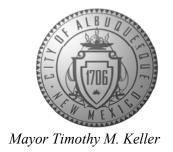
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



April 6, 2022

David Thompson, P.E. Thompson Engineering P.O. Box 65760 Albuquerque, NM 87193

RE: High Assets Assisted Living

Address not provided: High Assets Way & All Saints Way

Grading and Drainage Plan Engineer's Stamp Date: 2/16/22 Hydrology File: C13D016H

Dear Mr. Thompson:

Based upon the information provided in your submittal received 2/16/22, the Grading & Drainage Plan **is not** approved Grading Permit or Final/Preliminary Plat. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

General Notes

Albuquerque

1. Potentially break this up into basins/sheet. Looking at it initially, there is a lot of information and is a bit confusing. Will the proposed plat create one lot out of the site? If not separate proposed lots.

NM 87103

- a. Basin 1 & 2 on a sheet
- b. Basin 3 on second sheet.
- c. Please clearly identify any property lines.
- 2. If any drainage crosses lots, please show allowances for cross lot drainage.

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- 3. If it is phased, what will interim grading look like?
- a. Does the site need a sediment pond for the interim?4. For the basin map, please make the basin delineation larger.
 - a. It does not look like the basins delineate flow do they? I would hope that is the case but it is not apparent.
 - b. Please show a water block or some delineation based on grades that show physical separation of the basins.
- 5. These appear to be detention ponds for the most part. Any retention needs to utilize calculations for the 100 year 10 day storm. Please clarify.
- 6. An SO-19 Permit will be required and should be included on the request. Please include the standard SO-19 notes on the grading plan.
- 7. Part of Basin 3 is discharging into Pond A which is in basin 1.
- 8. Please clearly show existing survey information especially where the site ties into existing infrastructure/grades.
- 9. Please provide sections of the pond with retention volume elevation, 100 year elevation, outfall elevation, bottom, etc...

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10. Reference all standard details.

a. Culvert, entrances etc...

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E. Senior Engineer, Hydrology Planning Department

Du Gul

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title:	Building F	Permit #: Hydrology File #:	Hydrology File #:	
		Work Order#:		
Legal Description:				
City Address:				
A 11 /				
		Contact:		
Address:				
Phone#:	Fax#:	E-mail:		
Owner:		Contact:		
Address:				
		E-mail:		
TYPE OF SURMITTAL: PI	AT (2 # OF LOTS)	RESIDENCE DRB SITE ADMIN SITE		
IS THIS A RESUBMITTAL?:	res	N0		
DEPARTMENT: TRAFFIC	TRANSPORTATION _	HYDROLOGY/ DRAINAGE		
Check all that Apply:				
		TYPE OF APPROVAL/ACCEPTANCE SO	UGHT:	
TYPE OF SUBMITTAL:		BUILDING PERMIT APPROVAL		
ENGINEER/ARCHITECT CE	ERTIFICATION	CERTIFICATE OF OCCUPANCY		
PAD CERTIFICATION		PRELIMINARY PLAT APPROVAL		
CONCEPTUAL G & D PLAN		SITE PLAN FOR SUB'D APPROVAL		
GRADING PLAN		SITE PLAN FOR BLDG. PERMIT APPROVAL		
DRAINAGE MASTER PLAN		FINAL PLAT APPROVAL		
DRAINAGE REPORT		SIA/ RELEASE OF FINANCIAL GUARANTEE		
FLOODPLAIN DEVELOPME	ENT PERMIT APPLIC	FOUNDATION PERMIT APPROVAL		
ELEVATION CERTIFICATE		GRADING PERMIT APPROVAL		
CLOMR/LOMR		SO-19 APPROVAL		
TRAFFIC CIRCULATION LAYOUT (TCL)		PAVING PERMIT APPROVAL		
TRAFFIC IMPACT STUDY (TIS)		GRADING/ PAD CERTIFICATION		
OTHER (SPECIFY)		WORK ORDER APPROVAL		
PRE-DESIGN MEETING?		CLOMR/LOMR		
		FLOODPLAIN DEVELOPMENT PERM	ПТ	
		OTHER (SPECIFY)		

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:_____

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR PROPOSED HIGH ASSETS ASSISTED LIVING FACILITY, LOCATED ON HIGH ASSETS WAY NW, IN ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS C-13-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE SOUTH SIDE OF HIGH ASSETS WAY NW, AND NORTH SIDE OF ALL SAINTS ROAD NW, EAST OF EAGLE RANCH ROAD NW NEAR PASEO DEL NORTE BOULEVARD NW.

THE SITE IS CURRENTLY VACANT WITH DEVELOPED PROPERTIES SURROUNDING.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

CURRENTLY THE SITE IS VACANT AND GENERALLY DRAINS FROM NORTH-WEST TO SOUTH-EAST. ALL SAINTS ROAD NW, IS PARTIALLY DEVELOPED AND WILL NEED TO HAVE THE CURB AND GUTTER ADDED TO THE NORTH SIDE WITH THIS DEVELOPMENT. CURB AND GUTTER ALONG HIGH ASSETS WAY NW, ARE COMPLETED ALONG THE PARCELS NORTH AND WESTERN SIDES. SIDEWALKS WILL ALSO NEED TO BE CONSTRUCTED ALONG ALL STREET FRONTAGES WITH THIS PROJECT.

THE PRE-DEVELOPED PEAK RUNOFF RATE FROM THE SITE IS 10.64 CFS. CURRENT DISCHARGE IS 2.36 CFS.

VI. PROPOSED DRAINAGE CONDITIONS

THIS SITE WILL BE DEVELOPED IN TWO PHASES. THE FIRST PHASE WILL BE TO CONSTRUCT A SINGLE STORY ASSISTED LIVING FACILITY ON THE EASTERN PORTION OF THE SITE. PHASE 2 WILL INCLUDE CONSTRUCTION OF A 4 STORY INDEPENDENT LIVING FACILITY.

FOR THE PURPOSED OF THIS STUDY, THE SITE HAS BEEN DIVIDED INTO THREE BASINS. PRO BASIN 1 AND 2 ARE LOCATED ON THE WESTERN PART OF THE SITE AND ARE USED TO EVALUATE THE HYDROLOGY AND HYDRAULICS FOR THE PHASE 2 PORTION OF THE SITE.

A PRE-DESIGN CONFERENCE WAS CONDUCTED WITH CITY HYDROLOGY AND THE SITE DISCHARGE IS LIMITED TO 1.59 CFS/ACRE. TO REDUCE THE FLOW RATE EACH BASIN WILL CONTAIN A RETENTION/DETENTION POND THAT WILL ATTENUATE THE PEAK SURGE DOWN TO THE 1.59 CFS/ACRE.

PRO BASIN 1 CONTAINS 67,248 SQUARE FEET AND GENERATES A PEAK RUNOFF RATE OF 5.25 CFS DURING THE 100 YR 6 HOUR EVENT. POND A HAS BEEN SIZED TO ALLOW FOR THE INCOMING 5.25 CFS TO BE DETAINED AND TO ONLY RELEASE 2.45 CFS. POND A NEEDS TO DETAIN 3,677 CUBIC FEET AND HAS BEEN SIZED TO CONTAIN 4,332 CUBIC FEET OF STORM WATER RUNOFF. AN 8" PVC STORM DRAIN DISCHARGE LINE WILL DRAIN THE ALLOWABLE 2.45 CFS TO THE EAST TO A CONCRETE TAILWALL STRUCTURE CONNECTED TO THE DRIVELANE CURB AND GUTTER. AN EMERGENCY OVERFLOW HAS BEEN INCLUDED VIA A 2' WIDE CONCRETE CHANNEL WILL DIRECT THE EXCESS RUNOFF TO HIGH ASSETS WAY. POND A WILL ALSO CONTAIN THE REQUIRED WATER QUALITY VOLUME OF 1,648 CUBIC FEET. THE BERM SURROUNDING THE LOWER PART OF THE POND WILL BE SET AT 6" ABOVE THE FLOWLINE OF THE CONCRETE CHANNEL. WATER FROM THE PARKING AREA WEST OF THE BUILDING WILL BE CONVEYED VIA A VALLEY GUTTER TO TWO 24" DIAMETER HDPE CATCH BASINS AND THEN VIA 18" HDPE STORM DRAIN PIPING TO POND A.

PRO BASIN 2, CONTAINS 40,365 SQUARE FEET AND GENERATES A PEAK RUNOFF RATE OF 3.45 CFS DURING THE 100 YEAR, 6 HOUR EVENT. SIMILAR TO BASIN 1, EXCESS RUNOFF IS ROUTED TO A POND TO RESTRICT RUNOFF TO BELOW 1.59 CFS/ACRE. POND B WILL HAVE AN INCOMING FLOW RATE OF 3.45 CFS AND AN OUTFLOW OF 1.47 CFS. THE POND CAN CONTAIN 3,860 CUBIC FEET, THAT IS MORE THAN THE REQUIRED OF 2,607 CUBIC FEET TO ATTENUATE THE PEAK RUNOFF RATE, AND TO CONTAIN THE 1,130 CUBIC FEET OF WATER QUALITY VOLUME. WATER FROM THE PARKING AREA SOUTH OF THE BUILDING WILL BE CONVEYED VIA A VALLEY GUTTER TO TWO 24" DIAMETER HDPE CATCH BASINS AND THEN VIA 18" HDPE STORM DRAIN PIPING TO POND B. SIMILAR TO PRO BASIN 1, A SMALL DIAMETER STORM DRAIN PIPE WILL ALLOW FOR A CONTROLLED RELEASE OF THE EXCESS RUNOFF FROM THE POND TO THE BASIN BELOW. THE 6" DISCHARGE PIPE FROM THIS BASIN WILL BE CONNECTED DIRECTLY INTO AN UNDERGROUND CONVEYANCE SYSTEM.

PRO BASIN 3 IS FOR THE FIRST PHASE OF THE PROJECT. THIS BASIN CONTAINS 83,342 SQUARE FEET AND GENERATES A PEAK RUNOFF RATE OF 6.57 CFS. POND C HAS BEEN SIZED TO CONTAIN 4,155 CUBIC FEET OF STORM RUNOFF. THE REQUIRED STORM WATER DETENTION VOLUME DURING THE 100 YEAR, 24 HOUR EVENT IS 3,846 CUBIC FEET. RUNOFF WILL BE RESTRICTED TO 3.04 CFS TO COMPLY WITH THE RESTRICTION OF 1.59 CFS/ACRE. EXCESS RUNOFF WILL BE ALLOWED TO FLOW OUT INTO HIGH ASSETS WAY THROUGH A 12" DIAMETER STORM DRAIN PIPE AND A CONCRETE CHANNEL FOR EMERGENCE OVERFLOW DIRECTING DISCHARGE TO A PAIR OF 24" WIDE SIDEWALK CULVERTS. WATER FROM THE PARKING AREA WEST OF THE BUILDING WILL BE CONVEYED VIA A VALLEY GUTTER TO TWO 24" DIAMETER HDPE CATCH BASINS AND THEN VIA 18" HDPE STORM DRAIN PIPING TO POND C.

PRO BASIN 3 WAS DESIGNED WITH A SUB-BASIN. THIS SUB-BASIN WAS INCLUDED TO ALLOW FOR AN UNDERSTANDING OF THE DRAINAGE SCHEME FOR THE ASSISTED LIVING COURTYARD ON THE EASTERN SIDE OF THE BUILDING. TO ALLOW FOR WATER HARVESTING AND TO REDUCE STORM DRAINAGE PIPING SIZES A SHALLOW DEPRESSION (6" DEEP) WILL BE CONSTRUCTED WITHIN THE COURTYARD. A SMALL STAND PIPE WITH A BEEHIVE GRATE WILL BE USED TO FILTER THE RUNOFF FROM THE COURTYARD. A 6" PVC DRAIN WILL CONVEY THE 0.55 CFS DOWN TO POND C.

VII. CONCLUSIONS

THE PROPOSED SUBDIVISION HAS BEEN DESIGNED TO REDUCE RUNOFF TO 1.59 CFS/ACRE THAT IS WELL BELOW THE PRE-DEVELOPED CONDITIONS OF 2.36 CFS. EACH BASIN CONTAINS A STORM WATER MANAGEMENT POND AND WILL ATTENUATE THE PEAK RUNOFF AS WELL AS CONTAIN THE WATER QUALITY VOLUME.

Drainage Summary

High Assets Way Assisted Living

Project Number:
Date: 02/13/22
By: Daye

Site Location

Existing summary

Peak Discharge (cfs)

10yr.

Project:

recipitation Zone	1 Per COA DPM Chapter

Basin Name	Ex Basin 1	
Area (sf)	195969	
Area (acres)	4.50	
%A Land treatment	0	
%B Land treatment	100	
%C Land treatment	0	
%D Land treatment	5	
Soil Treatment (acres)		
Area "A"	0.00	
Area "B"	4.50	
Area "C"	0.00	
Area "D"	0.22	
Excess Runoff (acre-feet)		
100yr. 6hr.	0.3157	acre-ft.
10yr. 6hr.	0.1243	acre-ft.
2yr. 6hr.	0.0210	acre-ft.
100yr. 24hr.	0.3217	acre-ft.

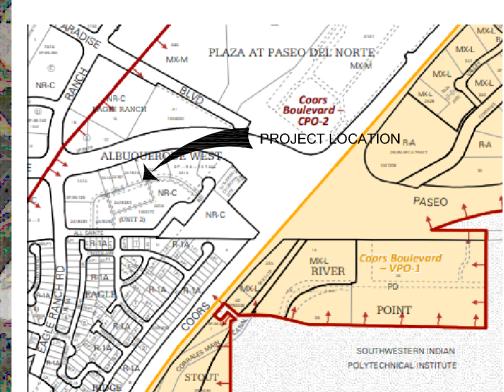
10.64

4.22

0.44

cfs



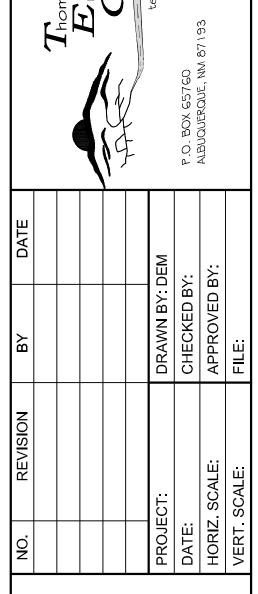




The surveyed area, as shown hereon, appears to lie within "ZONE X" (areas determined to be outside the 0.2% annual chance floodplain), shown on National Flood Insurance Program Flood Insurance Rate Map 35001C0116G REVISED 09/26/2008.



SCALE: 1"=60'





	EX BASIN1 Q100 = 10.64 CU-FT/SEC Area = 195,969 sf ACCESS, SDENMAY, AND UTILITY EXCELLENT (TEPICAL) 10' PVT. ACCESS, SDENMAY, AND UTILITY EXCELLENT (TEPICA	[LOT 3-A-2 ALBUQUERQUE WEST UNIT TWO REC. 7/27/2006 BK. 2006c PG. 235] R=285.00' L=137.45' B RO 20 5721/253'W 39.19 [LOT 3-A-1	[LOT 4-A-1-A ALBUQUERQUE WEST UNIT TWO REC. 9/22/1994 BK. 94C PG. 278] ASSISTANCE OF THE PROPERTY OF THE PROP
NC.	R=75.00' L=72.04' R=75.00' L=22.11' REC. 9/12/2q06	ALBUQUERQUE WEST UNIT TWO REC. 9/12/2006 ALBUQUERQUE WEST UNIT TWO REC. 9/12/2006	PROJECT BENCHMARK: N. RIM MANHOLE EL. 5043.375 10 NEW MEXICO UTILITIES EASEMENT (THIS PORTION ONLY) R=45.00; L=128.99 L=55.66
	20'	R=45.00' L=40.31' NEW MEXICO UTILITIES EASEMENT (TYPICAL, ADJACENT TO W&S EMT.)	60 30 0 30 60

EXISTING CONDITIONS DRAINAGE PLAN

