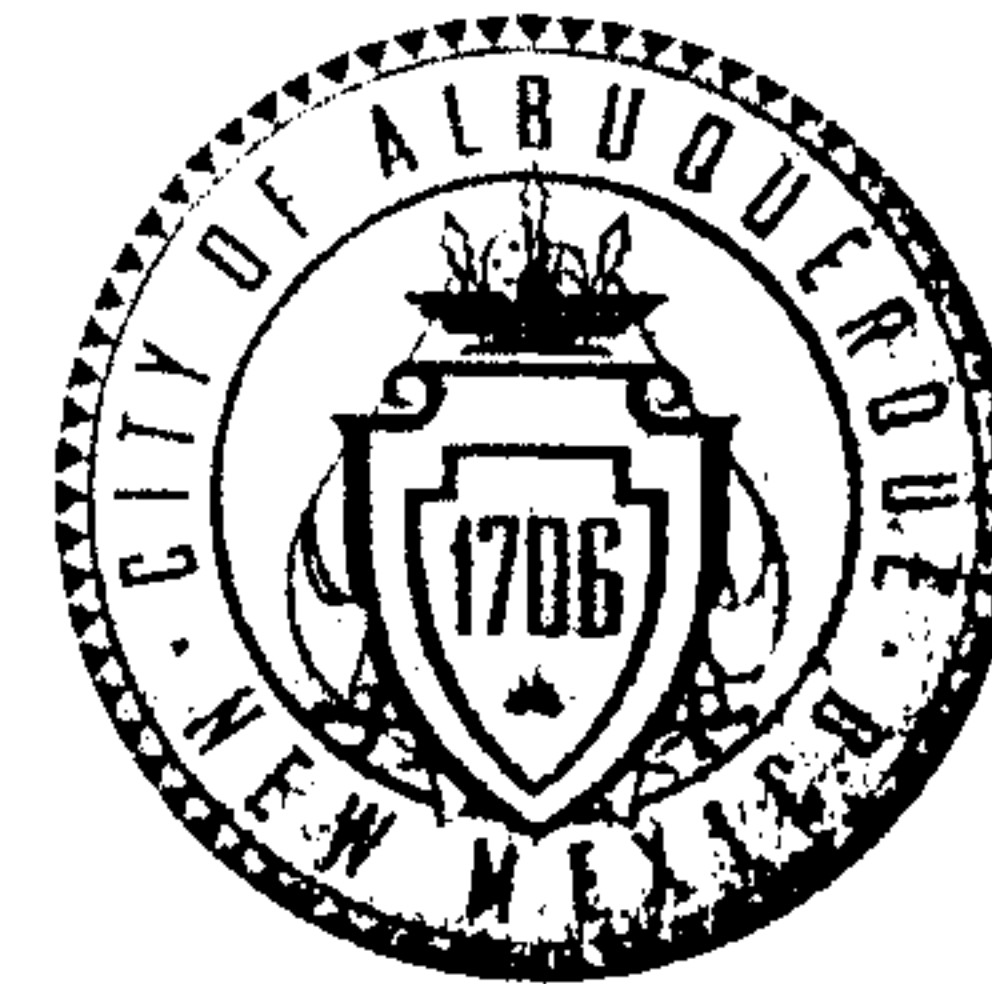


CITY OF ALBUQUERQUE



February 24, 2009

Steve J. Salazar, P.E.
Wilson & Company, Inc.
2600 The American Rd. SW Ste. 100
Rio Rancho, NM 87124

**Re: Marketplace Shops, 8631 Golf Course Rd. NW,
(C-12/D024)
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Dated: 10-10-07
Engineer's Certification Date: 2-20-09**

PO Box 1293

Dear Mr. Salazar,

Albuquerque

Based upon the information provided by our visual inspection on 2/23/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

CITY OF ALBUQUERQUE

Received Time Oct. 22, 10:11AM



September 7, 2007

Salazar, Steve J., P.E.
Wilson & Company
2415 Princeton Dr. NE Suite G-2
Albuquerque, NM 87107

**Re: Market Place Shops, Golf Course Rd
Grading and Drainage Plan
Engineer's Stamp dated 10-10-07 (C12-D024)**

Dear Mr. Salazar,

Based upon the information provided in your submittal received 10-10-07, the above referenced plan is approved for Building and Grading Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O.Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3977.

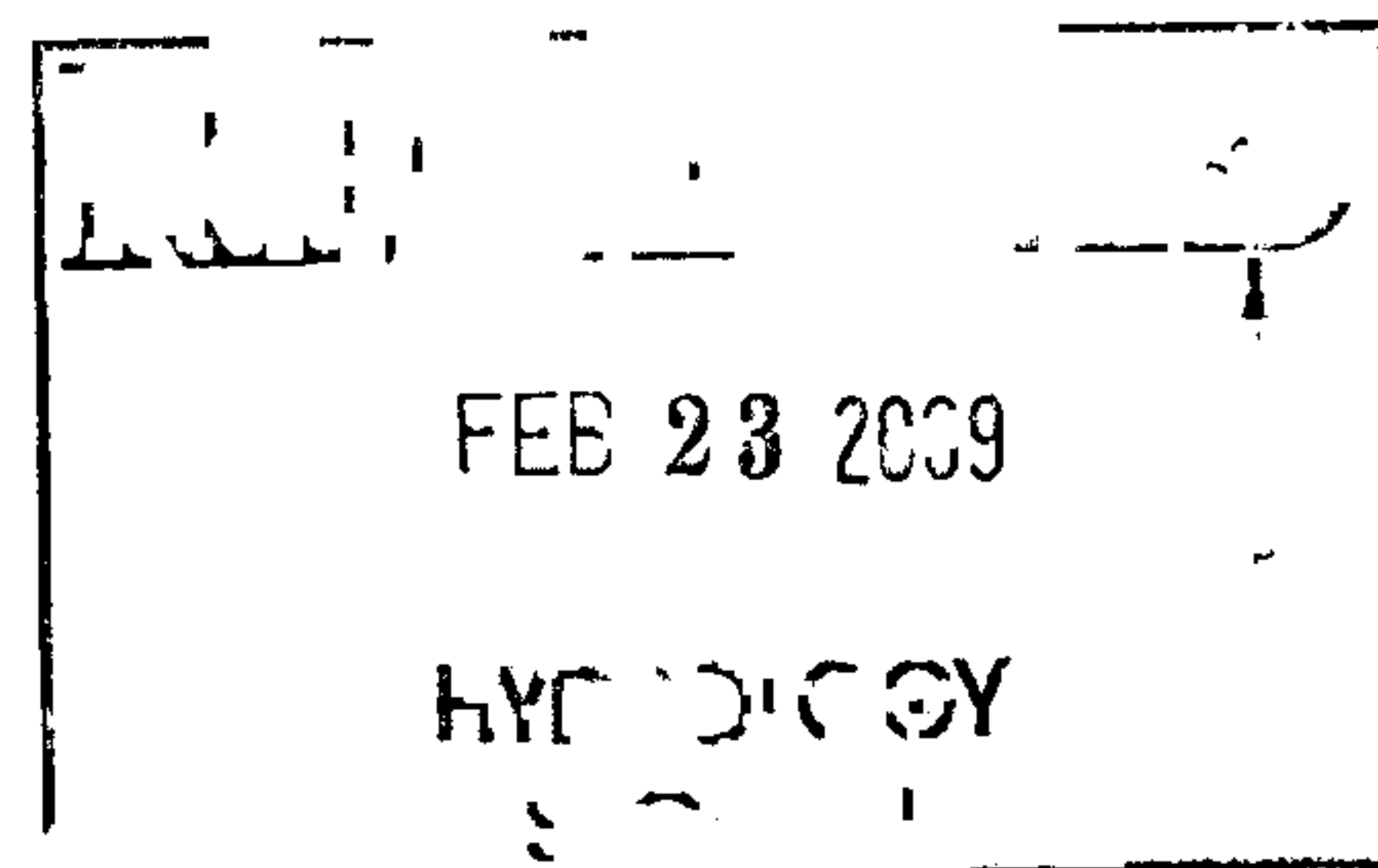
New Mexico 87103

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

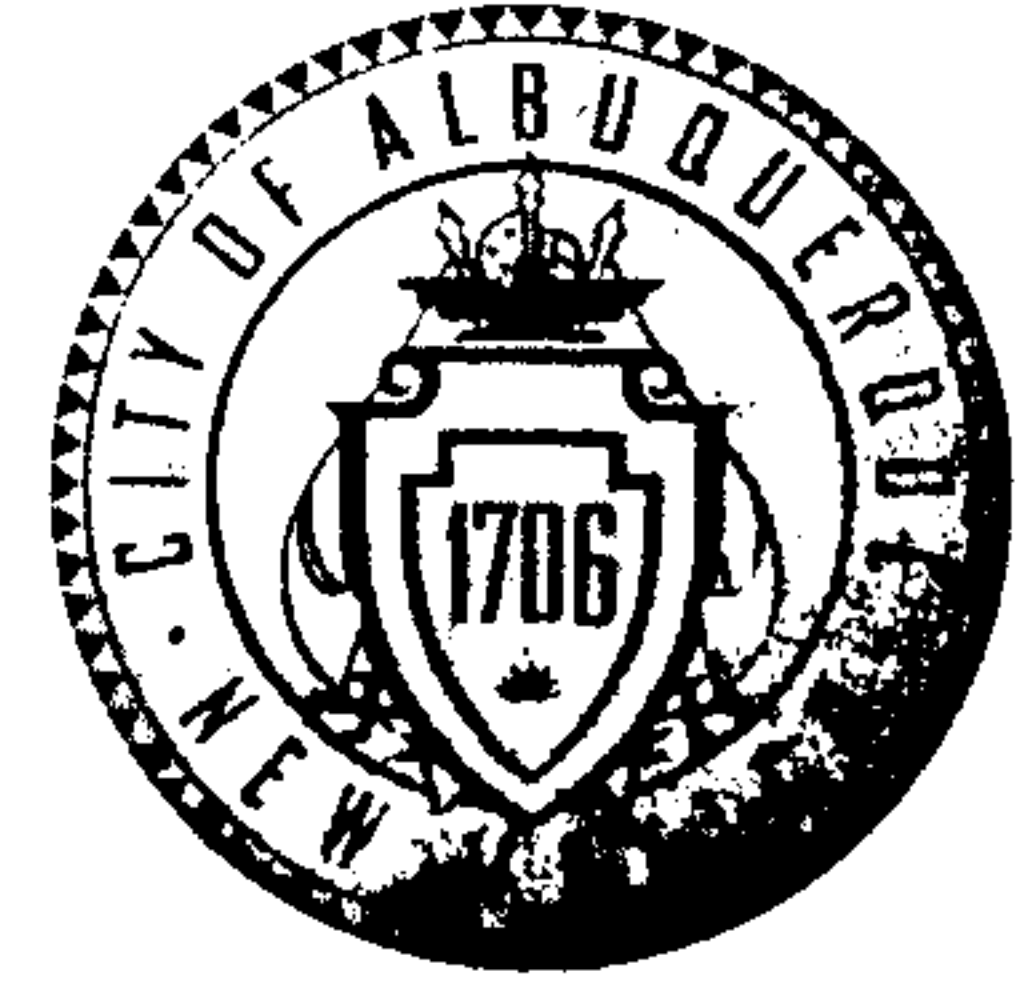
www.cabq.gov

C: File



Albuquerque - Making History 1706-2006

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 24, 2009

John Douglas Heller, Registered Architect
Muller Heller Architecture P.C.
924 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Market Place Shops, [C-12 / D024]
8631 Golf Course Road NW
Architect's Stamp Dated 03/24/09

PO Box 1293

Dear Mr. Heller:

Albuquerque

The TCL / Letter of Certification submitted on March 23, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

March 24, 2009

Mr. Nilo Salgado-Fernandez, PE
Senior Engineer, Hydrology Section
Planning Department
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for Market Place Shops
8631 Golf Course Road, NW. Albuquerque, NM 87114**

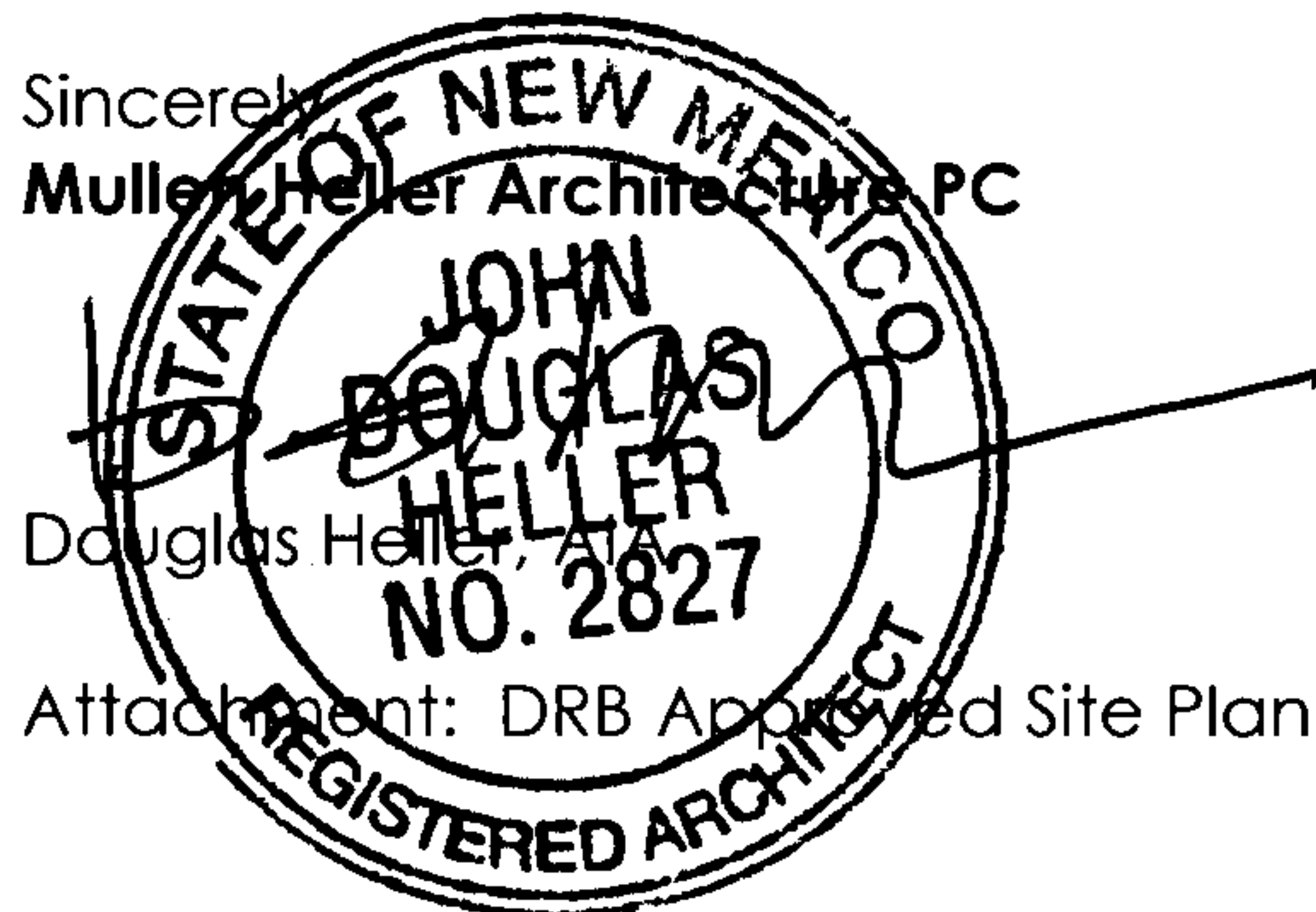
Dear Nilo:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment (AA Project #:1005484) approved plan dated March 20, 2009. I further certify that I have personally visited the project site on March 23, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (DRB Approved Site Plan) for Permanent Certificate of Occupancy.

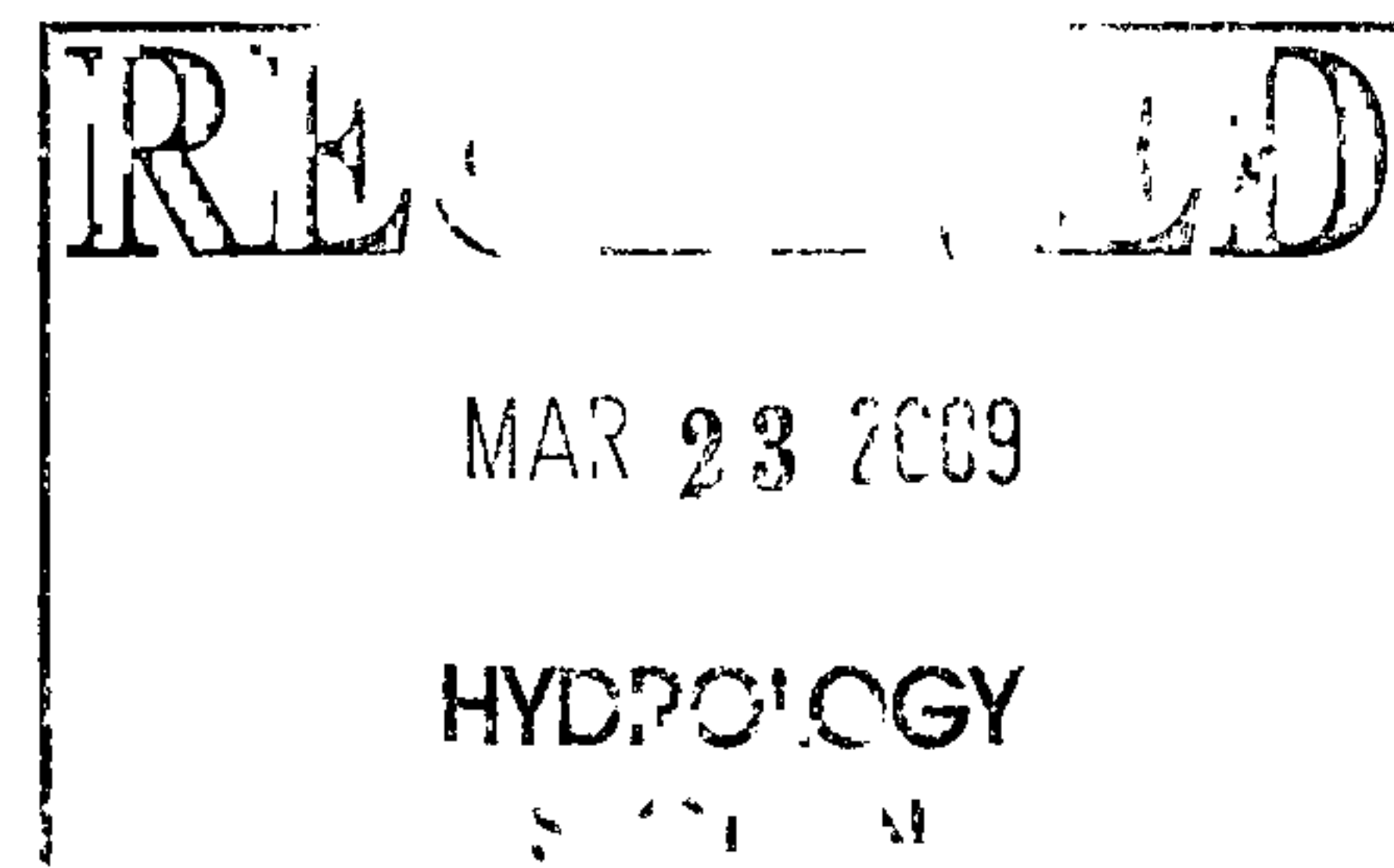
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

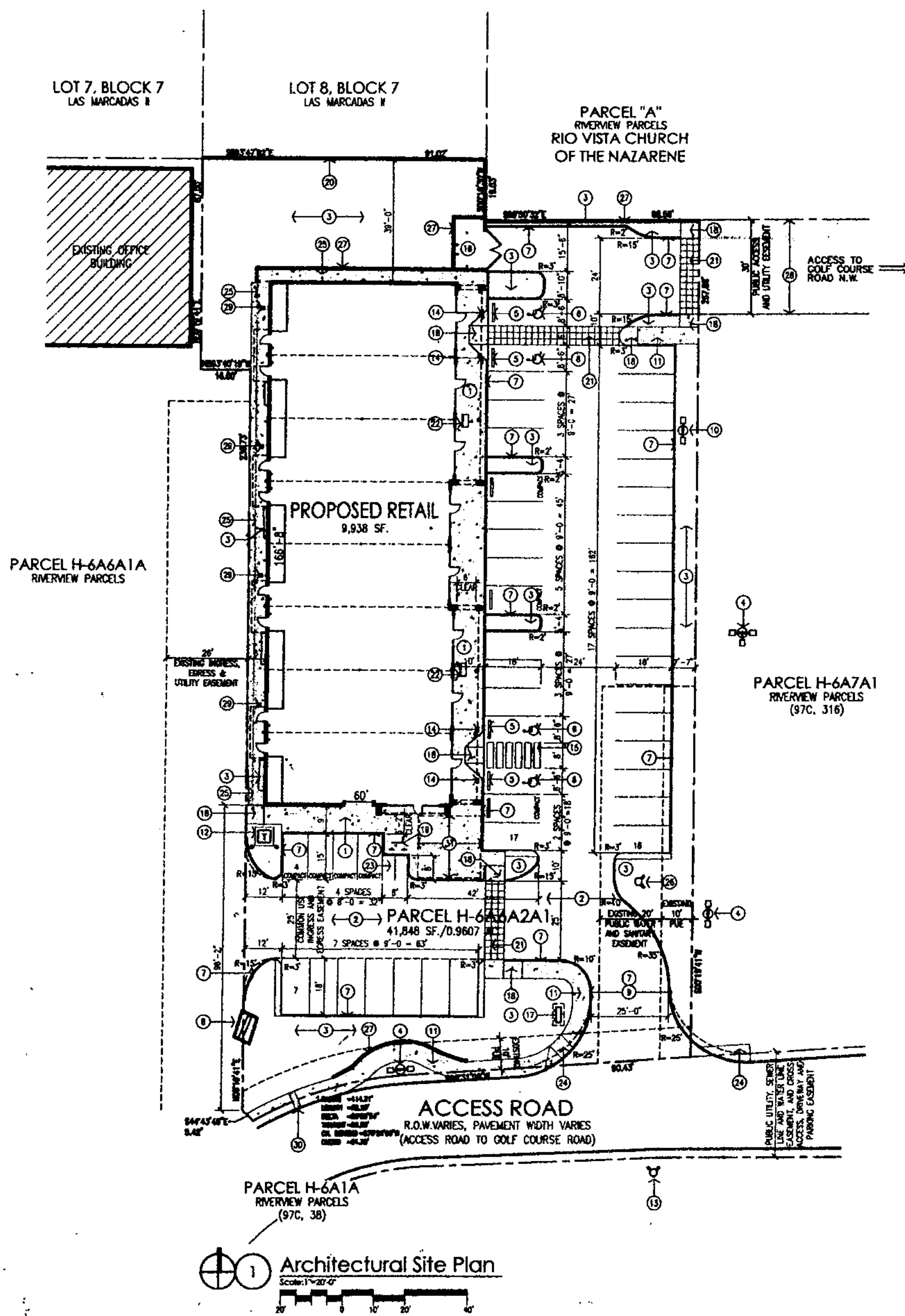
Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC



Attachment: DRB Approved Site Plan and Approved Administrative Amendment.





GENERAL NOTES:

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- B. THE AREA OF SIGNAGE ALLOWED FOR EACH TENANT SPACE SHALL NOT EXCEED 8% OF THAT FACADE, PER THE CENTER'S APPROVED SITE DEVELOPMENT PLAN.
- C. CURRENT SIGNAGE IS 5V-1 FOR USES PERMISSIVE IF WITH EXEMPTIONS.

KEYED NOTES:

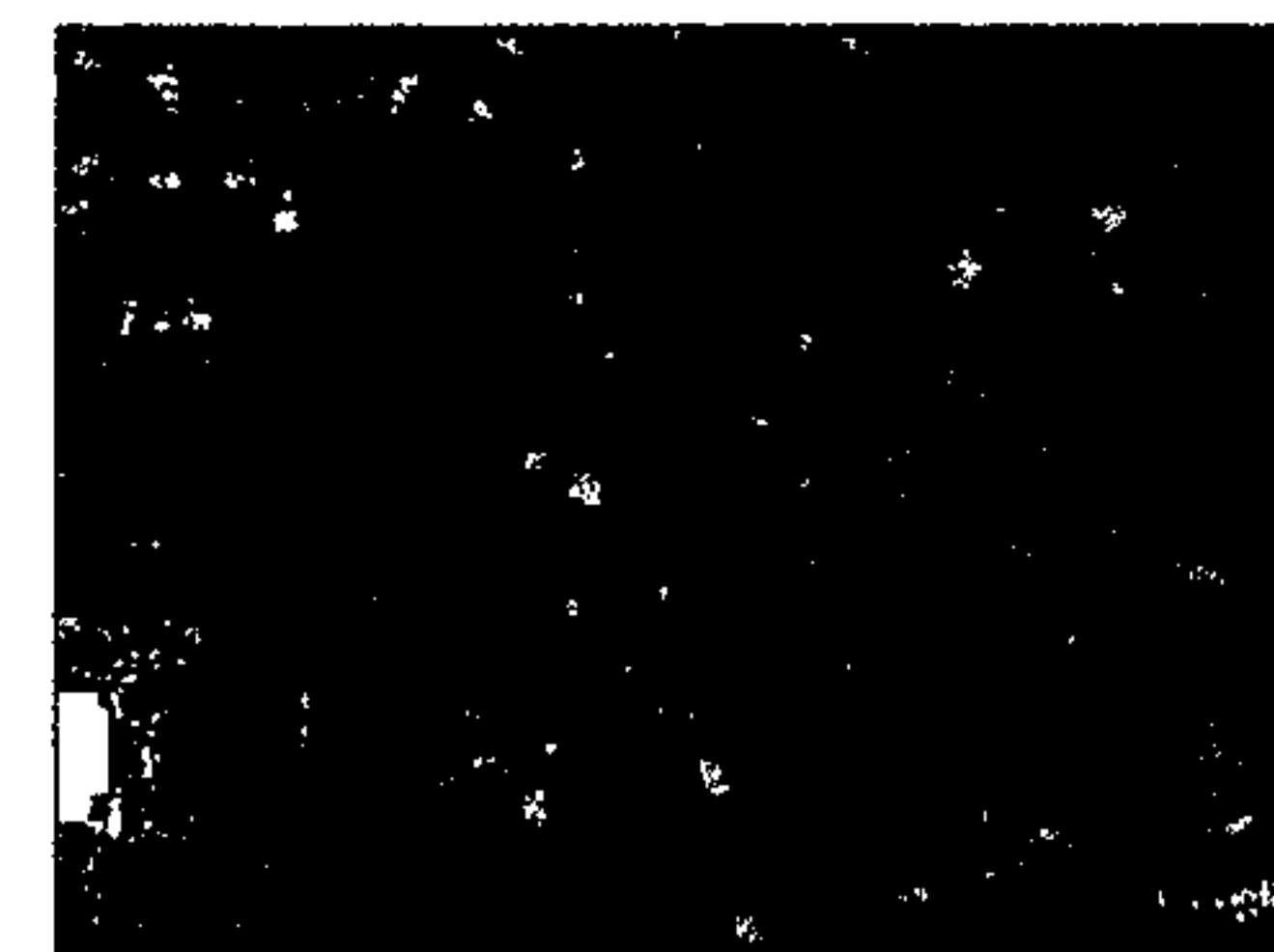
- (1) PROPOSED CONCRETE SIDEWALK, SEE 7/A003.
- (2) EXISTING PAVED ACCESS ROAD TO REMAIN, PATCH & REPAIR PAVEMENT WITH NEW CONSTRUCTION.
- (3) PROPOSED LANDSCAPED AREA.
- (4) EXISTING LIGHT POLE.
- (5) PROPOSED CONCRETE PARKING BUMPERS.
- (6) PROPOSED PAINTED INC. PARKING SYMBOL, SEE 3/A003.
- (7) PROPOSED CONCRETE CURB.
- (8) EXISTING SIGN AND PLANTER.
- (9) EXISTING PAVED ACCESS ROAD PER CITY STD. DETAIL 2426.
- (10) PROPOSED SITE LIGHT, SEE 11/A003.
- (11) PROPOSED 6" CONCRETE SIDEWALK PER CITY STD. DETAIL 2430.
- (12) PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- (13) EXISTING FIRE HYDRANT.
- (14) PROPOSED HC PARKING SIGN, TYPICAL OF 4, SEE 4/A003.
- (15) PROPOSED HC ASLE STRIPING, SEE 2/A003.
- (16) PROPOSED TEXTURED CMU DUMPSTER ENCLOSURE WITH RECYCLING STORAGE AREA, SEE 5/A003.
- (17) PROPOSED MONUMENT SIGN, SEE 10/A003.
- (18) PROPOSED HC RAMP, SEE 11/A003.
- (19) PROPOSED BIKE RACK, SEE DETAIL 12/A003.
- (20) EXISTING CMU RETAINING WALL.
- (21) PROPOSED 4" WIDE TEXTURED CONCRETE PEDESTRIAN WALKWAY.
- (22) PROPOSED 4" CONCRETE BENCH.
- (23) PROPOSED (2) 4'x6' MOTORCYCLE SPACES WITH PARKING SIGN.
- (24) PROPOSED UNIDIRECTIONAL HC RAMP PER CITY STD. DETAIL 2441.
- (25) PROPOSED 6" SIDEWALK.
- (26) PROPOSED FIRE HYDRANT.
- (27) PROPOSED TEXTURED CMU RETAINING WALL, COLOR TO BE: LIGHT TAN, SEE CIVIL.
- (28) PROPOSED 2W WIDE ASPHALT PAVING FROM EAST PROPERTY LINE TO EXISTING PAVED DRIVE ON LOT H-6A7A1 (APPROXIMATELY 50').
- (29) STORM DRAIN DROP INLET, REFER TO CIVIL.
- (30) STORM DRAIN OUTLET AT SIDEWALK CULVERT, REFER TO CIVIL.
- (31) EXTENT OF 400 SF. PAVT. SPACE.

PARKING CALCULATIONS:

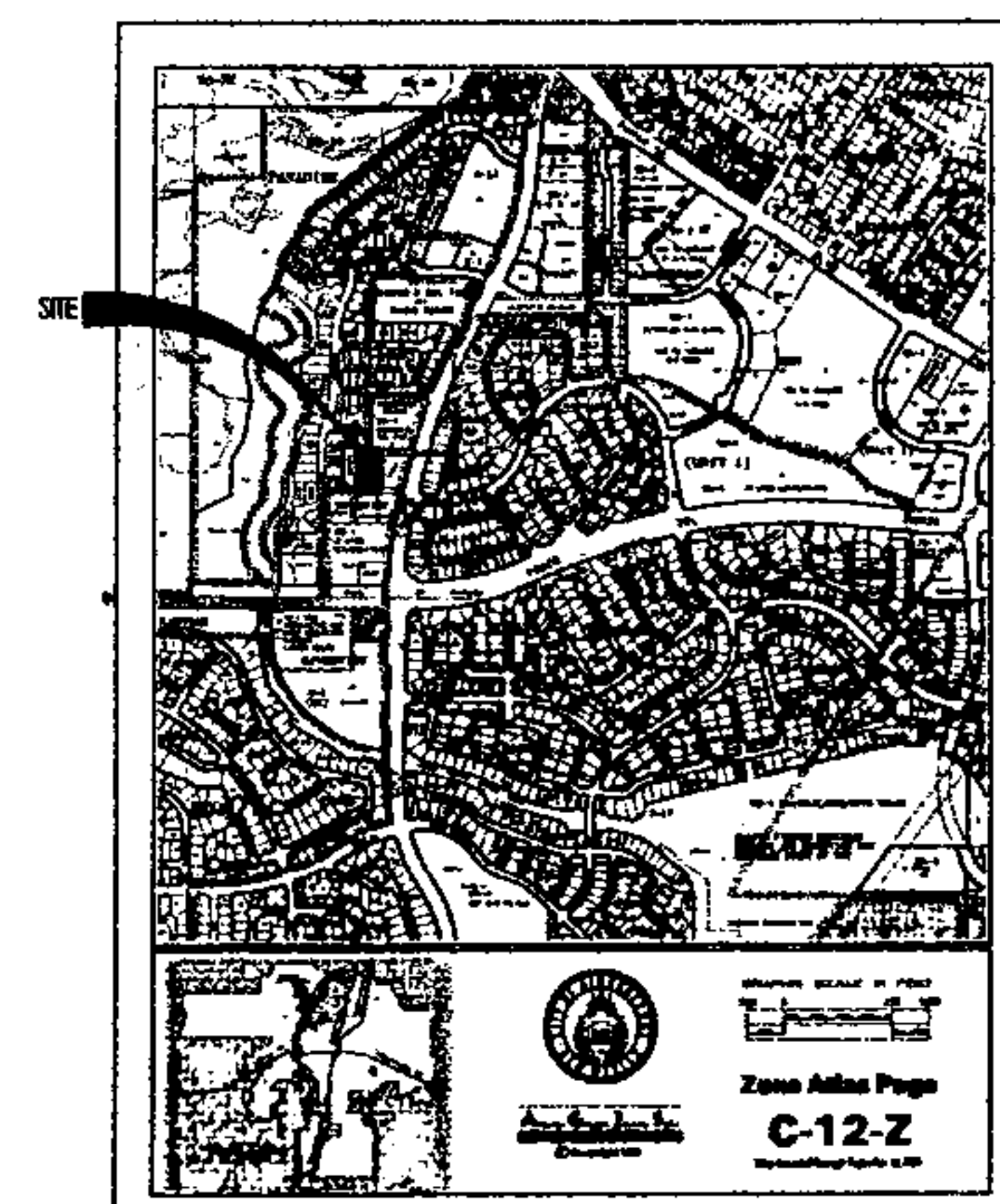
9,938 SF./200 = 50 REQUIRED SPACES LESS 10% BUS ROUTE CREDIT (ROUTE 82 & 157) = 45 SPACES REQUIRED INCLUDING 3 HANDICAP (1 VAN), 2 MOTORCYCLE SPACES REQUIRED.

48 SPACES PROVIDED INCLUDING 4 HANDICAP (1 VAN), 2 MOTORCYCLE SPACES. NEW MEXICO ZONING CODE ALLOWS FOR 25% OF REQUIRED SPACES TO BE COMPACT. 12 SPACES ALLOWED TO BE COMPACT. 0 COMPACT SPACES PROVIDED.

AERIAL PHOTOGRAPH



VICINITY MAP (C-12)



PLANS CHECKING OFFICE

924-3611

APPROVED/NOT APPROVED

HYDRANT(S) ONLY

8/22/07

SIGNATURE & DATE

PROJECT NUMBER: 0005484	APPLICATION NUMBER: 01076-2008
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: MAY 17, 2008 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
SITE DEVELOPMENT PLAN REVIEW APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	8/22/07
UTILITIES DEVELOPMENT	8/22/07
Christina Sandoval PARKS AND RECREATION DEPARTMENT	8/22/07
Bradley A. Brington CITY ENGINEER	8/22/07
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
Michael Holton SOLID WASTE MANAGEMENT	8/14/07
DRG CHAIRPERSON, PLANNING DEPARTMENT	8/22/07

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