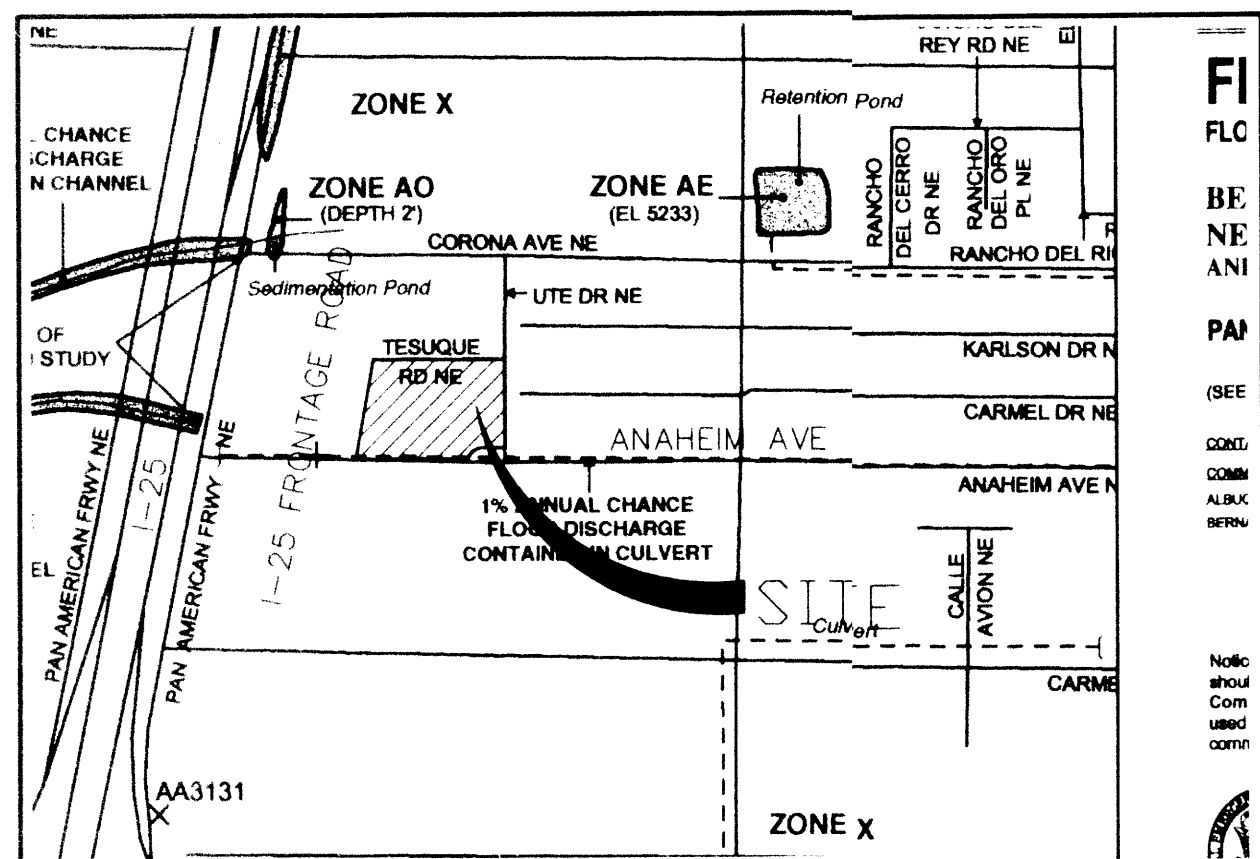




FIRM MAP: 35001C0137F

GENERAL NOTES:

1. ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-9-C18 HAVING AN ELEVATION OF 5236.47 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.
7. DRIVE PADS AND INLET CONSTRUCTION TO BE DONE UNDER THE CITY WORK ORDER.
8. ALLEY GUTTER ON-SITE TO BE BUILT BASED ON CITY STD 2415A.

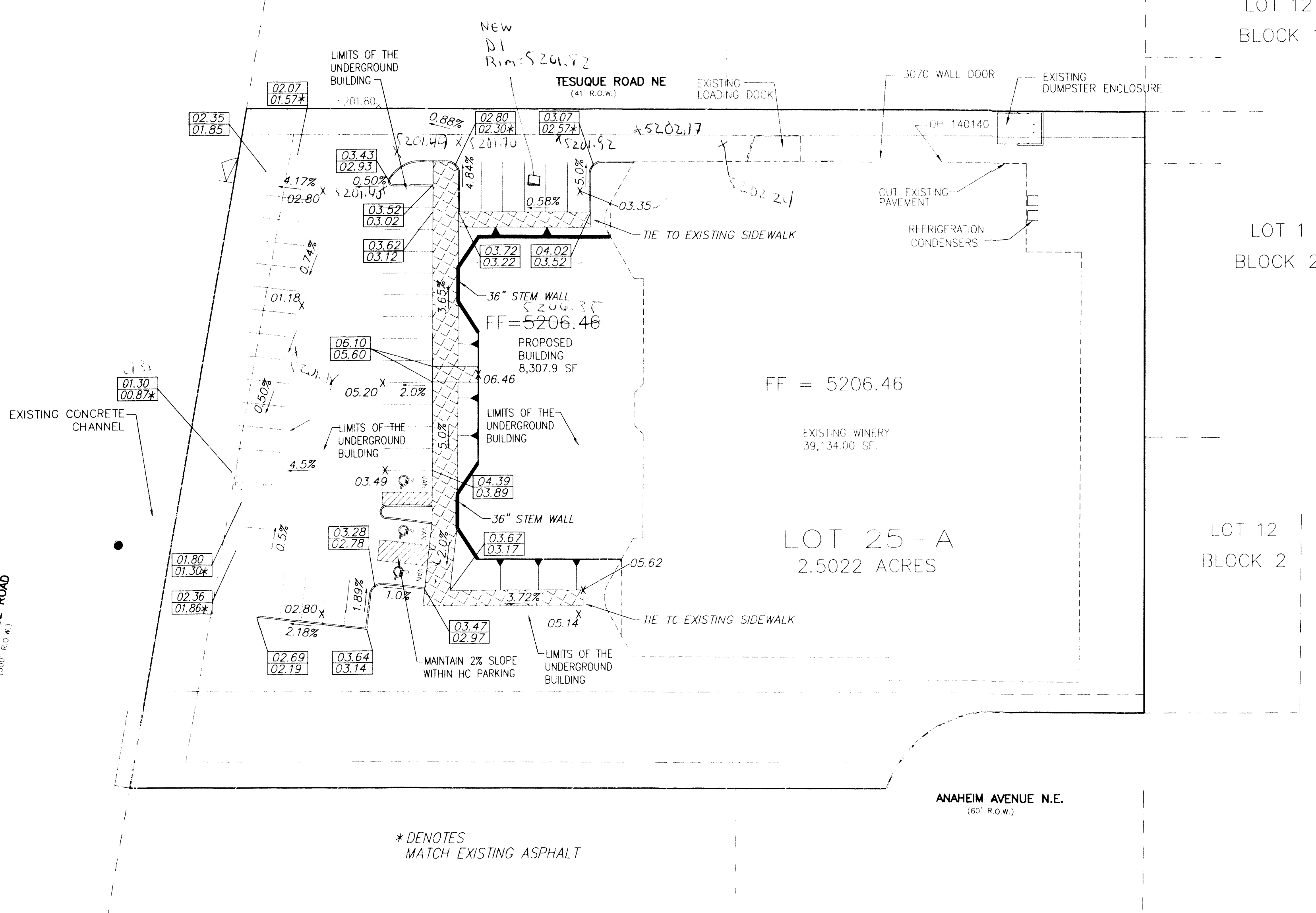
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	100-YEAR WSEL (FROM HEC-RAS OUTPUT)
	FLOODPLAIN LIMITS FROM FEMA MAP
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	EXISTING DROP INLET
	EXISTING STREET LIGHT
	EXISTING ANCHOR
	EXISTING POWER POLE
	EXISTING RIPRAP

I-25 FRONTAGE ROAD
(60' R.O.W.)

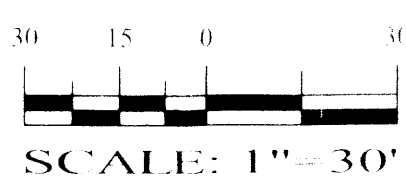


FUTURE TRACT 8-A

BLOCK 16
TRACT A-UNIT B
NORTH ALBUQUERQUE ACRES
FILED: APRIL 24, 1936

FUTURE TRACT 22-A

GRAPHIC SCALE



SCALE: 1" = 30'

ROUGH GRADING APPROVAL

DATE

ISHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08/21/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Final Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE #13479

DATE



VICINITY MAP:

C-18-Z

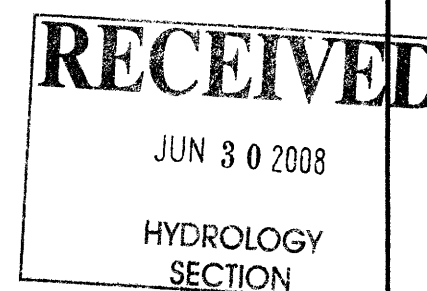
LEGAL DESCRIPTION:

LOT 25-A, BLOCK 15, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
CONTAINING 96922.58' SQUARE FEET (2.22250 ACRES)
MORE OR LESS.

ZONED SU-2 IP

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE. NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

GRUET WINERY ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200619-GR.DWG	SHB	08-21-2007	1 OF 1

SITE DATA

PROPOSED USAGE: BUILDING
LOT AREA: 96,922.58 S.F. (2.2250 ACRES)
TOTAL BUILDING AREA: 62,954.05 S.F.
EXISTING BUILDING AREA: 39,134.00 S.F.
ADDITION BUILDING AREA: 24,962.36 S.F.

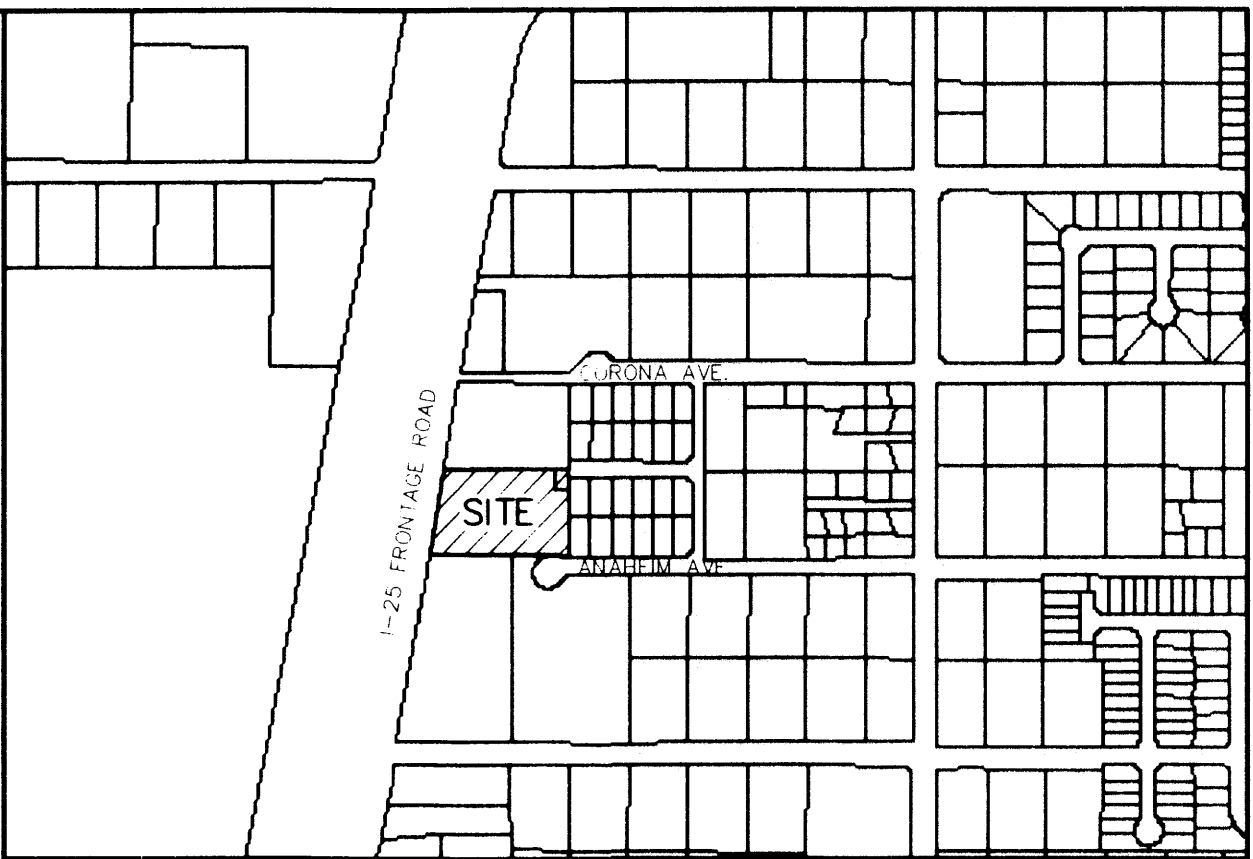
PARKING CALCULATIONS

MANUFACTURING	30,000.00 SF	2,000 SF @ 1/1000	2
EXISTING WAREHOUSE	16,654.77 SF	54,962.36 SF @ 1/2000	28
UNDERGROUND WAREHOUSE	16,654.77 SF		
NEW WAREHOUSE	8,307.59 SF	1,200 SF @ 1/200	6
RECEPTION RETAIL/OFFICE	8,307.59 SF		
WATCHMAN'S QTRS		4,253 SF	2
TOTAL REQUIRED			38
TOTAL PARKING PROVIDED			42
HC PARKING REQUIRED			3
HC PARKING PROVIDED			3
MOTORCYCLE PARKING REQUIRED			2
MOTORCYCLE PARKING PROVIDED			2

LEGEND

	BOUNDARY LINE
	NEW BUILDING
	NEW HEADER CURB
	EXISTING BUILDING
	EXISTING HEADER CURB
	EASEMENT
	NEW SIDEWALK PER COA STD. DWG #

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD
C1	53.25	45.00	67°47'45"	30.24	50.19



VICINITY MAP:

C-18-Z

LEGAL DESCRIPTION:

LOT 25-A, BLOCK 15, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CONTAINING 96922.58 S.F. (2.2250 AC)

GENERAL NOTES:

1. CURRENT ZONING IS SU-2 IP.

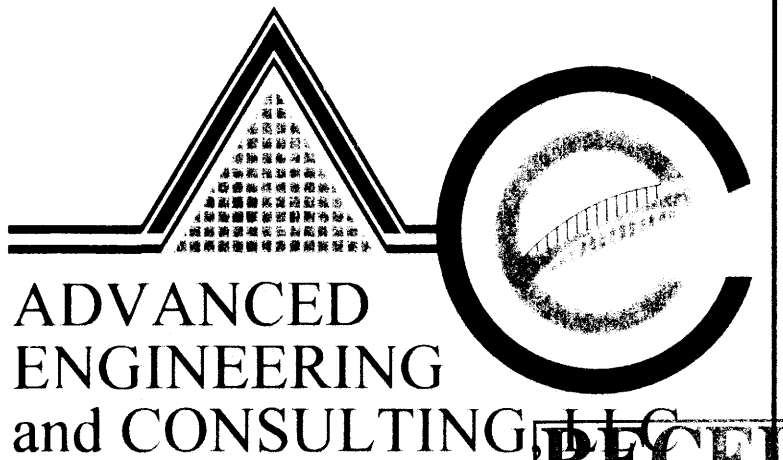
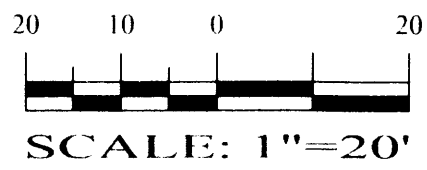
PROJECT NUMBER: 1002691

APPLICATION NUMBER: CDRB-70125

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	7/25/07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	7/25/07
WATER UTILITIES DEPARTMENT	DATE
	7/25/07
PARKS AND RECREATION DEPARTMENT	DATE
	7/25/07
CITY ENGINEER	DATE
	7/25/07
SOLID WASTE MANAGEMENT	DATE
	7/26/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

GRAPHIC SCALE



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVENUE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

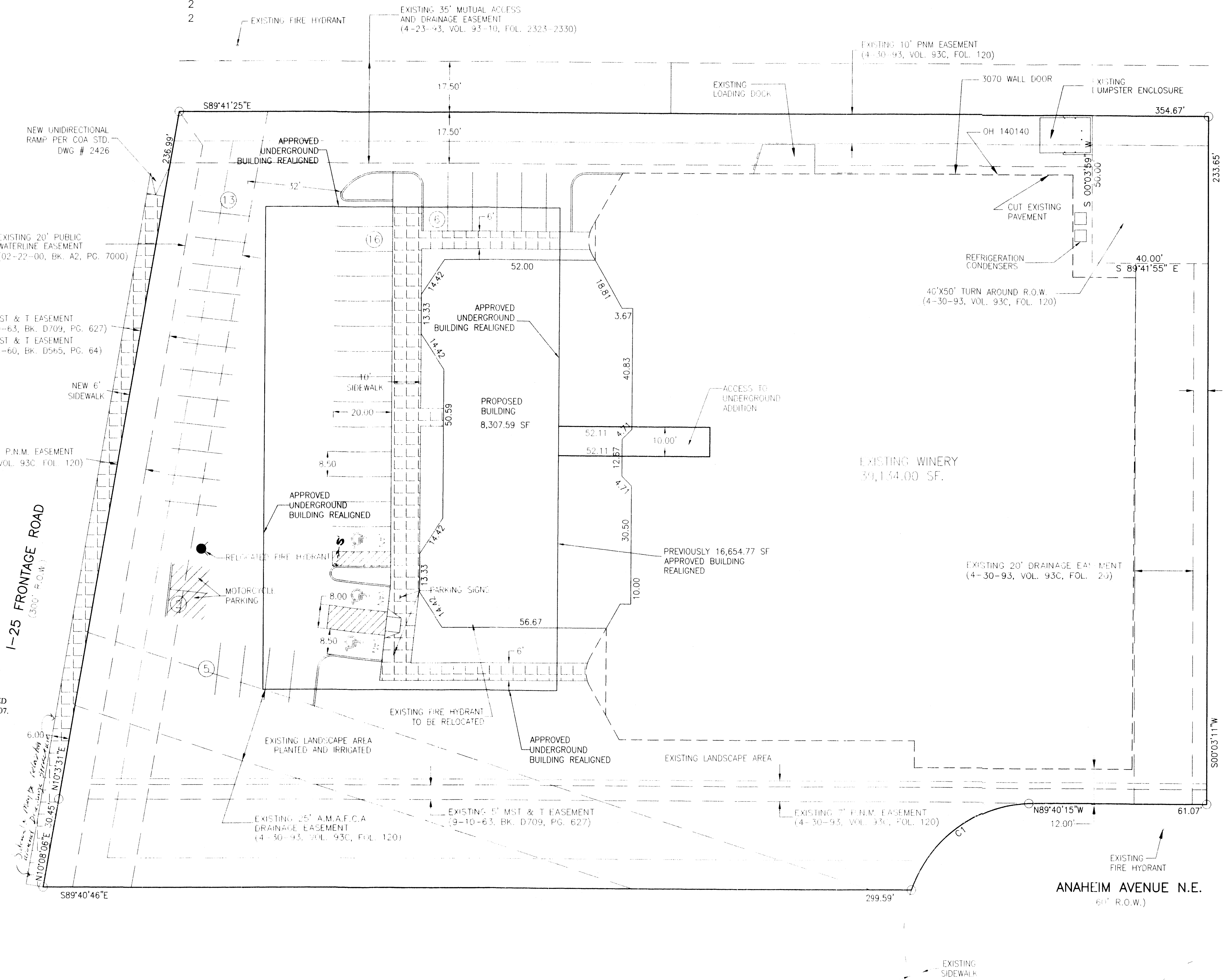
JUN 27 2008

HYDROLOGY
SECTION

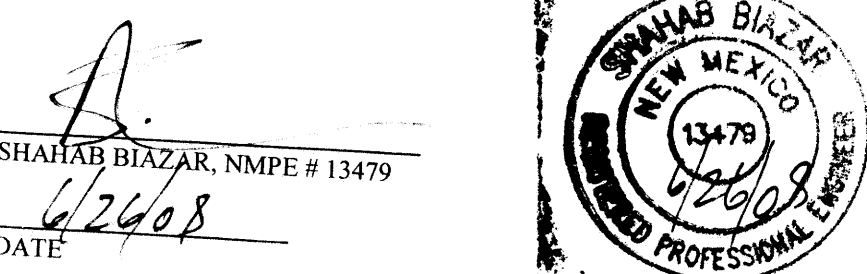
GRUET WINERY

SITE PLAN AMENDMENT FOR BUILDING PERMIT

DRAWING	DRAWN BY	DATE	SHEET #
200619-SITE.DWG	JT	04-08-07	1 OF 1



I SHAHAB BIAZAR, A REGISTERED ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED AMENDED SITE PLAN (BY CITY TRANSPORTATION) DATED JULY 25, 2007. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON JUNE 25, 2008.



EXISTING CHAIN LINK FENCE

FLOW LINE

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

PROPOSED CONTOURS 1.0' INTERVALS

EXISTING CONTOURS 1.0' INTERVALS

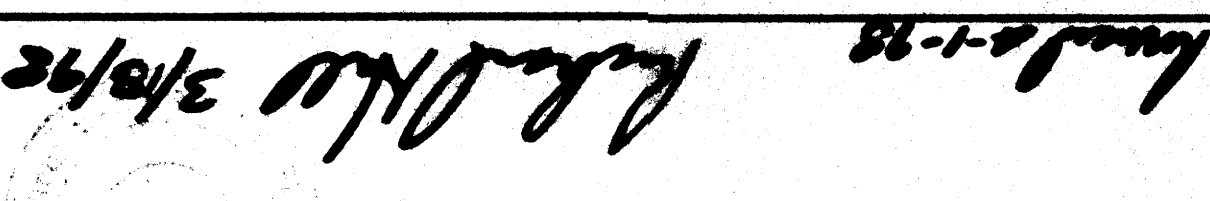
56.0

58.0

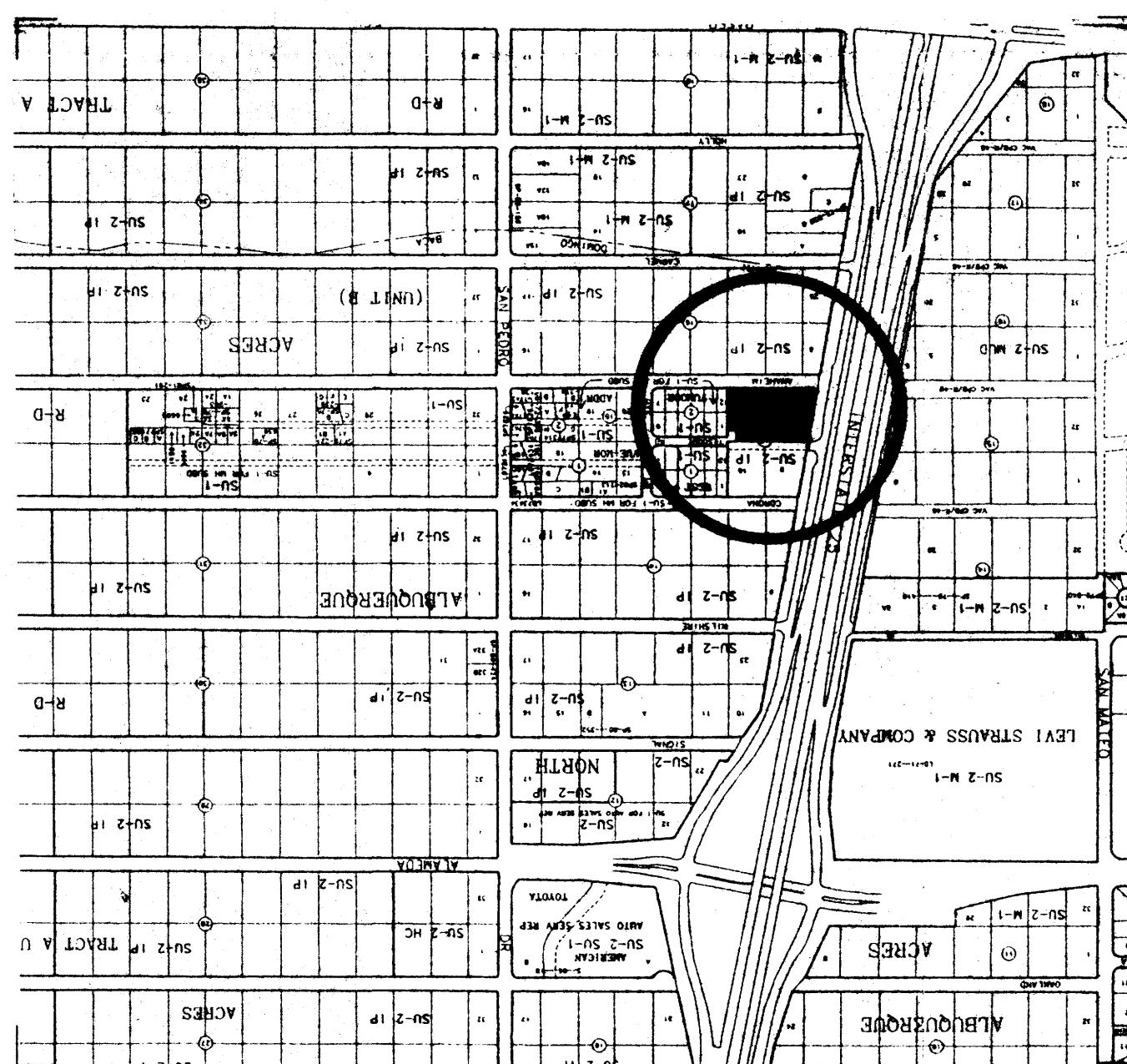
58.0

56.0

ANAHAIM AVENUE N.E.



C-18-Z



BENCH MARK
 9-C18 ACS ALUMINUM CAP IN SW QUADRANT OF
 WILSHIRE AVENUE AND SAN PEDRO DRIVE, NE
 ELEV. 5229.79
 T.B.M.
 TOP OF CONCRETE HEADWALL, NORTH SIDE OF CONCRETE BOX CULVERT
 RUNNING UNDER I-25
 ELEV. 5199.41

[illegible]

DRAINAGE DATA

10,800 SQUARE FOOT BUILDING ANNEX.
IS TO BE CONSTRUCTED. GRADING IS LIMITED TO OUTLINE DELINEATED HEREON.
FINAL CONSTRUCTION OF PERMANENT STREET IMPROVEMENTS, RUNOFF FROM THIS
AREA IS TO BE DIRECTED, WITHIN THE CONFINES OF THIS PROPERTY, VIA A GRADE
DRAIN TO AN OUTFALL POINT AT THE PLATTED M.A.F.C. EASEMENT.
GRADING AND LINING IMPROVEMENTS ALONG SOUTHERLY LINE ARE TEMPORARY AND
ARE TO BE CONSTRUCTED AND ABANDON IN PLACE UNTIL STREET IMPROVEMENTS
ARE COMPLETED AND AN APPROPRIATE LOCATION OF A SIDEWALK CULVERT IS
DETERMINED.

THE AREA TO BE BUILT UPON IS AN UNPAVED AND UNIMPROVED PORTION OF THE LOT. THERE IS NO PERENNIAL GROWTH WITHIN IT, WITH LITTLE EXCEPTION, EXPOSED SOIL SURFACE HAS BEEN COMPACTED BY VEHICULAR ACTIVITY, FOR THE PURPOSE OF CALCULATIONS, IT HAS BEEN GIVEN TREATMENT VALUE "C".

EXISTING ON-SITE CONDITIONS

DRAINAGE PLAN

A NEW ADDITION FOR
GRUET WINERY
8400 PAN AMERICAN FRWY N.E.
ALBUQUERQUE, NEW MEXICO

FILE # 756SITE
10 DEC 97

RECEIVED
APR 1 1998
HYDROLOGY SECTION