

CITY OF ALBUQUERQUE



October 31, 2007

Fred C. Arfman, PE
Isaacson & Arfman, PA
128 Monroe St. NE.
Albuquerque, NM 87108

Re: Sedona West Office Park, The Plaza at Paseo Del Norte
Conceptual Drainage Plan
Engineer's Stamp dated 10/24/2007 (C13/D001)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 10-25-07, the above referenced plan is approved for Site Development for Building Permit Approval Amendmant Action by DRB. A more comprehensive constructive Grading plan will be needed for Building Permit approval.

P.O.Box 1293

If you have any questions, you can contact me at 924-3977.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Sedona West Office Park ZONE MAP/DRG. FILE # C-13 /D0001
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A2A, THE PLAZA AT PASEO DEL NORTH, ALBUQUERQUE, N.M.
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON & ARFMAN, PA CONTACT: FRED ARFMAN
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

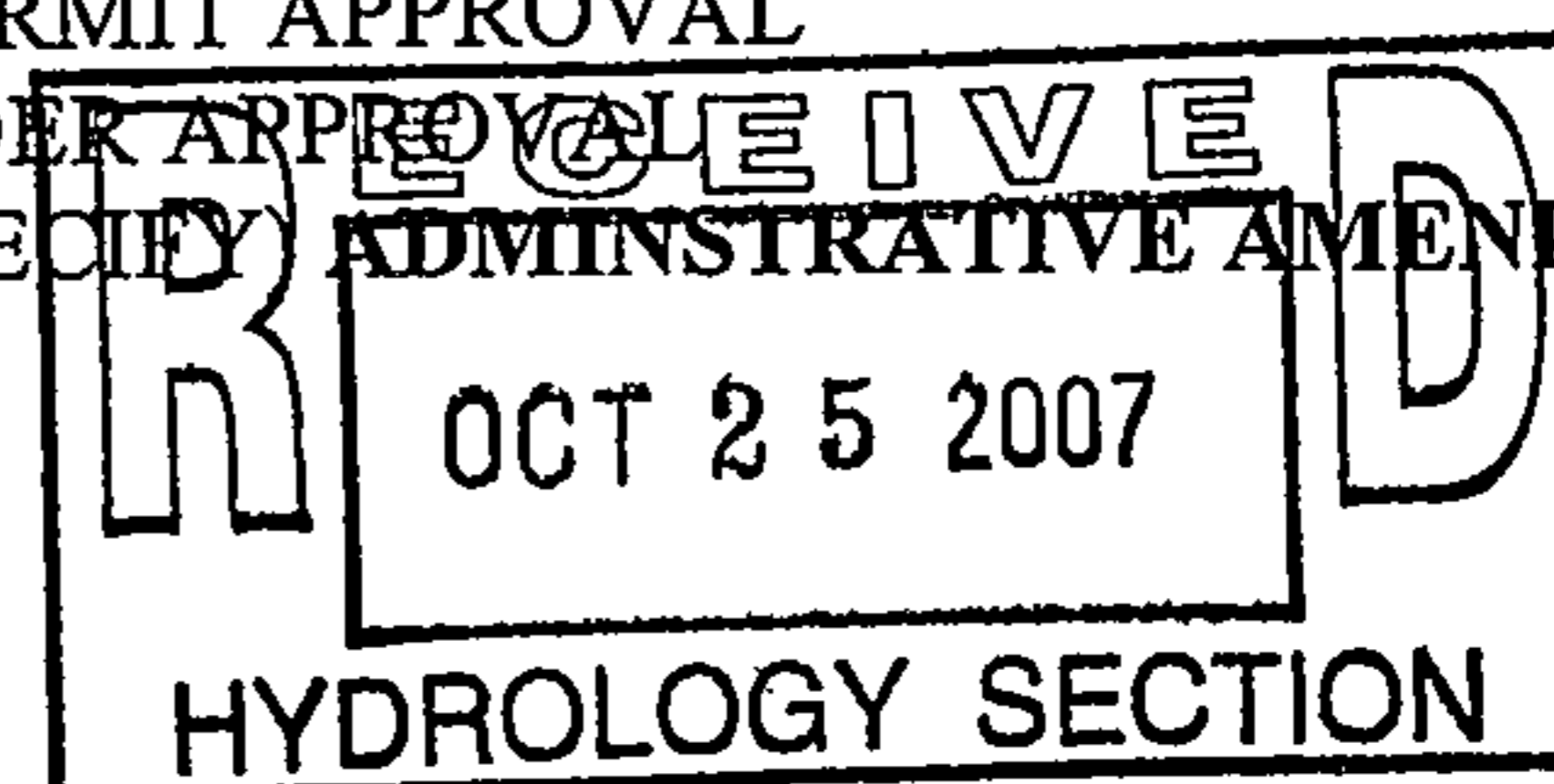
ARCHITECT: DEKKER - PERICH - SABATINI CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: CARTESIAN SURVEYS INC. CONTACT: WILL PLOTNER JR.
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN *Resubmittal*
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER/ARCHITECT CERT (TCL)
____ ENGINEER/ARCHITECT CERT (DRB S.P.)
____ ENGINEER/ARCHITECT CERT (AA)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL *Amendment*
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) **ADMINISTRATIVE AMENDMENT**

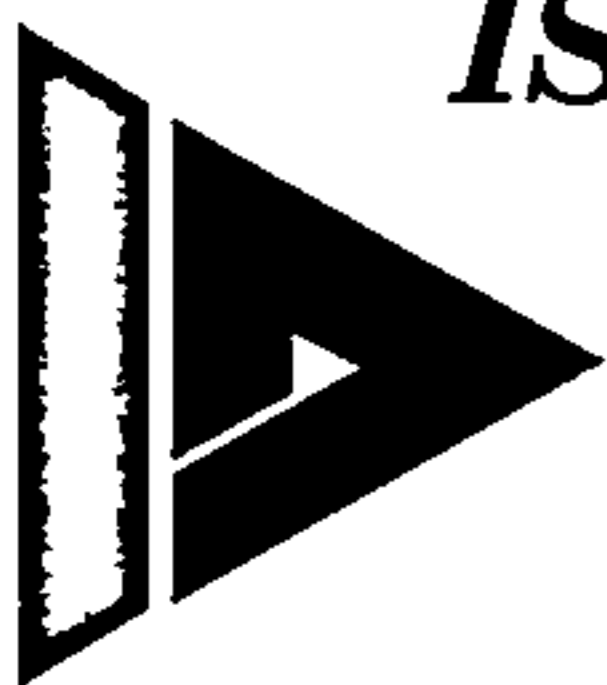


WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

SUBMITTED BY: ISAACSON AND ARFMAN DATE: Friday, October 05, 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

October 24, 2007

Mr. Rudy E. Rael
Associate Engineer
Planning Department
City of Albuquerque

RE: SEDONA WEST (EAGLE RANCH OFFICE PARK) - C13/D0001

Dear Mr. Rael,

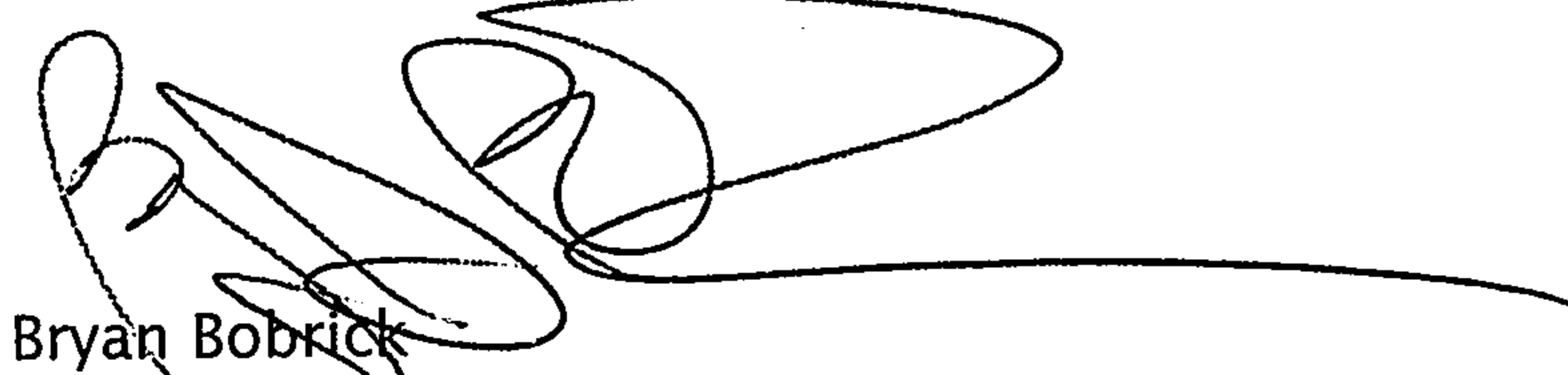
Included with this letter is one copy of the revised Grading and Drainage Plan for the above mentioned property. Revisions made were in response to your comments dated October 19, 2007 as well as changes to the proposed site plan as follows:

1. Plan is stamped, signed and dated
2. Calculations are provided
3. The property is included in the approved Master Drainage Report for Market Center West (MCW) dated 1989 as part of Basin A (copy included with this letter). In the report, developed runoff from this basin was designed to be routed south inside the existing storm drain to be released to the detention pond located on the south side of the MCW property.
4. Regarding off-site flow, the adjacent property to the north (Hobby Lobby) is also part of Basin A and drains to the existing storm drain system passing through this site.
5. Interior retaining walls will be required to achieve the grade transitions shown. Retaining walls will be designed by the clients structural engineer and submitted as part of the building permit set.
6. The existing storm drain system will continue to be the conveyor of site discharge. All new storm drain lines, inlets, inverts, slopes, etc. will be detailed as part of our submittal form building permit.

Please don't hesitate to call me or Fred Arfman at 268-8828 with any questions or comments.

Sincerely,

ISAACSON AND ARFMAN, P.A.



Bryan Bobrick

128 Monroe St. NE • Albuquerque, NM 87108 • (505) 268-8828 • FAX (505) 268-2632