

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 2, 2022

Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd
Albuquerque, NM 87109

**Re: Sedona West
9330 Eagle Ranch Rd NW
Grading and Drainage Plan Stamp Date: 10/19/2022
Drainage File: C13D001**

Dear Mr. Means,

Based upon the information provided in your submittal received 12/1/2022, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

File: C13D001



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Sedona West **Building Permit #:** BP-2022-34720 **Hydrology File #:** C-13
DRB#: PR-2021-005442 **EPC#:** SI-2021-01714 **Work Order#:** _____
Legal Description: Tract A-2-A-A-1, The Plaza At Paseo Del Norte
City Address: 9330 Eagle Ranch Rd NW

Applicant: High Mesa Consulting Group **Contact:** Justin Schara
Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109
Phone#: 505-345-4250 **Fax#:** 505-345-4254 **E-mail:** jschara@highmesacg.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☒ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 12-1-22 **By:** Justin Schara

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

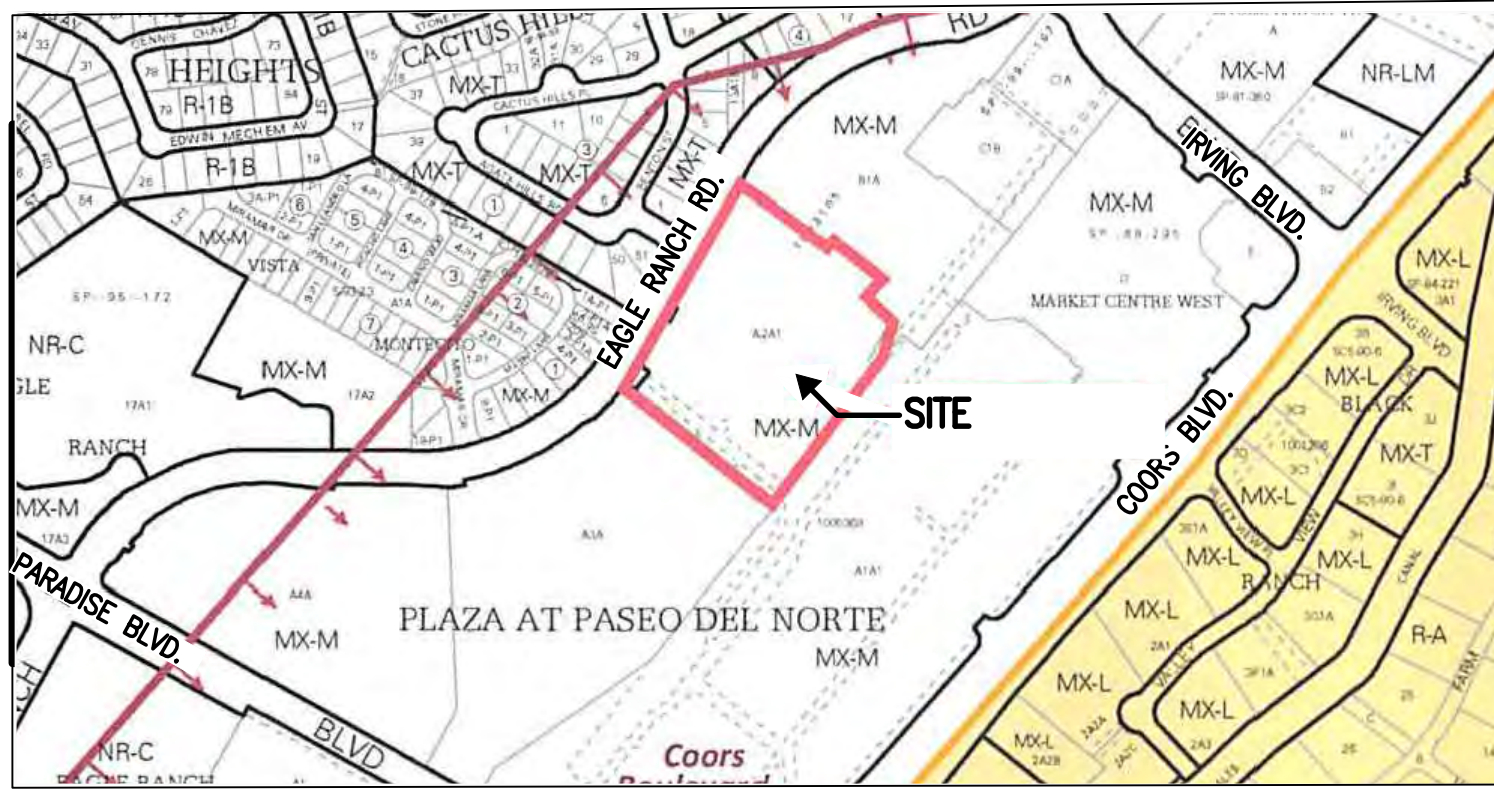
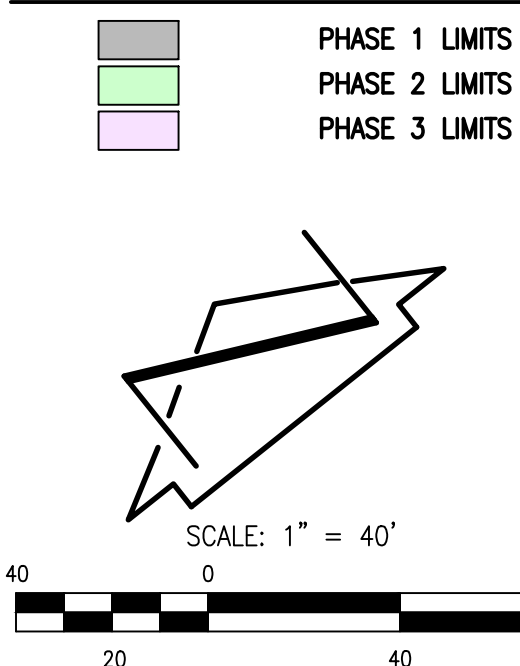
FEE PAID: _____

PHASING PLAN:

THE PROPOSED SITE DEVELOPMENT WILL BE CONSTRUCTED IN THREE PHASES AS SHOWN ON THE PHASING MAP ABOVE. THESE PHASES WILL INCLUDE THE FOLLOWING IMPROVEMENTS:

1. PHASE 1 DEVELOPMENT WILL INCLUDE THE CLUBHOUSE AND POOL AREA AND ASSOCIATED PARKING, BUILDING #1 AND ASSOCIATED PARKING, THE NORTHWEST ENTRANCE TO EAGLE RANCH ROAD, AND THE CENTRAL ACCESS DRIVE AND ASSOCIATED PARKING EXTENDING THROUGH THE SITE FROM THE SOUTH ACCESS DRIVE NORTH TO THE NEW REFUSE ENCLOSURE AT THE NORTHEAST CORNER OF THE SITE. THE EXISTING SOUTH ACCESS DRIVE TO EAGLE RANCH ROAD WILL REMAIN, ALONG WITH THE CONTINUATION OF THE EXISTING ACCESS DRIVE TO THE SOUTHEAST CORNER OF THE SITE. NEW PAVED PARKING WILL BE CONSTRUCTED ALONG THE SOUTH EDGE OF THE ACCESS ROAD AS NOTED ON THE PHASING PLAN MAP.
ALL STORM SEWER, SANITARY SEWER, DOMESTIC WATER AND FIRE PROTECTION SERVICES NECESSARY TO SERVE THE PROPOSED PHASE 1 DEVELOPMENT WILL BE INCLUDED.
2. PHASE 2 DEVELOPMENT WILL INCLUDE BUILDINGS #2, #3 AND #4, ALONG WITH ASSOCIATED ACCESS DRIVE AND PARKING IMPROVEMENTS. THIS PHASE WILL ALSO INCLUDE THE CONSTRUCTION OF THE NEW BUS SHELTER IMPROVEMENTS ALONG EAGLE RANCH ROAD.
ALL STORM SEWER, SANITARY SEWER, DOMESTIC WATER AND FIRE PROTECTION SERVICES NECESSARY TO SERVE THE PROPOSED PHASE 2 DEVELOPMENT WILL BE INCLUDED.
3. PHASE 3 DEVELOPMENT WILL COMPLETE THE FULL BUILD-OUT DEVELOPMENT OF THE SITE, AND WILL INCLUDE BUILDINGS 5 THROUGH 10 ALONG WITH ASSOCIATED ACCESS DRIVE AND PARKING IMPROVEMENTS. THE EXISTING ACCESS SOUTH ACCESS DRIVE TO THE SOUTH WILL REMAIN, WITH NEW PARKING CONSTRUCTED ON THE NORTH AND SOUTH EDGES OF THIS DRIVE. THIS PHASE WILL ALSO INCLUDE THE RE-CONSTRUCTION OF THE EXISTING PUBLIC BIKE / PEDESTRIAN TRAIL EXTENDING ALONG THE ENTIRE EAST EDGE OF THE PROPERTY.
ALL STORM SEWER, SANITARY SEWER, DOMESTIC WATER AND FIRE PROTECTION SERVICES NECESSARY TO SERVE THE PROPOSED PHASE 3 DEVELOPMENT WILL BE INCLUDED.

PHASING LIMITS:



VICINITY MAP

C-13

DRAINAGE PLAN:

THE PROJECT SITE CURRENTLY SLOPES FROM NORTHWEST TO SOUTHEAST. THE STORMWATER RUNOFF FROM THE WEST HALF OF THE SITE IS CURRENTLY INTERCEPTED BY AN EXISTING PAVED, CURBED ACCESS ROAD THAT DRAINS TO TWO (2) EXISTING STORM INLETS. THESE INLETS DISCHARGE TO AN EXISTING 24" PUBLIC SUBSURFACE STORM DRAIN SYSTEM THAT EXTENDS THROUGH THE SITE FROM NORTH TO SOUTH, ENLARGING TO A 36" RCP STORM DRAIN ALONG THE SOUTH PERIMETER OF THE PROPERTY. THIS PUBLIC STORM DRAIN SYSTEM CONTINUES SOUTHEAST OF THE PROJECT SITE AND ULTIMATELY DISCHARGES TO A PUBLIC STORMWATER DETENTION BASIN AT THE "PLAZA AT PASEO DEL NORTE UPPER DETENTION POND", LOCATED NEAR THE SOUTHEAST TERMINATION OF PARADISE BLVD NW, AND IMMEDIATELY SOUTH OF THE EAGLE RANCH APARTMENTS COMPLEX. THE EXISTING PUBLIC STORM DRAIN SYSTEM AND STORMWATER DETENTION POND FACILITY WAS DEVELOPED PER THE 1989 MARKET CENTER WEST (PLAZA AT PASEO DEL NORTE) MASTER PLAN (UPDATED 2007) AND CONSTRUCTED AS PART OF THE PHASE 1 DEVELOPMENT FOR THIS SITE IN 1990. THE STORMWATER DETENTION POND IS SIZED TO ACCEPT THE FULLY DEVELOPED STORMWATER RUNOFF GENERATED BY THIS SITE (DENOTED AS PORTIONS OF BASIN A IN THE MASTER PLAN DRAINAGE REPORT). IN THE MASTER PLAN, BASINS A-1, A-2 AND A-3 WERE CALCULATED TO GENERATE 24.6 CFS, 16.6 CFS, AND 4.5 CFS RESPECTIVELY (TOTAL = 45.7 CFS). IN THE FULLY DEVELOPED CONDITION THAT IS FREE DISCHARGED TO THE EXISTING PUBLIC STORM DRAIN IMPROVEMENTS, THIS PROPOSED 2021 SEDONA WEST DEVELOPMENT SITE IS 7.1 AC, 65% OF THE BASIN A 11 AC SITE. THEREFORE, THE ALLOWABLE DISCHARGE FOR THIS SITE IS 65% OF THE 45.7 CFS ALLOWABLE DISCHARGE RATE, EQUAL TO 29.7 CFS.

THE PROPOSED SITE DEVELOPMENT WILL MAINTAIN THE GENERAL DRAINAGE PATTERNS FOR THE SITE WITH OVERALL SITE GRADE SLOPING FROM NORTHWEST TO SOUTHEAST. STORMWATER RUNOFF FROM THE ROOF DRAINAGE AND ENCLOSED COURTYARD AREAS WILL BE SERVED BY NEW PRIVATE SUBSURFACE PIPED STORM DRAIN SYSTEMS THAT WILL OUTFALL TO THE EXISTING PUBLIC STORM DRAIN SYSTEM. THE REMAINDER OF THE ROOF DRAINAGE WILL DISCHARGE VIA SIDEWALK CULVERT ONTO THE NEW PARKING AND DRIVEWAY PAVEMENT; THE CURBED PARKING AND DRIVEWAYS WILL SURFACE DRAIN TO NEW PRIVATE STORM INLETS WITHIN THE SITE AND WILL OUTFALL TO THE EXISTING PUBLIC STORM DRAIN SYSTEM. THE FULLY DEVELOPED PROJECT WILL RESULT IN AN INCREASE IN DEVELOPED STORMWATER RUNOFF GENERATED DUE TO THE NEW IMPERVIOUS BUILDING AND PAVED AREAS. CALCULATIONS BASED ON THE CURRENT DPM PROCEDURE FOR A 40 ACRE OR SMALLER SITE SHOWN BELOW DEMONSTRATE THAT THE PROPOSED PEAK DISCHARGE FOR A 100 YEAR, 6 HOUR STORM EVENT GENERATED BY THE FULLY DEVELOPED SITE WILL BE 26.9 CFS, WHICH IS LESS THAN THE ALLOWABLE MASTER PLAN FREE DISCHARGE RATE OF 29.7 CFS NOTED ABOVE.

DUE TO THE GENERAL, CONSISTENT SLOPE OF THE SITE FROM NORTHWEST TO SOUTHEAST, AND COORDINATION COMPROMISES TO THE SITE DEVELOPMENT WITH THE NEIGHBORING PROPERTY OWNERS, THIS SITE AS FULLY DEVELOPED DOES NOT HAVE THE OPPORTUNITY TO INCLUDE STORMWATER HARVESTING DETENTION PONDING IMPROVEMENTS NECESSARY TO COMPLY WITH THE CITY OF ALBUQUERQUE DPM AND CURRENT STORMWATER QUALITY ORDINANCE REQUIREMENTS TO CAPTURE AND TREAT THE FIRST FLUSH STORM EVENT GENERATED BY THE SITE. CALCULATIONS INCLUDED BELOW DEMONSTRATE THE REQUIRED STORMWATER QUALITY VOLUME GENERATED BY THE DEVELOPED SITE TO BE 8,510 CF. AS SUCH, THIS PROJECT ANTICIPATES UTILIZING THE ALTERNATIVE 'PAYMENT-IN-LIEU' OPTION NOTED IN THE COA DPM SECTION 6-12(C)(1), TO BE COORDINATED BETWEEN THE DEVELOPMENT OWNER AND THE CITY HYDROLOGY ENGINEER.

CALCULATIONS:

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE =	1
B. $P_{100, 6 HR} = P_{30} =$	2.17 IN
C. TOTAL PROJECT AREA (A _T) =	310,241 SF 7.12 AC

D. LAND TREATMENTS

PROJECT SITE	EXISTING LAND TREATMENT		PROJECT SITE	DEVELOPED LAND TREATMENT	
	AREA (SF/AC)	%		AREA (SF/AC)	%
A	310,241 SF 7.12 AC		A	310,241 SF 7.12 AC	
B	283,079 SF 6.04 AC	85%	B	33,621 SF 0.77 AC	11%
C			C	33,620 SF 0.77 AC	11%
D	47,162 SF 1.08 AC	15%	D	243,000 SF 5.58 AC	78%

HYDROLOGY

A. EXISTING CONDITION 100 YEAR STORM

1. PROJECT SITE	
a. VOLUME 100-YR. 6-HR	
$WTe = (E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D) / A_T$	
$\Rightarrow (0.55 \cdot 0.00) + (0.73 \cdot 6.04) + (0.95 \cdot 0.00) + (2.24 \cdot 1.08) / 7.12 =$	0.96 IN
$V_{100, 6 HR} = (E_W / 12) \cdot A_T$	24,820 CF
b. PEAK DISCHARGE 100-YR	
$Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$	
$\Rightarrow (1.54 \cdot 0.00) + (2.16 \cdot 6.04) + (2.87 \cdot 0.00) + (4.12 \cdot 1.08) =$	17.5 CFS

B. DEVELOPED CONDITION 100 YEAR STORM

1. PROJECT SITE	
a. VOLUME 100-YR. 6-HR	
$WTe = (E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D) / A_T$	
$\Rightarrow (0.55 \cdot 0.00) + (0.73 \cdot 0.77) + (0.95 \cdot 0.77) + (2.24 \cdot 5.58) / 7.12 =$	1.94 IN
$V_{100, 6 HR} = (E_W / 12) \cdot A_T$	50,160 CF
b. STORM WATER QUALITY VOLUME (FIRST FLUSH) GENERATED	
$V_{90\%} = (P_{90} / 12) \cdot A_D$	0.1952 AC-FT = 8,510 CF
c. STORM WATER QUALITY - PAYMENT IN LIEU VARIANCE REQUEST	
$\Rightarrow \$8.00 \text{ PER CF FIRST FLUSH GENERATE} \times 8510 \text{ CF} =$	\$68,080.00
d. PEAK DISCHARGE 100-YR	
$Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$	
$\Rightarrow (1.54 \cdot 0.00) + (2.16 \cdot 0.77) + (2.87 \cdot 0.77) + (4.12 \cdot 5.58) =$	26.9 CFS

C. COMPARISON 100 YEAR STORM

1. PROJECT SITE	
a. VOLUME 100-YR. 6-HR	
$V_{100, 6 HR} = (P_{90} / 12) \cdot A_D$	25,340 CF (INCREASE)
b. PEAK DISCHARGE 100-YR	
$\Delta Q_{100} = 26.9 - 17.5 =$	9.4 CFS (INCREASE)

*DEVELOPED 26.9 CFS GENERATED < 29.7 CFS FREE DISCHARGE ALLOWED PER PLAZA AT PASEO DEL NORTE MASTER PLAN

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM BY ALDRICH LAND SURVEYING, NMPS 7719, DATED 11-05-2021 AND RECORDED 12-09-2021. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY ALDRICH LAND SURVEYING, NMPS 7719, DATED 11-05-2021 AND RECORDED 12-09-2021. THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 03/24/2021 (2021.012.1).

HIGH MESA Consulting Group

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesagroup.com

DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER



10-19-2022

PROJECT

SEDONA WEST
EAGLE RANCH ROAD
ALBUQUERQUE, NM 87114

REVISIONS

ADDENDUM 002 - BUILDING
PERMIT COMMENTS

DRAWN BY J.Y.R.

REVIEWED BY G.M.

DATE 10/19/2022

PROJECT NO. 19-0058

DRAWING NAME

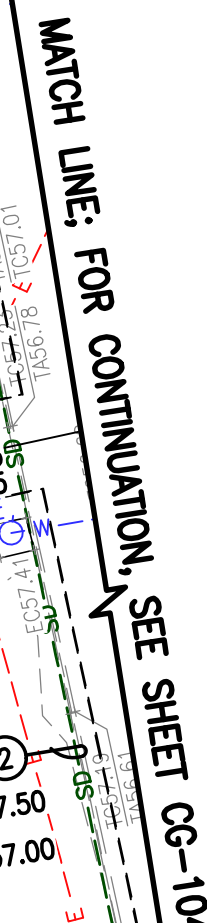
OVERALL
GRADING PLAN

2021.012.4

SHEET NO.

CG100

OF



CONDUIT AND LIGHTING CABLES	— E — E — E —
YELLOW — GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	— G — G — G —
ORANGE — COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	— C — C — C —
ORANGE — COMMUNICATION, FIBER OPTIC LINES	— FO — FO — FO —
BLUE — POTABLE WATER	— W — W — W —
BLUE — WATER FROM RECORD DWG	— WF — WF — WF —
— GAS — GAS — GAS —	
GREEN — SANITARY SEWER AND DRAIN LINES	— S — S — S —
GREEN — SANITARY SEWER FROM RECORD DWG	— SAS FRD — SAS FRD —
GREEN — STORM DRAIN LINES	— SD — SD — SD —

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION

APPROVED

DATE: 12/2/2022
BY: Wagner Chan

HydroTrans # C13D001

THE APPROVAL OF THESE AND ANY OTHER MAPS SHALL NOT BE
CONSIDERED TO IMPLY VALIDATION OF ANY CITY, COUNTY,
ORGANISM OR STATE LAW, AND SHALL NOT PREVENT
CITY OF ALBUQUERQUE FROM ENFORCING ANY
CITY, COUNTY OR STATE LAW, OR ANY OTHER
SPECIFICATIONS OR REGULATIONS, SUCH AS APPROVED HAZARD
MAPS, NOT BE CHANGING, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.

2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE PROJECT CAN BE COMPLETED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.

3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY MAPS CONDUCTED BY THIS FIRM DATED 03/24/2021 AND INCLUDED AS SHEET SHEET VF-101 TO VF-104 OF THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED--IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INFORMATION MAY BE INCOMPLETE AND MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL UTILITIES UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

5. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL BE REMOVED COMPLETELY. ANY UTILITIES WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.

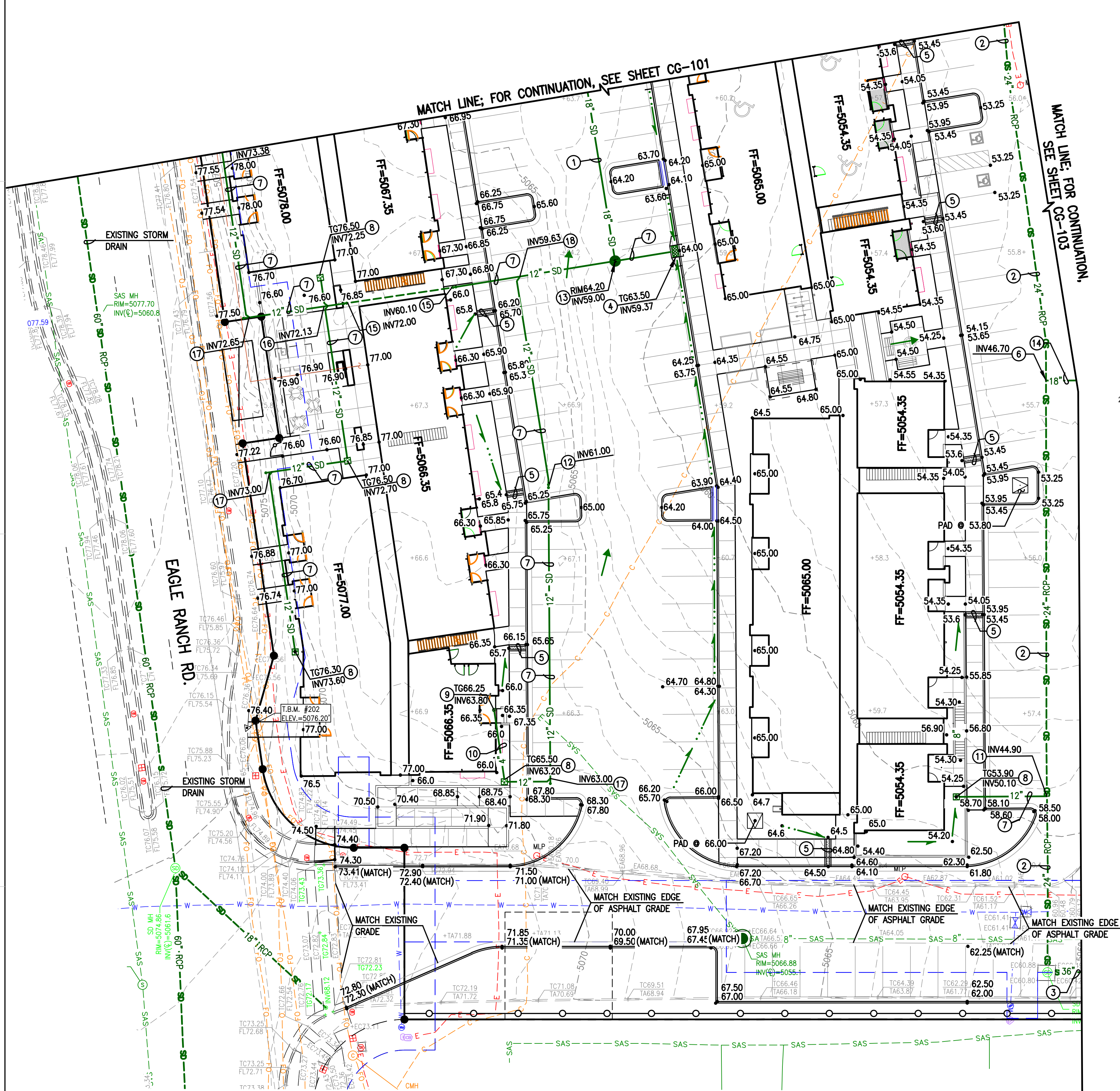
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

7. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT THE FINISHED GRADES INDICATED. THE CONTRACTOR SHALL MAKE IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

2021.012.4

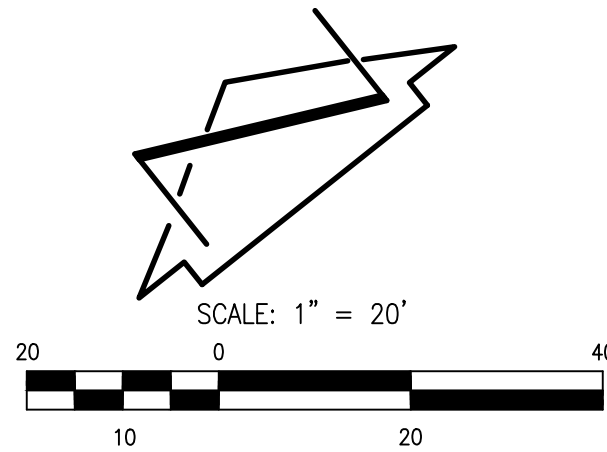
6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

_____ OF



KEYED NOTES:

1. INSTALL 18" HDPE STORM DRAIN
2. EXISTING 24" RCP PUBLIC STORM DRAIN (TO REMAIN)
3. EXISTING 36" RCP PUBLIC STORM DRAIN (TO REMAIN)
4. CONSTRUCT SINGLE 'C' STORM INLET PER TYPICAL SECTIONS, SHEET CG-501
5. CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET CG-502
6. REMOVE EXISTING 18" PRIVATE STORM DRAIN LINE CONNECTION TO EXISTING 24" RCP PUBLIC STORM DRAIN, INSTALL NEW 18" HDPE STORM DRAIN PIPE CONNECTION
7. INSTALL 12" PVC SDR-35 STORM DRAIN
8. INSTALL 18" PRECAST NYLOPLAST STORM DRAIN BASIN, TYPICAL
9. INSTALL 4" PATIO DRAIN
10. INSTALL 4" PVC SDR-35 STORM DRAIN
11. CONNECT 12" STORM DRAIN TO EXISTING 24" STORM DRAIN WITH INSERT-A-TEE
12. INSTALL DOUBLE CLEANOUT TO GRADE
13. CONSTRUCT 4' DIAMETER STORM DRAIN MANHOLE PER TYPICAL SECTIONS, SHEET CG-501
14. REMOVE AND REPLACE EXISTING 18" STORM DRAIN WITH 18" HDPE STORM DRAIN PIPE
15. INSTALL DOUBLE CLEANOUT TO GRADE; CONNECT 12" STORM DRAIN LINE TO BUILDING PIPING, FOR CONTINUATION UNDER BUILDING FOOTPRINT, SEE PLUMBING
16. INSTALL 12"x12"x12" DOUBLE 90° WYE
17. INSTALL 12" 90° WYE WITH SINGLE CLEANOUT TO GRADE
18. INSTALL 12" 90° WYE



PROJECT BENCHMARK

AN 3 1/4" AGRS ALUMINUM DISK STAMPED "11-C13", SET FLUSH IN THE NORTHEAST CONCRETE BRIDGE ABUTMENT OF PASEO DEL NORTE OVER COORS BOULEVARD NW. ELEVATION = 5031.88 FEET (NAVD 1988)

TEMPORARY BENCHMARK #201 (T.B.M.)

A 60d NAIL, SET IN CONCRETE JOINT NEAR THE NORTHWEST CORNER OF THE PROJECT SITE APPROXIMATELY 22.8' SOUTHWEST OF THE NORTHWEST PROPERTY CORNER, AS SHOWN ON THIS SHEET. ELEVATION = 5072.42 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.)

A 60d NAIL, SET IN CONCRETE JOINT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE APPROXIMATELY 21.3' NORTHEAST OF THE TOP OF A WHEEL CHAIR RAMP, AS SHOWN ON THIS SHEET. ELEVATION = 5076.20 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE CENTER OF THE PROJECT SITE APPROXIMATELY 1.1' EAST OF THE EAST ASPHALT CURB, AS SHOWN ON THIS SHEET. ELEVATION = 5056.78 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE NORTHEAST CORNER OF THE PROJECT SITE APPROXIMATELY 26.6' SOUTH OF THE SOUTHEAST CORNER OF A CONCRETE PAD, AS SHOWN ON THIS SHEET. ELEVATION = 5052.58 FEET (NAVD 1988)

TEMPORARY BENCHMARK #205 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE APPROXIMATELY 1.4' SOUTHWEST OF THE END OF A CONCRETE CURB LIP, AS SHOWN ON THIS SHEET. ELEVATION = 5049.36 FEET (NAVD 1988)

APWA UTILITY COLOR CODE

RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	-E-----E-----E-----
YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS	-G-----G-----G-----
ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	-C-----C-----C-----
ORANGE - COMMUNICATION, FIBER OPTIC LINES	-FO-----FO-----FO-----
BLUE - POTABLE WATER	-W-----W-----W-----
BLUE - WATER FROM RECORD DWG	-W FRD-----W FRD-----W FRD-----
GREEN - SANITARY SEWER AND DRAIN LINES	-SAS-----SAS-----SAS-----
GREEN - SANITARY SEWER FROM RECORD DWG	-SAS FRD-----SAS FRD-----SAS FRD-----
GREEN - STORM DRAIN LINES	-SD-----SD-----SD-----

LEGEND:

SD	PROPOSED STORM DRAIN
SD	EXISTING STORM DRAIN
SD	PROPOSED MANHOLE
SD	PROPOSED INLET
SD	EXISTING CONTOUR
SD	PROPOSED ELEVATION
SD	PROPOSED DIRECTION OF FLOW
SD	EXISTING EASEMENT LINE
SD	PROPOSED EASEMENT LINE
SD	EXISTING BOUNDARY LINE
SD	PROPOSED BOUNDARY LINE
SD	PROPOSED RETAINING WALL
SD	PROPOSED FLOW LINE

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 03/24/2021 AND INCLUDED AS SHEET VF-101 TO VF-104 OF THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
7. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
8. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
9. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

NOTE:

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2021.012.4

HIGH MESA Consulting Group

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PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER



PROJECT

SEDONA WEST
EAGLE RANCH ROAD
ALBUQUERQUE, NM 87114

REVISIONS

ADDENDUM 002 - BUILDING PERMIT COMMENTS

DRAWN BY J.Y.R.

REVIEWED BY G.M.

DATE 10/19/2022

PROJECT NO. 19-0058

DRAWING NAME

GRADING PLAN

SHEET NO.

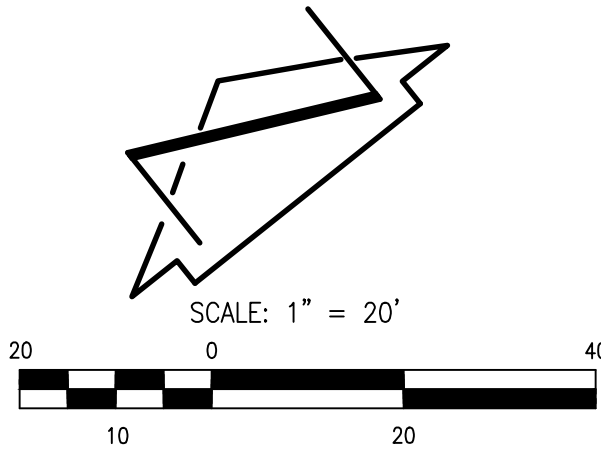
CG102

OF



KEYED NOTES:

1. INSTALL 18" HDPE STORM DRAIN
2. INSTALL 24" HDPE STORM DRAIN
3. EXISTING 12" RCP PUBLIC STORM DRAIN (TO REMAIN)
4. EXISTING 36" RCP PUBLIC STORM DRAIN (TO REMAIN)
5. CONSTRUCT SINGLE 'C' STORM INLET PER TYPICAL SECTIONS, SHEET CG-501
6. REMOVE EXISTING SINGLE 'C' STORM INLET; CONSTRUCT SINGLE 'D' STORM INLET PER TYPICAL SECTIONS, SHEET CG-501
7. INSTALL 12" PVC SDR-35 STORM DRAIN
8. CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET CG-502
9. CONNECT 12" PRIVATE STORM DRAIN TO EXISTING 12" RCP PUBLIC STORM DRAIN
10. CONNECT 24" PRIVATE STORM DRAIN TO EXISTING 36" RCP PUBLIC STORM DRAIN
11. INSTALL 18"x18"x18" TEE
12. ADJUST EXISTING MANHOLES TO GRADE
13. CONSTRUCT 6" DIAMETER PRIVATE STORM DRAIN MANHOLE ON EXISTING PUBLIC STORM DRAIN LINE PER TYPICAL SECTIONS, SHEET CG-501
14. INSTALL 18" 11.25' BEND
15. CONSTRUCT 12" CURB CUT PER TYPICAL SECTION, SHEET CG-502



PROJECT BENCHMARK

AN 3 1/4" AGRS ALUMINUM DISK STAMPED "11-C13", SET FLUSH IN THE NORTHEAST CONCRETE BRIDGE ABUTMENT OF PASEO DEL NORTE OVER COORS BOULEVARD NW. ELEVATION = 5031.88 FEET (NAVD 1988)

TEMPORARY BENCHMARK #201 (T.B.M.)

A 604 NAIL, SET IN CONCRETE JOINT NEAR THE NORTHWEST CORNER OF THE PROJECT SITE APPROXIMATELY 22.8' SOUTHWEST OF THE NORTHWEST PROPERTY CORNER, AS SHOWN ON THIS SHEET.

ELEVATION = 5072.42 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.)

A 604 NAIL, SET IN CONCRETE JOINT NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE APPROXIMATELY 21.3' NORTHEAST OF THE TOP OF A WHEEL CHAIR RAMP, AS SHOWN ON THIS SHEET.

ELEVATION = 5076.20 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE CENTER OF THE PROJECT SITE APPROXIMATELY 1.1' EAST OF THE EAST ASPHALT CURB, AS SHOWN ON THIS SHEET.

ELEVATION = 5056.78 FEET (NAVD 1988)

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A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE NORTHEAST CORNER OF THE PROJECT SITE APPROXIMATELY 26.6' SOUTH OF THE SOUTHEAST CORNER OF A CONCRETE PAD, AS SHOWN ON THIS SHEET.

ELEVATION = 5052.58 FEET (NAVD 1988)

TEMPORARY BENCHMARK #205 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE APPROXIMATELY 1.4' SOUTHWEST OF THE END OF A CONCRETE CURB UP, AS SHOWN ON THIS SHEET.

ELEVATION = 5049.36 FEET (NAVD 1988)

APWA UTILITY COLOR CODE

RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES	-E-E-E-E-E
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ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT	-C-C-C-C-C
ORANGE - COMMUNICATION, FIBER OPTIC LINES	-FO-FO-FO-FO-FO
BLUE - POTABLE WATER	-W-W-W-W-W
BLUE - WATER FROM RECORD DWG	-W FRD -W FRD -W FRD -W FRD
GREEN - SANITARY SEWER AND DRAIN LINES	-SAS -SAS -SAS -SAS -SAS
GREEN - SANITARY SEWER FROM RECORD DWG	-SAS FRD -SAS FRD -SAS FRD -SAS FRD
GREEN - STORM DRAIN LINES	-SD -SD -SD -SD -SD

LEGEND:

SD	PROPOSED STORM DRAIN
SD	EXISTING STORM DRAIN
SD	PROPOSED MANHOLE
SD	PROPOSED INLET
SD	EXISTING CONTOUR
SD	PROPOSED ELEVATION
SD	PROPOSED DIRECTION OF FLOW
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PROJECT

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REVISIONS

ADDENDUM 002 - BUILDING PERMIT COMMENTS

DRAWN BY J.Y.R.

REVIEWED BY G.M.

DATE 10/19/2022

PROJECT NO. 19-0058

DRAWING NAME

GRADING PLAN

SHEET NO.

CG103

OF

KEYED NOTES:

1. INSTALL 18" HDPE STORM DRAIN
2. CONSTRUCT SINGLE 'D' STORM INLET PER TYPICAL SECTIONS, SHEET CG-501
3. CONSTRUCT 12" SIDEWALK CULVERT PER TYPICAL SECTION, SHEET CG-502
4. CONSTRUCT 12" CURB CUT PER TYPICAL SECTION, SHEET CG-502
5. INSTALL 18" PREFABRICATED NYLOPLAST STORM DRAIN BASIN, TYPICAL
6. INSTALL 12" HDPE STORM DRAIN
7. INSTALL 18"x18"x12" HDPE TEE

PROJECT BENCHMARK

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GREEN - STORM DRAIN LINES	-SD -SD -SD -SD -SD

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DRAWN BY J.Y.R.

REVIEWED BY G.M.

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PROJECT NO. 19-0058

DRAWING NAME

GRADING PLAN

SHEET NO.

CG104

OF