

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 6, 2022

David Thompson, P.E.
Thompson Engineering
P.O. Box 65760
Albuquerque, NM 87193

RE: High Assets Assisted Living
Address not provided: High Assets Way & All Saints Way
Grading and Drainage Plan
Engineer's Stamp Date: 2/16/22
Hydrology File: C13D016H

Dear Mr. Thompson:

Based upon the information provided in your submittal received 2/16/22, the Grading & Drainage Plan is **not** approved Grading Permit or Final/Preliminary Plat. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

General Notes

Albuquerque

NM 87103

www.cabq.gov

1. Potentially break this up into basins/sheet. Looking at it initially, there is a lot of information and is a bit confusing. Will the proposed plat create one lot out of the site? If not separate proposed lots.
 - a. Basin 1 & 2 on a sheet
 - b. Basin 3 on second sheet.
 - c. Please clearly identify any property lines.
2. If any drainage crosses lots, please show allowances for cross lot drainage.
3. If it is phased, what will interim grading look like?
 - a. Does the site need a sediment pond for the interim?
4. For the basin map, please make the basin delineation larger.
 - a. It does not look like the basins delineate flow do they? I would hope that is the case but it is not apparent.
 - b. Please show a water block or some delineation based on grades that show physical separation of the basins.
5. These appear to be detention ponds for the most part. Any retention needs to utilize calculations for the 100 year 10 day storm. Please clarify.
6. An SO-19 Permit will be required and should be included on the request. Please include the [standard SO-19](#) notes on the grading plan.
7. Part of Basin 3 is discharging into Pond A which is in basin 1.
8. Please clearly show existing survey information especially where the site ties into existing infrastructure/grades.
9. Please provide sections of the pond with retention volume elevation, 100 year elevation, outfall elevation, bottom, etc...

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10. Reference all standard details.
 - a. Culvert, entrances etc...

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (2_# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR PROPOSED HIGH ASSETS ASSISTED LIVING FACILITY, LOCATED ON HIGH ASSETS WAY NW, IN ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS C-13-Z.

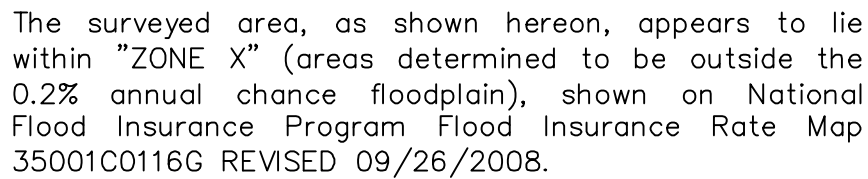
THE PROJECT SITE IS LOCATED ON THE SOUTH SIDE OF HIGH ASSETS WAY NW, AND NORTH SIDE OF ALL SAINTS ROAD NW, EAST OF EAGLE RANCH ROAD NW NEAR PASEO DEL NORTE BOULEVARD NW.

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

CURRENTLY THE SITE IS VACANT AND GENERALLY DRAINS FROM NORTH-WEST TO SOUTH-EAST. ALL SAINTS ROAD NW, IS PARTIALLY DEVELOPED AND WILL NEED TO HAVE THE CURB AND GUTTER ADDED TO THE NORTH SIDE WITH THIS DEVELOPMENT. CURB AND GUTTER ALONG HIGH ASSETS WAY NW, ARE COMPLETED ALONG THE PARCELS NORTH AND WESTERN SIDES. SIDEWALKS WILL ALSO NEED TO BE CONSTRUCTED ALONG ALL STREET FRONTAGES WITH THIS PROJECT.

THE PROPOSED SUBDIVISION HAS BEEN DESIGNED TO REDUCE RUNOFF TO 1.59 CFS/ACRE THAT IS WELL BELOW THE PRE-DEVELOPED CONDITIONS OF 2.36 CFS. EACH BASIN CONTAINS A STORM WATER MANAGEMENT POND AND WILL ATTENUATE THE PEAK RUNOFF AS WELL AS CONTAIN THE WATER QUALITY VOLUME.

100 yr.	10.64	cfs
10yr.	4.22	cfs
2yr.	0.44	cfs

[illegible]

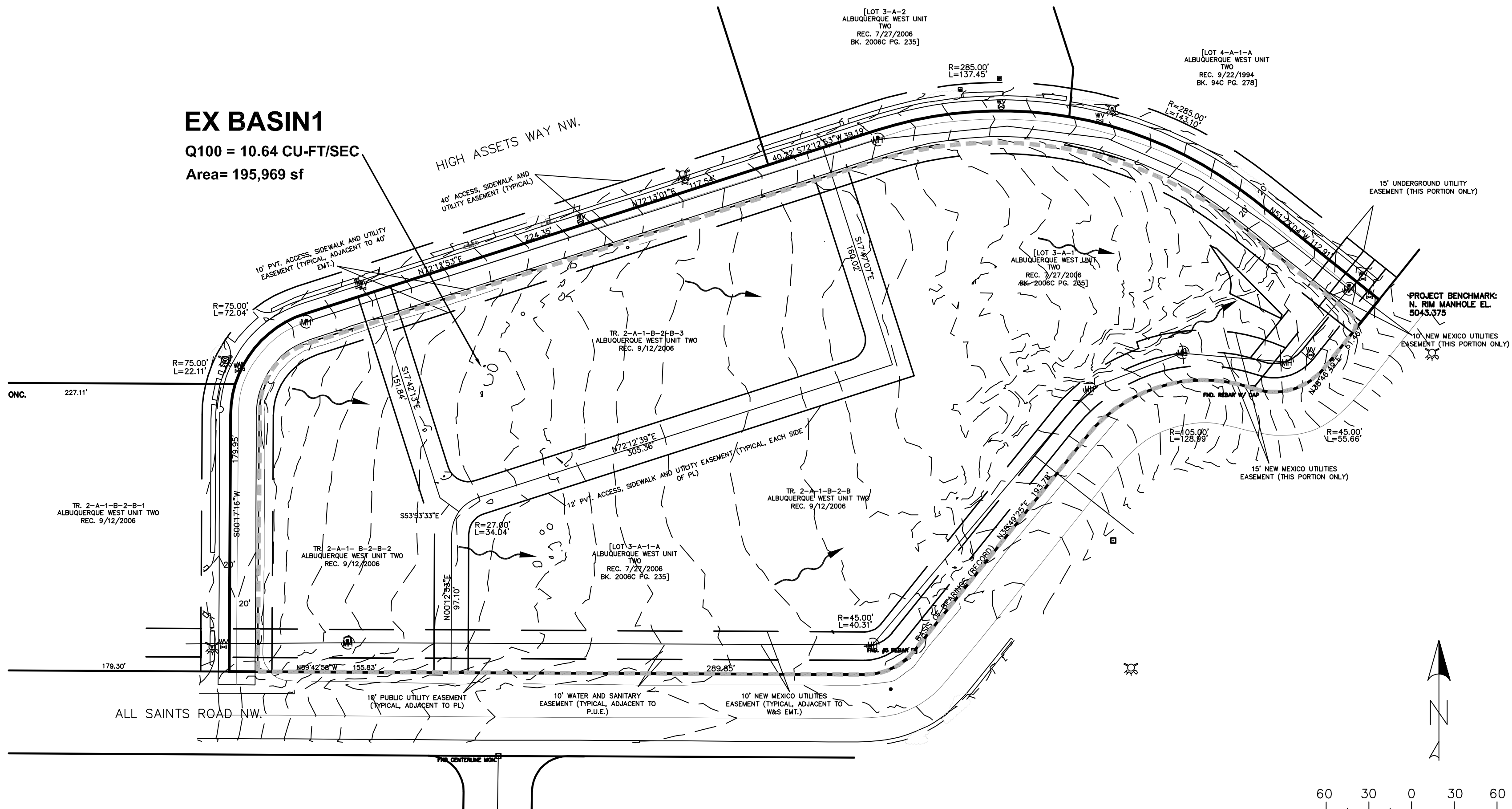
HIGH ASSETS ASSISTED LIVING FACILITY

STORM WATER MANAGEMENT EXISTING CONDITIONS PLAN

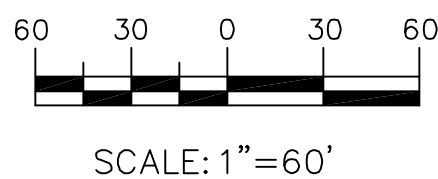
CITY/COUNTY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		
FOR CITY/COUNTY USE ONLY		

SHEET No.

CD1 of 4



(A3) EXISTING CONDITIONS DRAINAGE PLAN
1" = 60'-0"



GENERAL NOTES:

- CURB ACCESS RAMPS WILL BE DETAILED ON PUBLIC WORK ORDER PLAN SUBMISSIONS.
- DRIVEPADS WILL BE DETAILED ON PUBLIC WORK ORDER PLANS.

12" TALL X 8" THICK
TAILWALL , 4' LONG X 2'
WIDE STRUCTURE, TAPER
WALL HEIGHT DOWN TO
MATCH CURB.

8" PVC SD PIPE
WITH RESTRICTER PLATE
AT POND. 7" HOLE IN
PLATE TO LIMIT FLOW

6" BEEHIVE GRATE TO
RESTRICT DISCHARGE
Q out = 0.48 CFS.
Rim ELEV = 5058.75
6" INV = 5056.75
(3" above pond bottom)

6" PVC SD
INV = 5046.75

POND C
V = 3,664 CU-FT
Depth 3.25'
Q out=6.97 cfs

SIDEWALK CULVERT
FOR EMERGENCY
OVERFLOW ONLY

PRO BASIN 3
Q100= 6.57 CU-FT/SEC
Area=33,342 sf

POND D
V = 424 CU-FT
Depth 0.5'
Q out=0.48 cfs
SHALLOW POND
ELEV=5058.60

Phase 1
Assisted
Living
FF=5059.97

OVERFLOW SPILLWAY, 2'
WIDE CONCRETE CHANNEL
ELEVATION 5064.25
BERM ELEV 5064.75

FF=5067.87
Phase 2
Independent
Living

6" PVC SD PIPE
STUB OUT FOR
PHASE 2

LEGEND:

- Property line
- Building
- Edge of pavement
- Curb & gutter
- CMU or block wall
- Utility easement
- Storm drain line
- Index contours
- Intermediate contours
- Grading spot elevations

EXISTING:

NEW:

ABBREVIATIONS:

- | | |
|-----|-----------------|
| BOW | Bottom of wall |
| EG | Existing ground |
| FG | Finish grade |
| FF | Finish floor |
| FL | Flowline |
| INV | Invert |
| TA | Top of asphalt |
| TC | Top of curb |
| TSW | Top of sidewalk |
| TOW | Top of wall |
| RIM | Rim |

PHASE 1, DRAINAGE PLAN
PROPOSED CONDITIONS

1" = 20'-0"

20 10 0 10 20
SCALE: 1" = 20'



P.O. BOX 65760
ALBUQUERQUE, NM 87119
PHONE: (505) 271-2199
FAX: (505) 830-9246

NO.	REVISION	BY	DATE

PROJECT:	DRAWN BY: DEM
DATE:	CHECKED BY:
HORIZ. SCALE:	APPROVED BY:
VERT. SCALE:	FILE:



HIGH ASSETS ASSISTED
LIVING FACILITY

STORM WATER MANAGEMENT
PROPOSED CONDITIONS PLAN

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

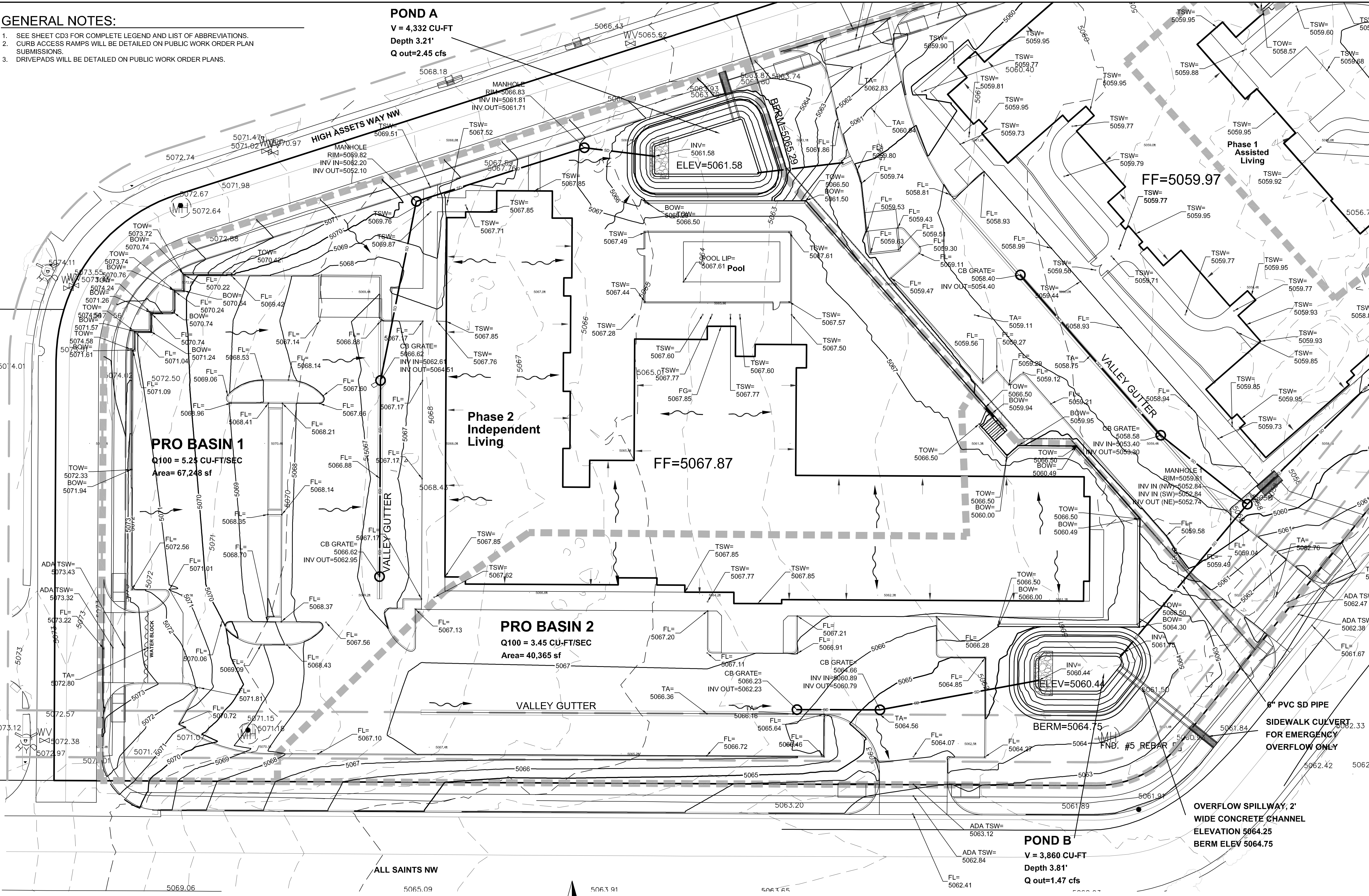
SHEET No.

CD3 of 4

GENERAL NOTES:

1. SEE SHEET CD3 FOR COMPLETE LEGEND AND LIST OF ABBREVIATIONS.
2. CURB ACCESS RAMPS WILL BE DETAILED ON PUBLIC WORK ORDER PLAN SUBMISSIONS.
3. DRIVEPADS WILL BE DETAILED ON PUBLIC WORK ORDER PLANS.

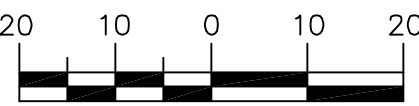
POND A
V = 4,332 CU-FT
Depth 3.21'
Q out=2.45 cfs



**PHASE 2, DRAINAGE PLAN
PROPOSED CONDITIONS**

A1

1" = 20'-0"



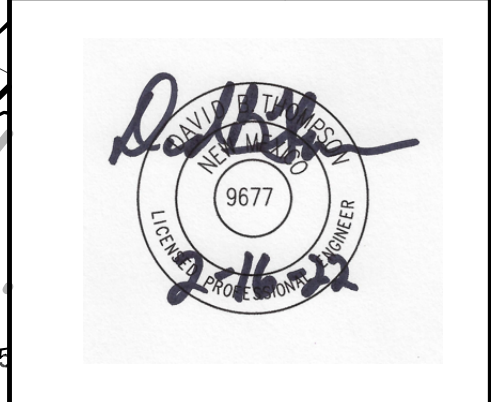
SCALE: 1" = 20'



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NO.	REVISION	BY	DATE

PROJECT:	DRAWN BY: DEM
DATE:	CHECKED BY:
HORIZ. SCALE:	APPROVED BY:
VERT. SCALE:	FILE:



HIGH ASSETS ASSISTED LIVING FACILITY

STORM WATER MANAGEMENT
PROPOSED CONDITIONS PLAN

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

SHEET No.

CD4 of 4