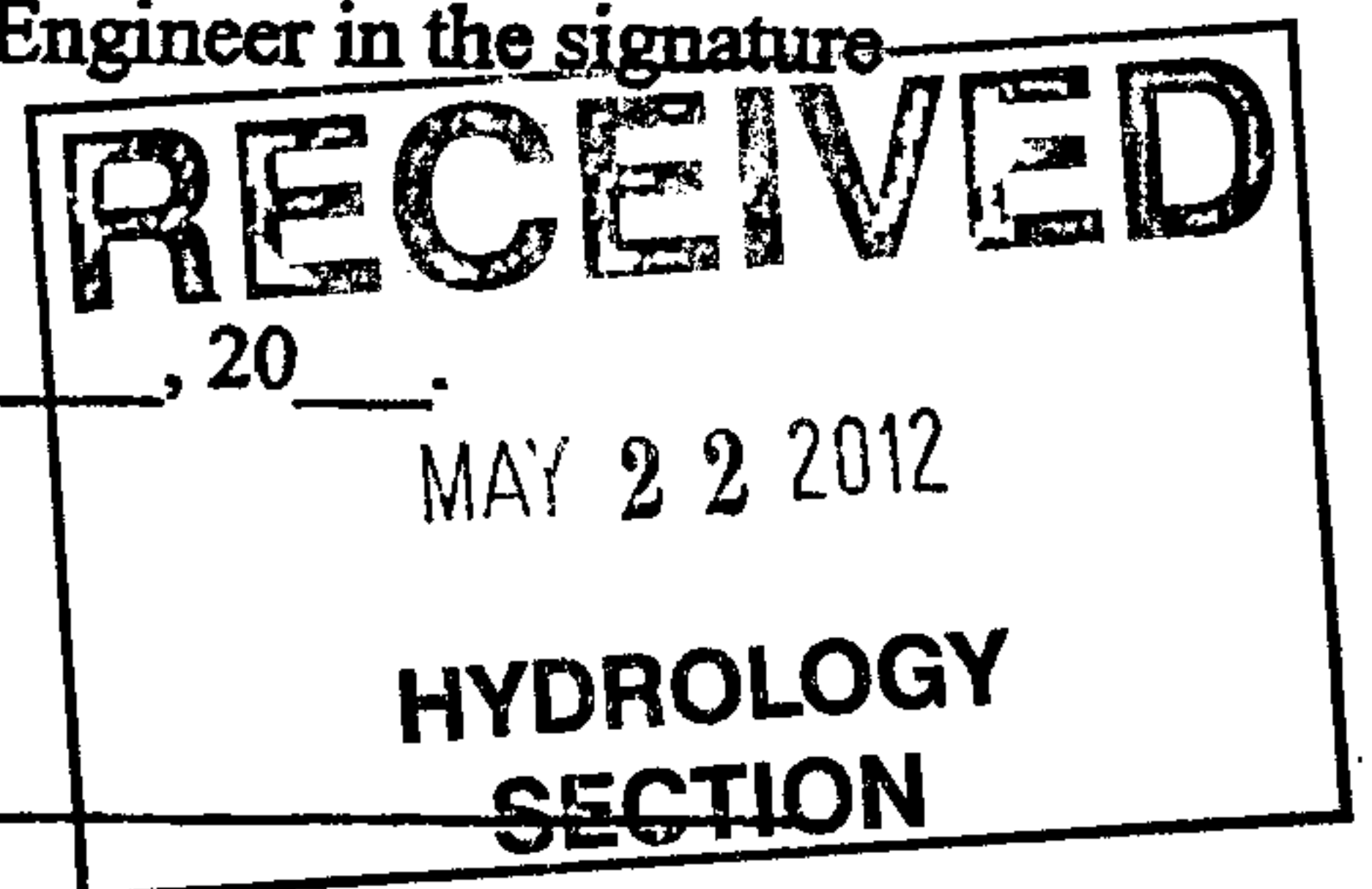
WITNESS my hand and seal this _____ day of _____, 20____.

APPROVED:

[Signature]
City Engineer
Date: 4-29-08

GRANTOR:

By: _____
(Individual)
Print Name: _____
Date: _____



GRANTOR:

By: [Signature]
(Corporation or Partnership)
Print Name: Helen Gallagher
Title: Sr. Vice Pres
Date: 4-2-08

Doc# 2008048892

04/30/2008 01:35 PM Page: 1 of 4
ERSE R:\$15.00 M. Toulouse, Bernalillo County



INDIVIDUAL'S NOTARY

STATE OF _____)
)ss
COUNTY OF _____)

This instrument was acknowledged before me on _____ day of _____,
20____, by _____.

(SEAL)

My Commission Expires: _____

Notary Public

CORPORATION'S NOTARY

STATE OF UTAH)
)ss
COUNTY OF SALT LAKE)

This instrument was acknowledged before me on 2 day of April,
2008, by Helen Gallagher, St. Vice President
of Mountain America Credit Union, a not for profit
corporation, on behalf of the corporation.

(SEAL)

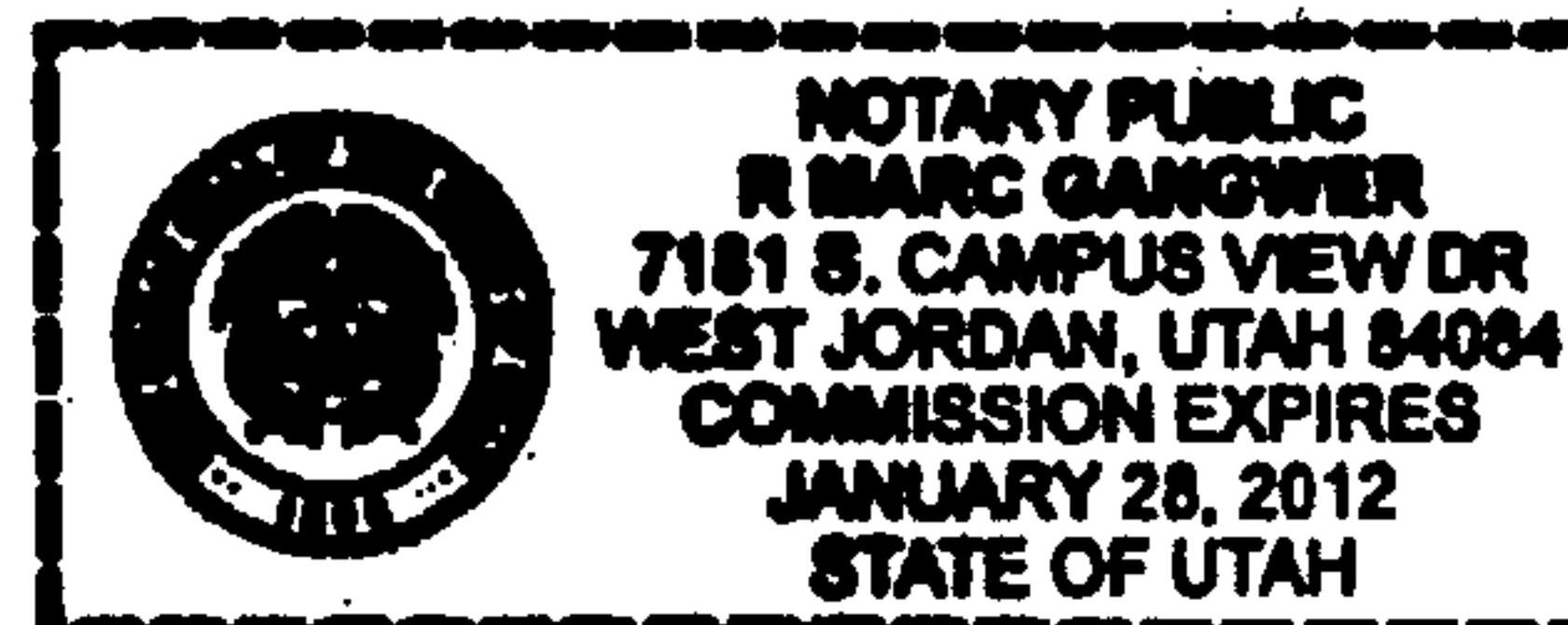
My Commission Expires:

1-29-12

R. M. [Signature]
Notary Public

PARTNERSHIP'S NOTARY

STATE OF _____)
)ss
COUNTY OF _____)



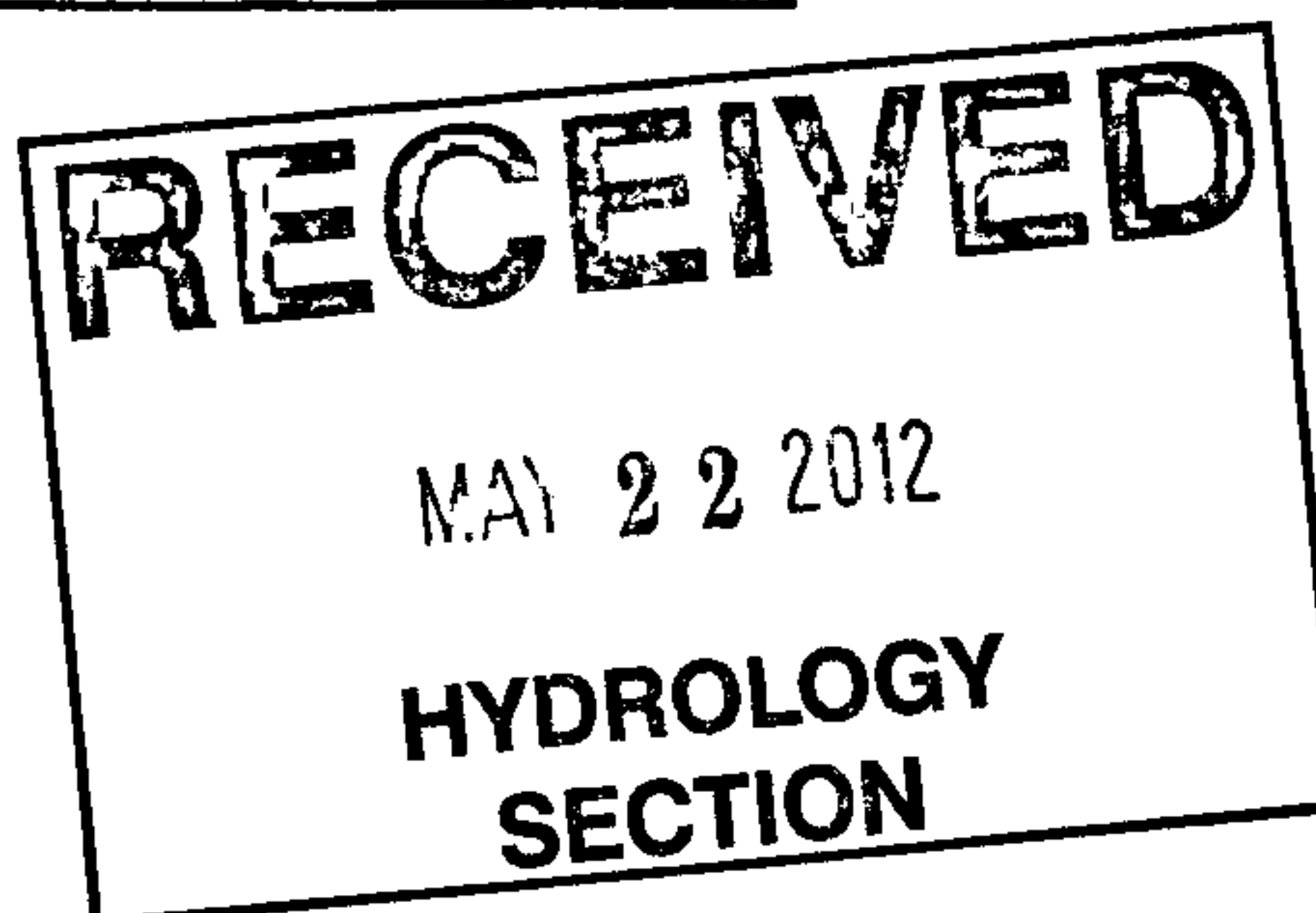
This instrument was acknowledged before me on _____ day of _____,
20____, by _____, partner(s), on behalf of
_____, a partnership.

(SEAL)

My Commission Expires: _____

Notary Public

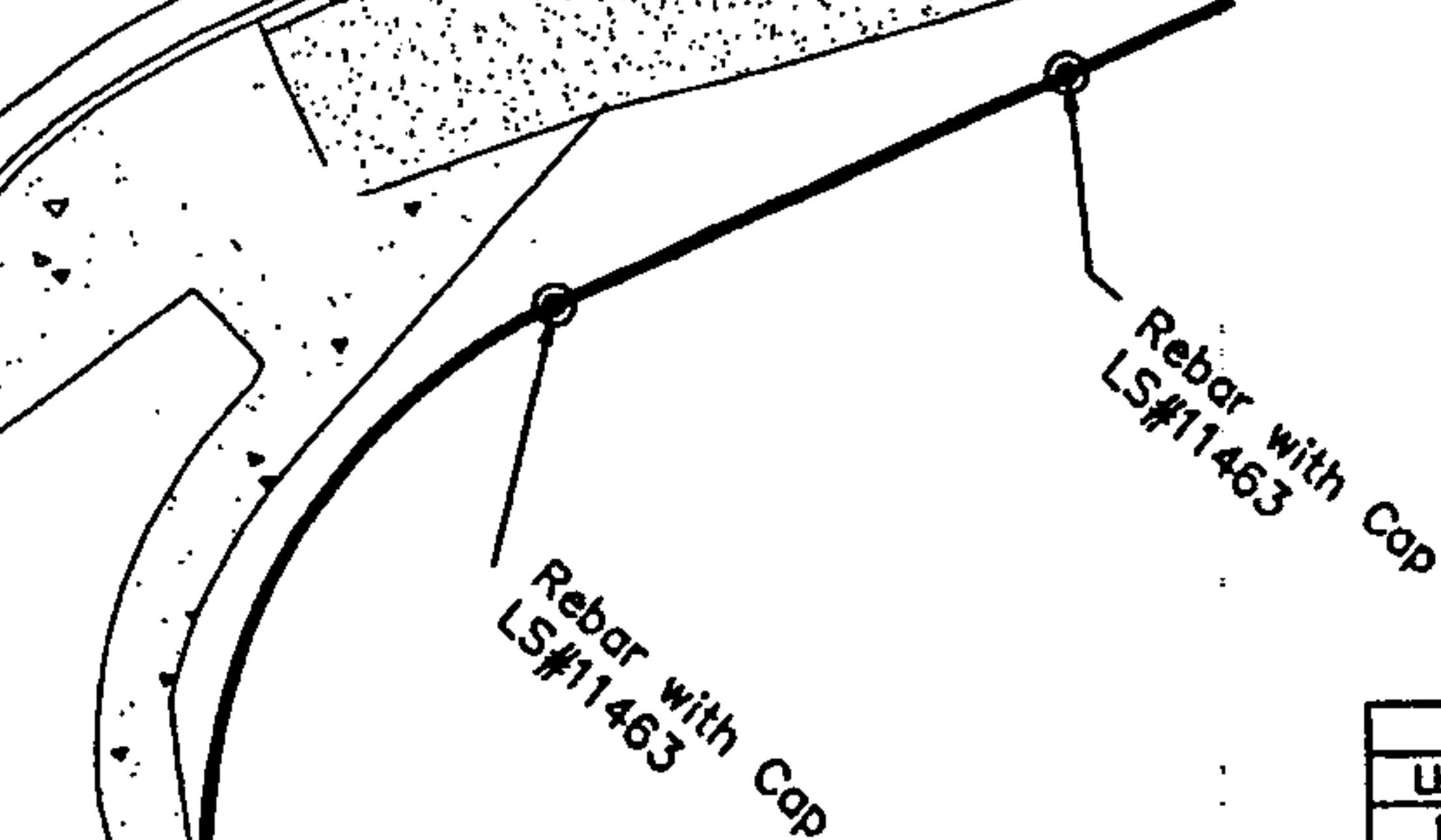
(EXHIBIT "A" ATTACHED)



Golf Course Rd N.W.

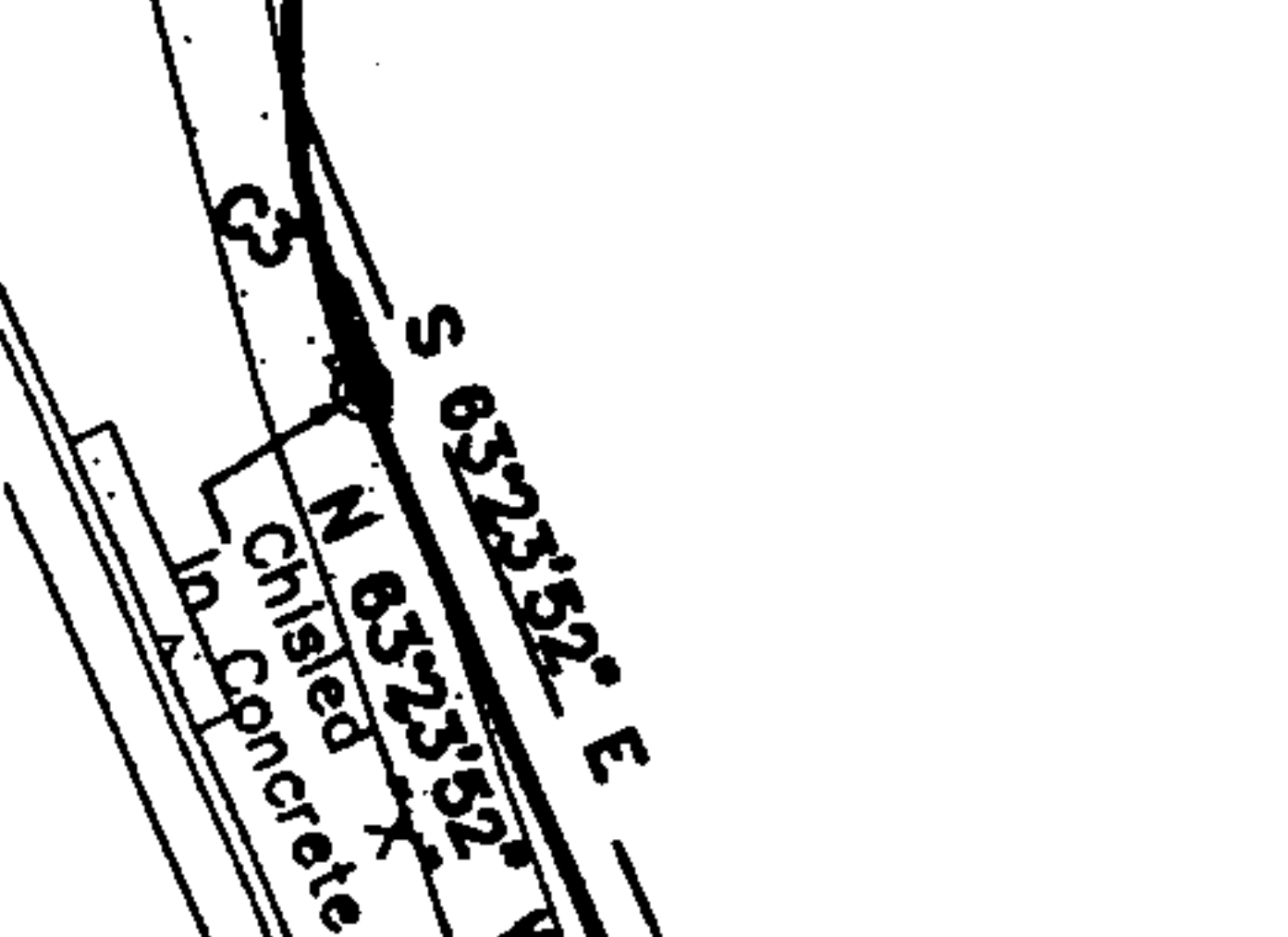
Easement Exhibit
March 2008

page 2 of 2



LINE TABLE		
LINE	LENGTH	BEARING
L1	12.00	S 89°51'42" E
L2	7.12	N 00°08'18" E
L3	22.54	N 11°34'20" E
L4	37.41	S 00°19'16" W

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	22.81'	12.85'	32°17'20"	N 71°07'16" E	12.68'
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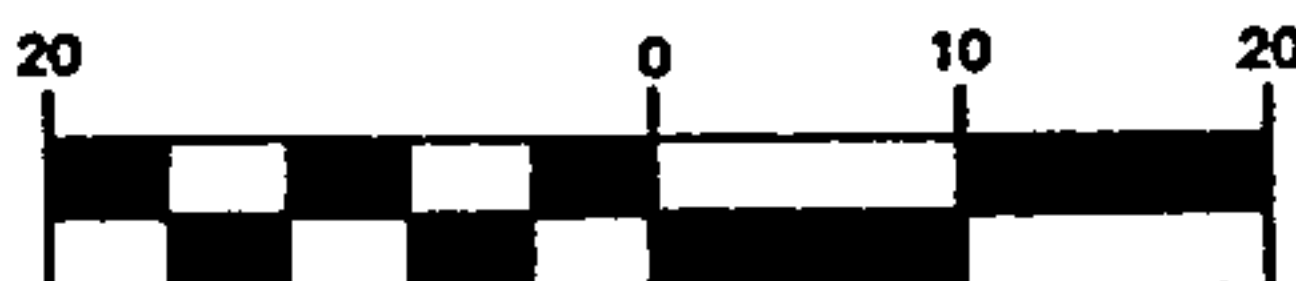


Tract 5-D2
Paradise Valley
(4/18/00, 2000C-110)

Merna Lynn Avenue N.W.
(55' R/W)

RECEIVED
MAY 22 2012
HYDROLOGY
SECTION

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

Sheet 2 of 2

064369

976 sq. ft.
0.0224 ACRES

POB L4
Chisled "X"
In Concrete

Easement Exhibit A

March 2008

page 1 of 2

Legal

A CERTAIN PARCEL OF LAND BEING A PORTION OF TRACT 5-D2 OF PARADISE VALLEY, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 18, 2000, IN VOLUME 2000C, FOLIO 110, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT 5-D2, MARKED WITH A CHISELED "X" IN CONCRETE;

THENCE, COINCIDING WITH THE NORTHERLY RIGHT-OF-WAY OF MARNA LYNN AVENUE, THE FOLLOWING THREE COURSES, 150.50 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 350.00 FEET, A DELTA OF 24°38'12", A CHORD BEARING N 75°42'58" W, A DISTANCE OF 149.34 TO A POINT OF TANGENCY;

THENCE, N 63°23'52" W, A DISTANCE OF 71.83 FEET TO A POINT OF CURVATURE;

THENCE, 11.02 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 21°02'22", A CHORD BEARING N 52°52'41" W, A DISTANCE OF 10.95 FEET TO AN ANGLE POINT;

THENCE, LEAVING SAID RIGHT-OF-WAY, S 63°23'52" E, A DISTANCE OF 82.60 FEET TO A POINT OF CURVATURE;

THENCE, 121.15 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 348.00 FEET, A DELTA OF 19°56'46", A CHORD BEARING S 73°22'15" E, A DISTANCE 120.54 FEET TO A POINT;

THENCE, 12.85 FEET ALONG A CURVE TO THE LEFT NON-TANGENT TO THE PREVIOUS COURSE, HAVING A RADIUS OF 22.81 FEET, A DELTA OF 32°17'20", A CHORD BEARING N 71°07'16" E, A DISTANCE OF 12.68 FEET TO AN ANGLE POINT;

THENCE, N 11°34'20" E, A DISTANCE OF 22.54 FEET TO AN ANGLE POINT;

THENCE, N 00°08'18" E, A DISTANCE OF 7.12 FEET TO AN ANGLE POINT;

THENCE, S 89°51'42" E, A DISTANCE OF 12.00 FEET TO AN ANGLE POINT;

THENCE S 00°19'16" W, A DISTANCE OF 37.41 FEET TO THE POINT OF BEGINNING CONTAINING ACRES (SQ FT) MORE OR LESS.

Notes

1. FIELD SURVEY PERFORMED IN DECEMBER 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.

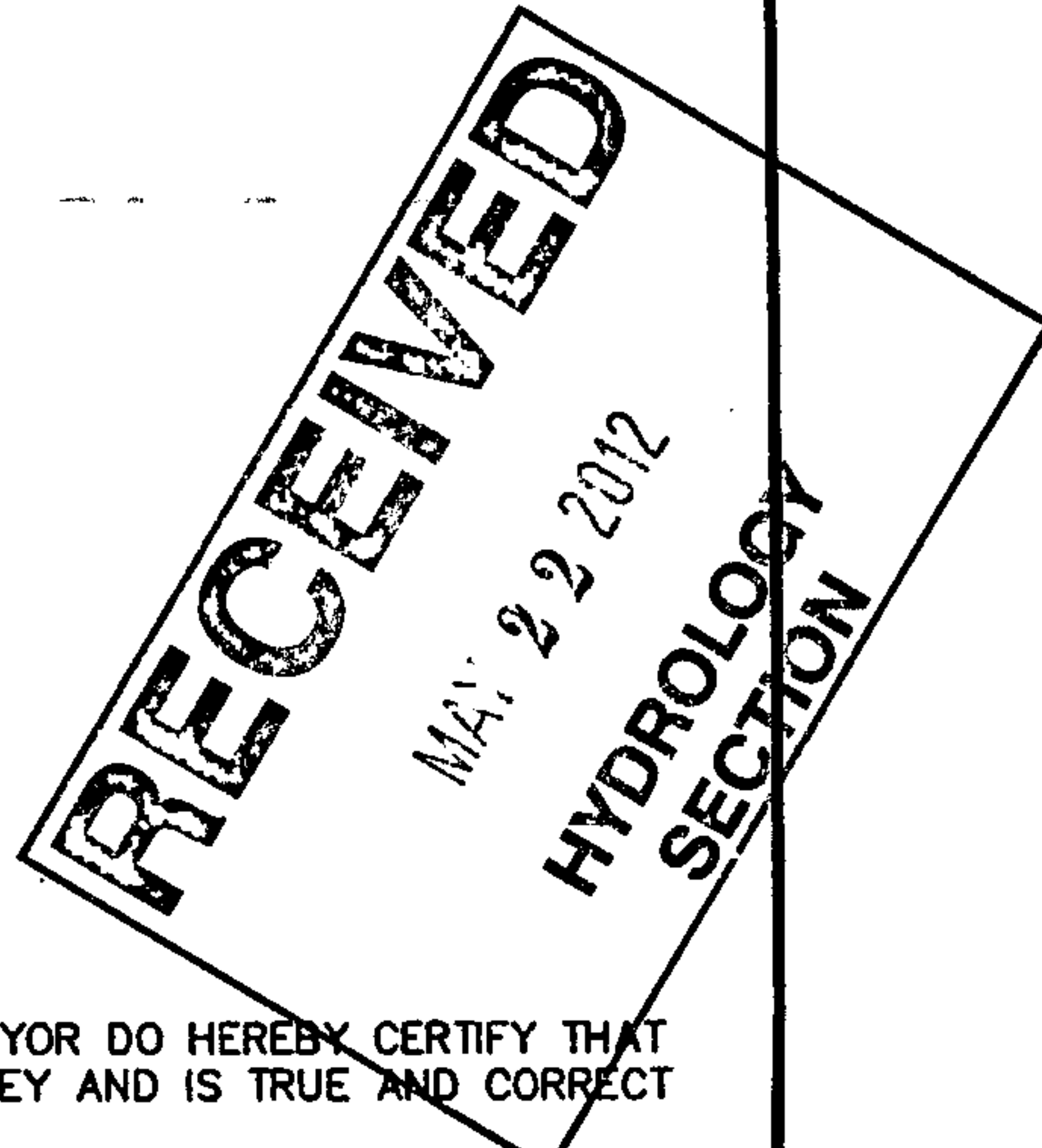
Certification

I, WILL PLOTNER JR., A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE EASEMENT SURVEY AS SHOWN HEREON WAS BASED UPON A FIELD SURVEY AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WILL PLOTNER JR.
N.M.P.S. No. 14271

DATE

3/28/08

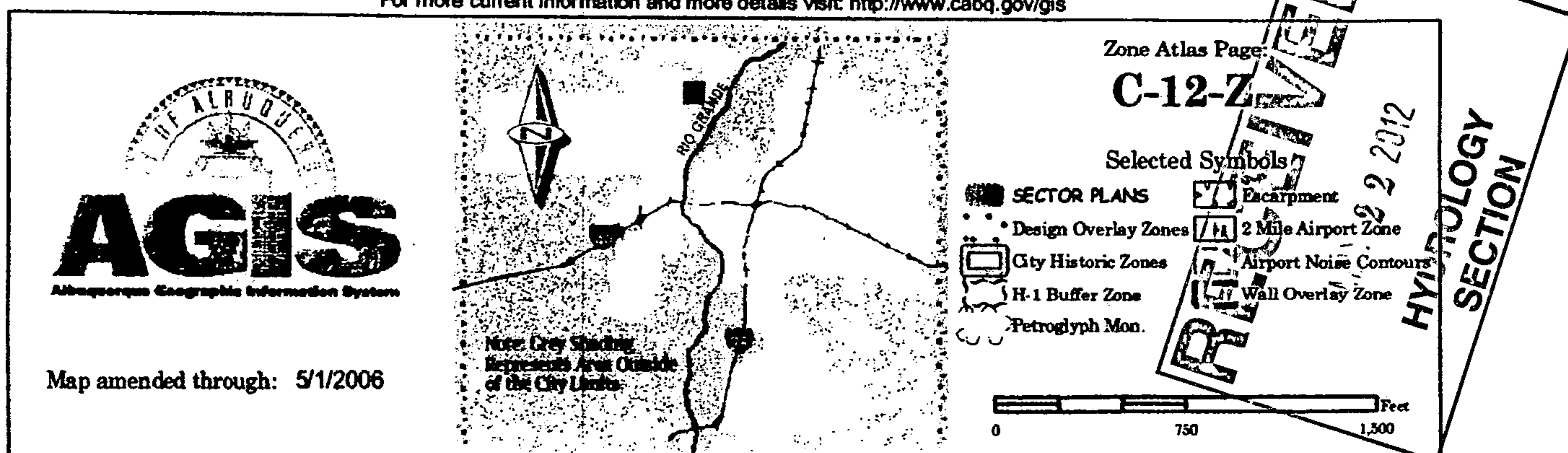
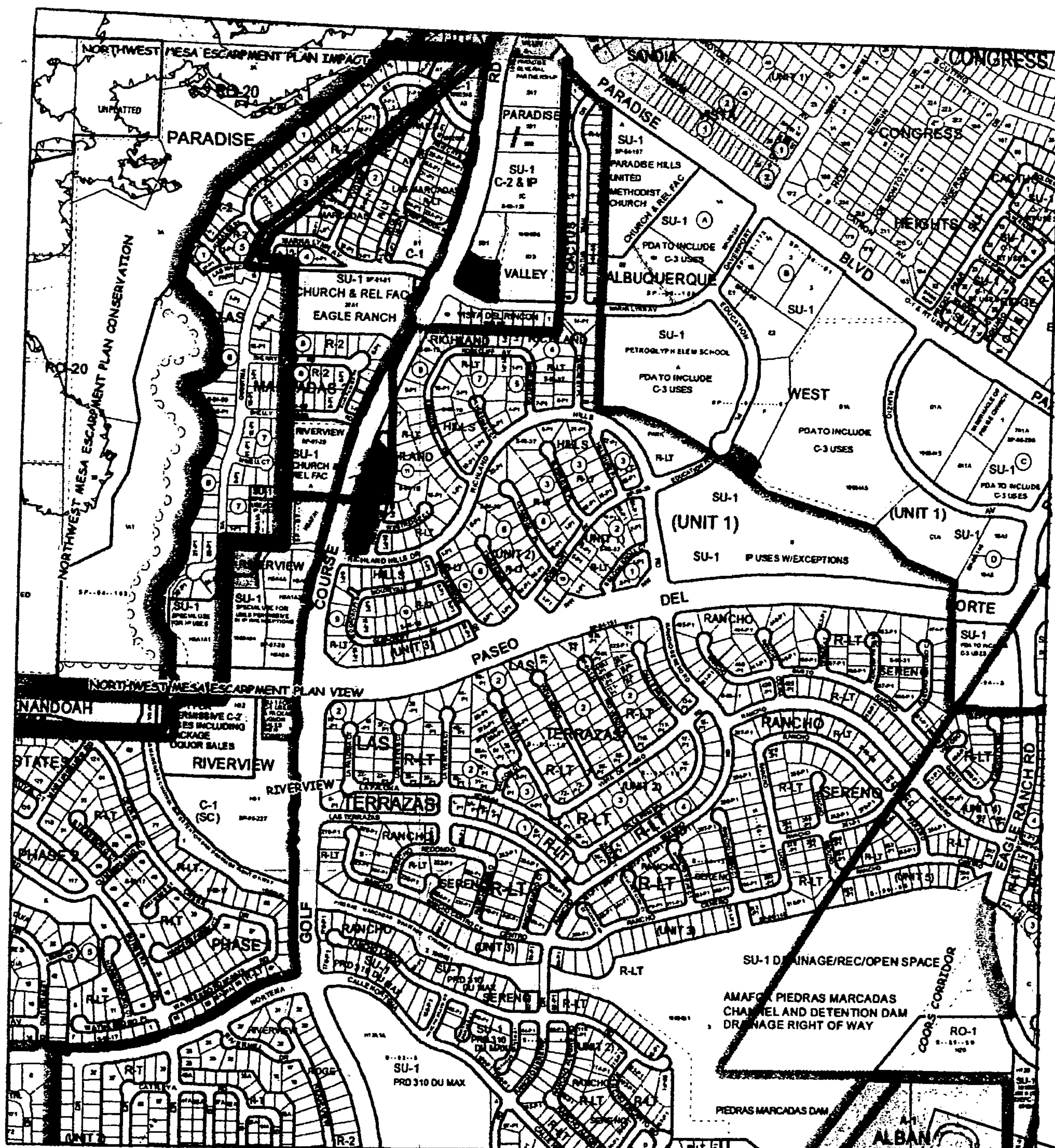


CARTESIAN SURVEYS INC.

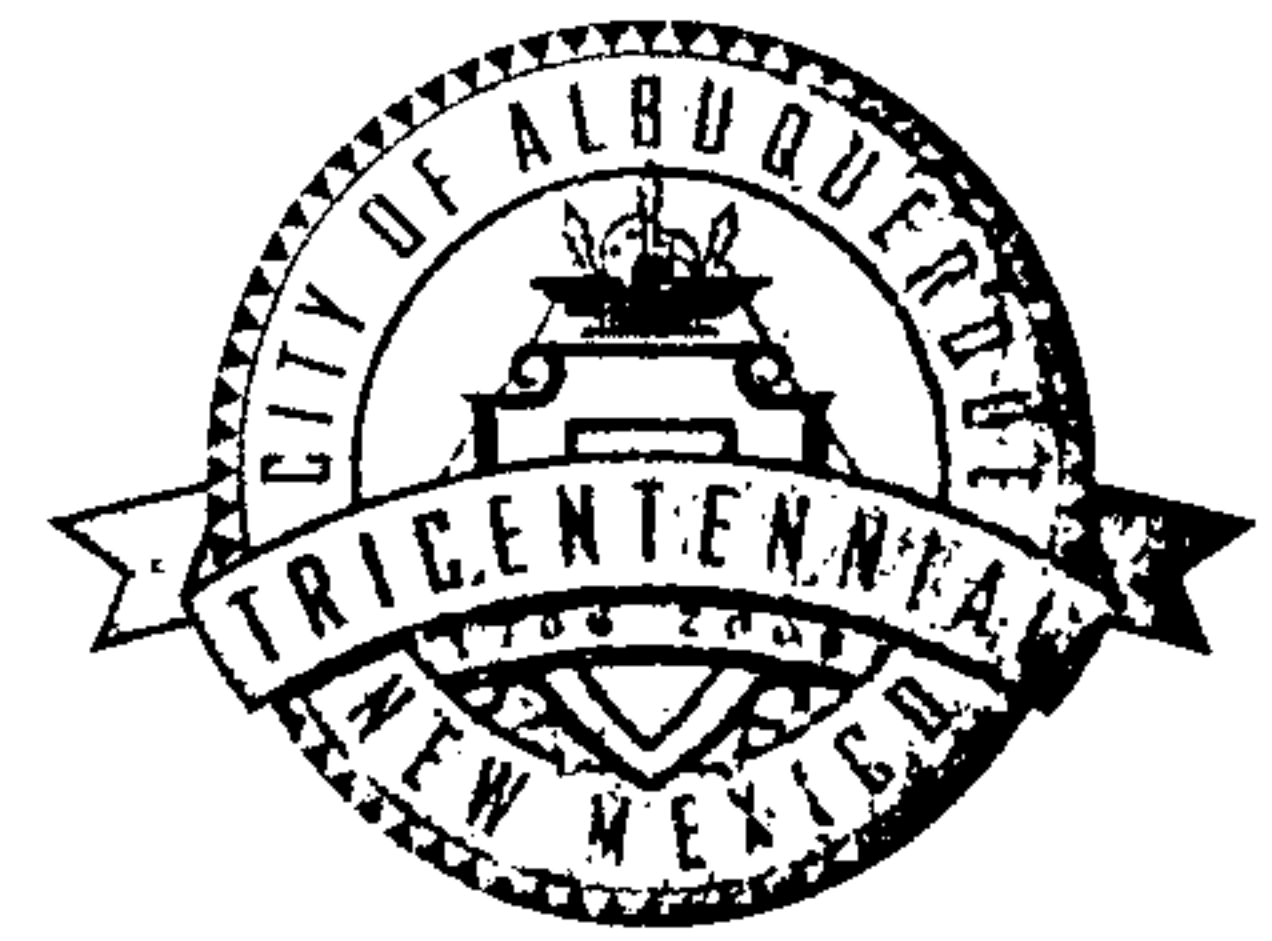
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

Sheet 1 of 2

064369



CITY OF ALBUQUERQUE



February 29, 2008

Lawerance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

Re: Mountain American Credit Union, 9200 Golf Course Rd, (C-12/D022)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Date 7/31/2007
Certification dated: 2-28-08

Mr. McCarty:

P.O. Box 1293

Based upon the information provided in your submittal received 2/28/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

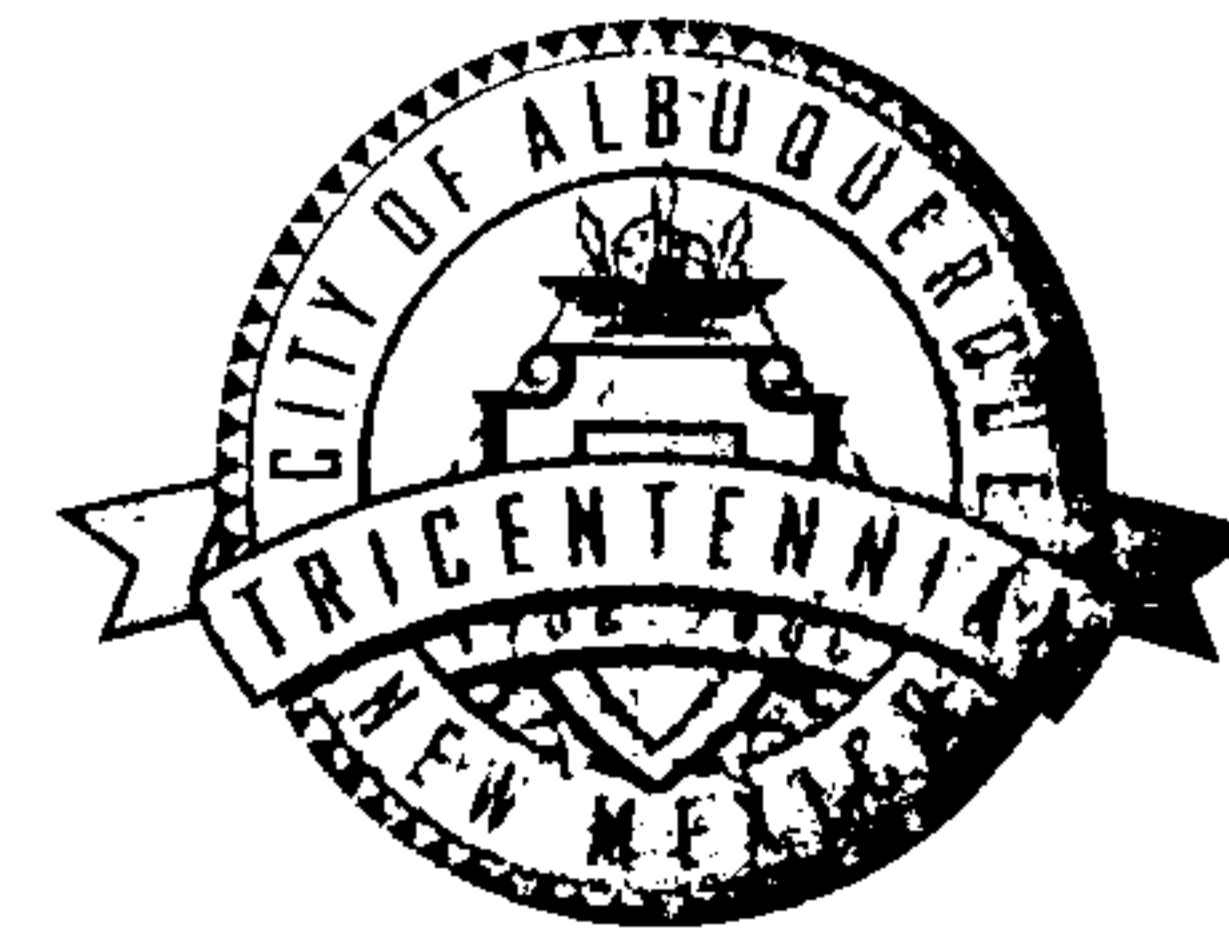
Sincerely,

Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

CITY OF ALBUQUERQUE



September 6, 2007

Billy McCarty, PE
Larry Read & Associates
2430 Midtown Place NE, Ste C
Albuquerque, NM 87107

**Re: Mountain America Credit Union Grading and Drainage Plan
Engineer's Stamp dated 7-31-07, (C12/D22)**

Dear Mr. McCarty,

Based upon the information provided in your submittal dated ⁷⁻³¹⁻⁰⁷~~6-14-07~~, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to the following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions about this permit, please feel free to call

If you have any other questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Scott McGee PE, Isaacson and Arfman
file