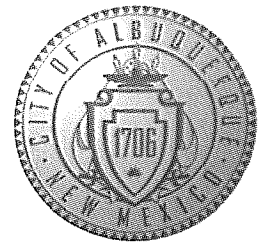


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 24, 2022

Tate Fishburn, RA
Tate Fishburn Architect
BOX 2941
Corrales, NM 87084

Re: Jiffy Lube Addition
9386 Coors Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 3-3-21 (C13-D024)
Certification dated 02-18-22

Dear Mr. Fishburn,

Based upon the information provided in your submittal received 02-15-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

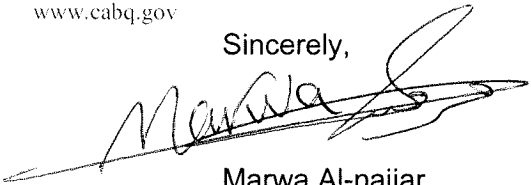
Prior to the issuance of a permanent Certificate of Occupancy, the following item must be addressed:

- Please remove the storage that locate by the Trash Enclosure.

Once these corrections are complete, email pictures & redlined TCL plan showing the changes to PLNDRS@cabq.gov, and malnajjra@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,


Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Jiffy Lube **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: 02DRB-00172 **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 3C1 Black Farm Estates
City Address: 9386 Coors Blvd., NW ABQ NM

Applicant: TATE FISHBURN ARCHITECT **Contact:** TATE FISHBURN
Address: P.O. BOX 2941, CORRALES, NM 87048
Phone#: _____ **Fax#:** _____ **E-mail:** tatefishburn@msn.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 02-18-2022 **By:** *Tate Fishburn*

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

T A T E F I S H B U R N A R C H I T E C T

February 18, 2022

Hydrology Development- TCL
City of Albuquerque
600 2nd St., N.W., Second Floor West
Albuquerque, NM

Ref: TCL Certification
Jiffy Lube Service Bay Addition-9386 Coors Blvd., NW

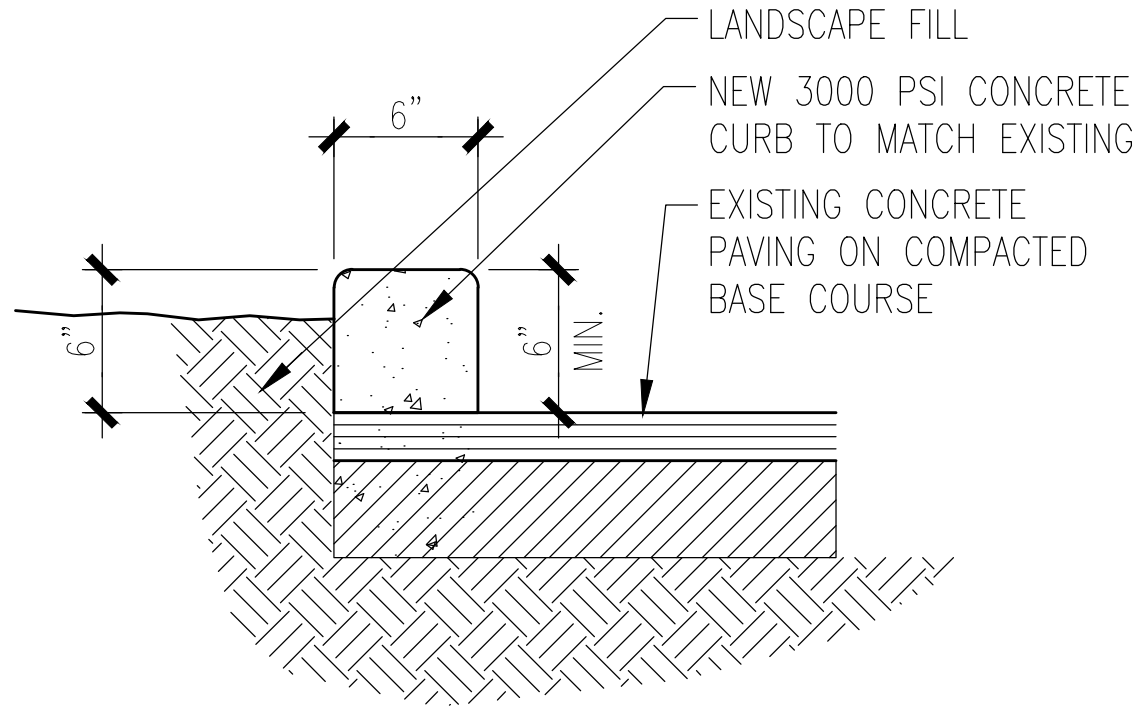
I, Tate Fishburn, NMRA #3550, of the firm Tate Fishburn Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL-1 drawing dated March 3, 2021 and approved on March 4, 2021. The only change that we have noted on the drawing is a portion of damaged asphalt paving that was replaced with concrete paving. I further certify that I have personally visited the project site on February 18, 2022 and have determined by visual observation that the TCL plan provided is representative of actual site condition and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Traffic Circulation Layout certification.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of the project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

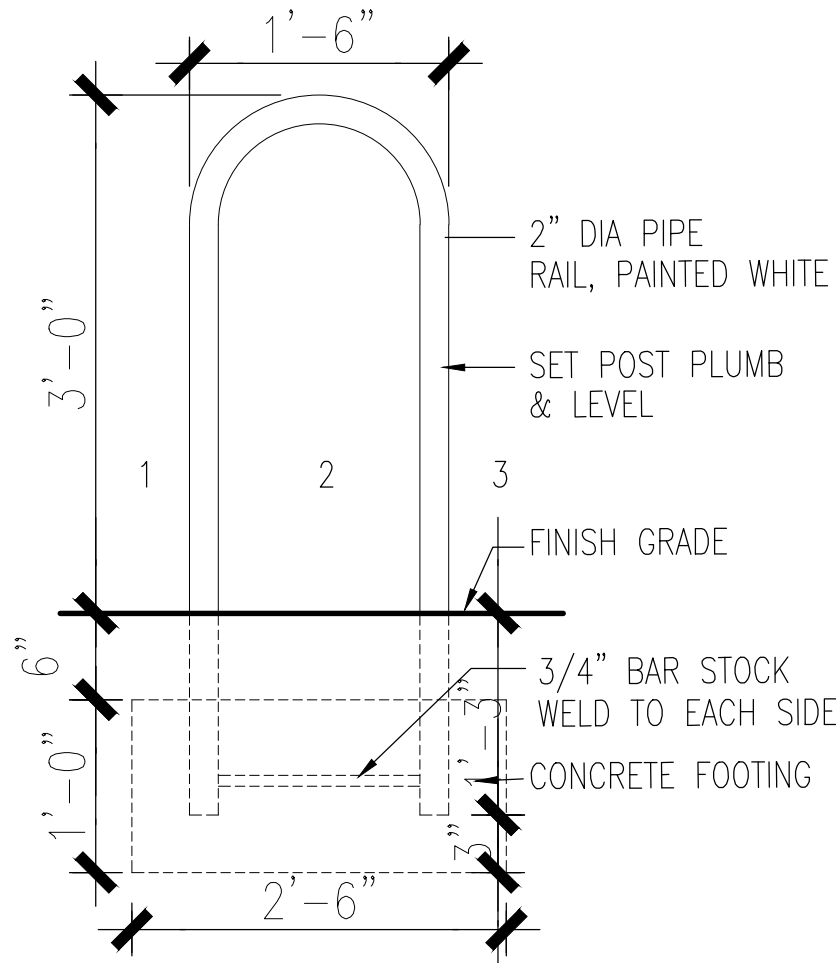


Tate Fishburn
Architect

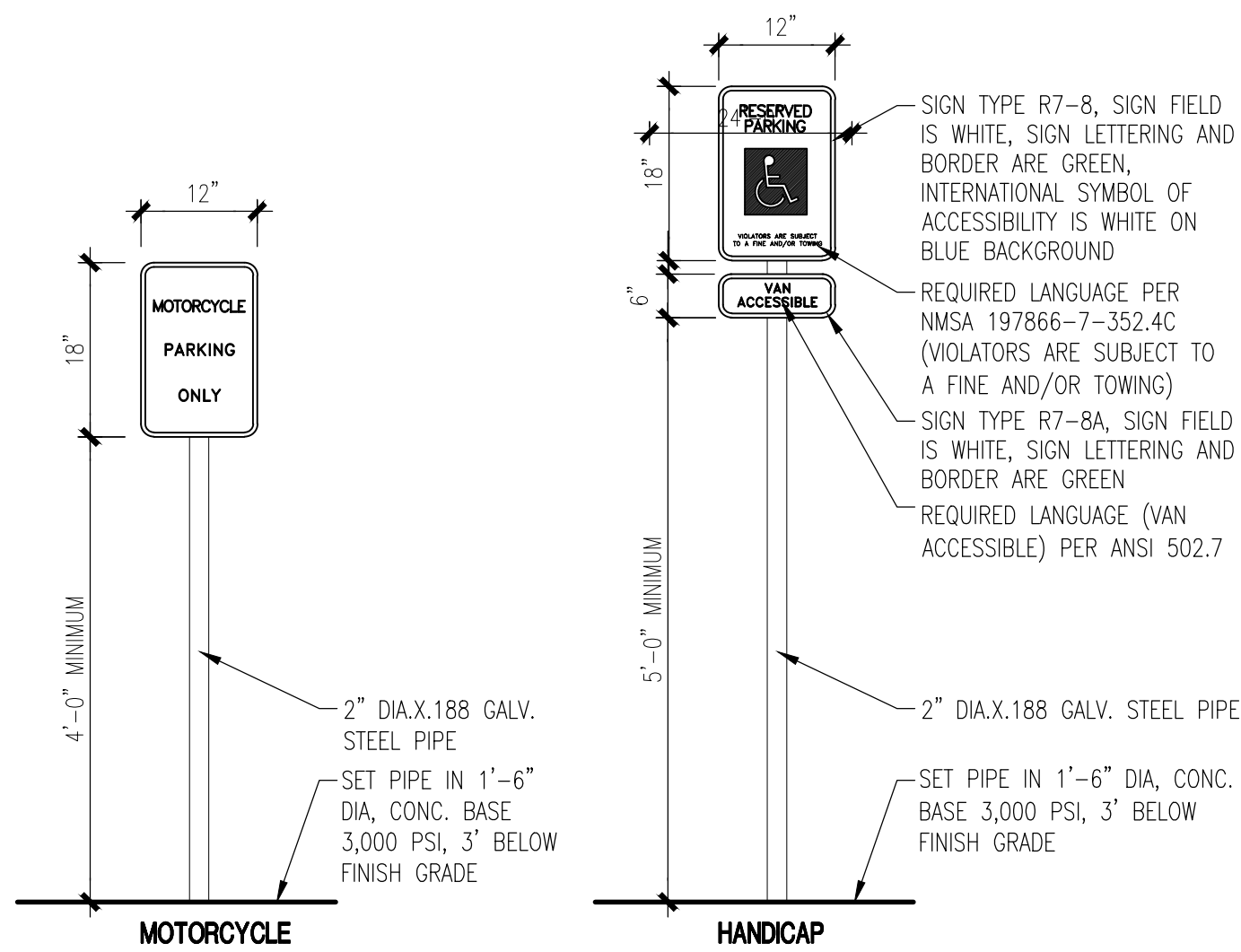
02-18-2022



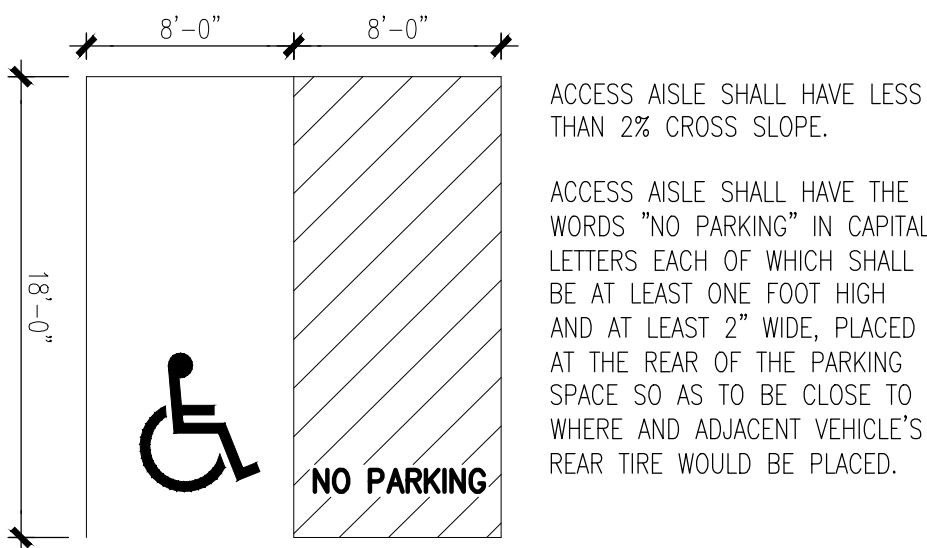
5 CURB DETAIL
N.T.S.



4 BIKE POST DETAIL
N.T.S.



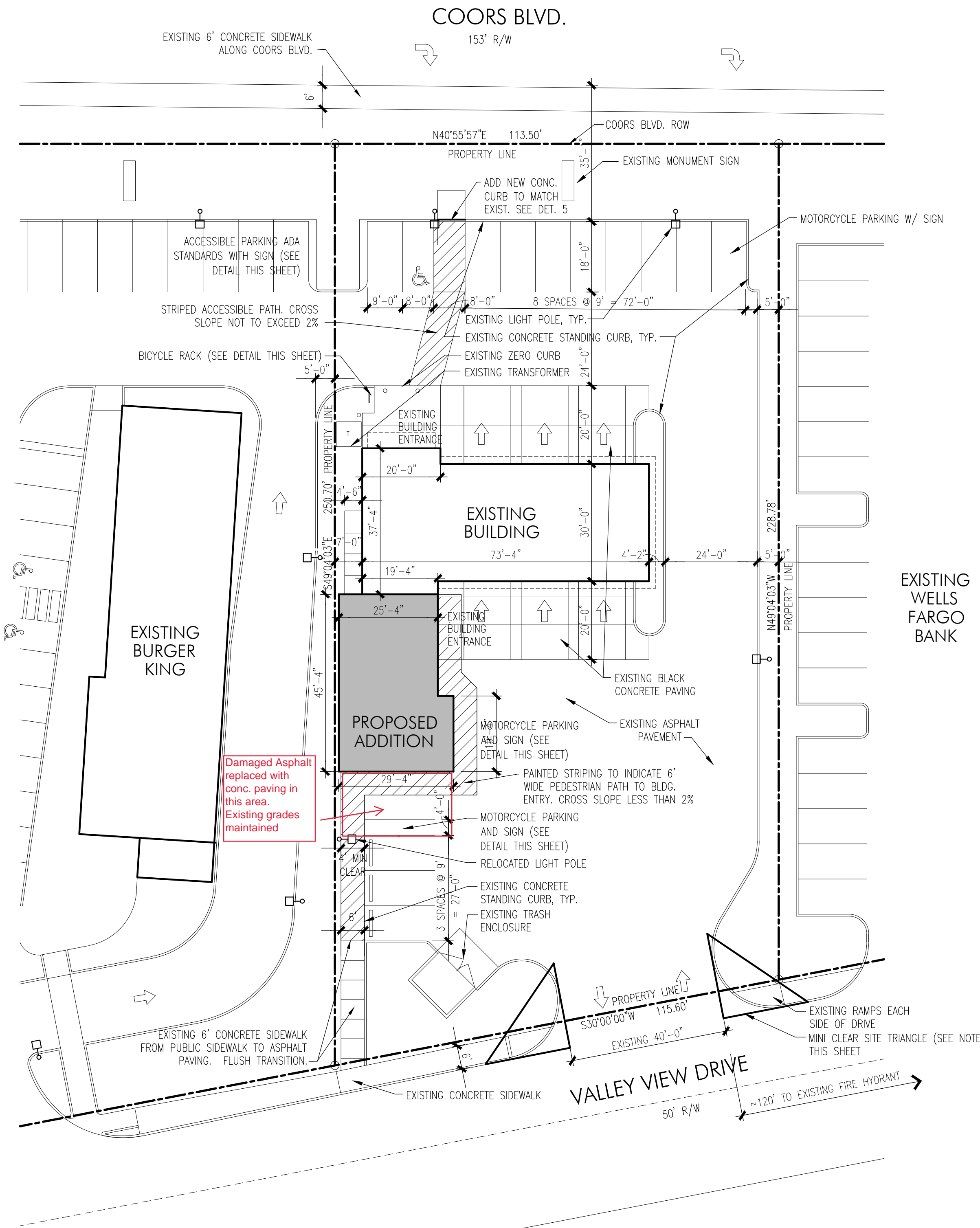
3 PARKING SIGNS
N.T.S.



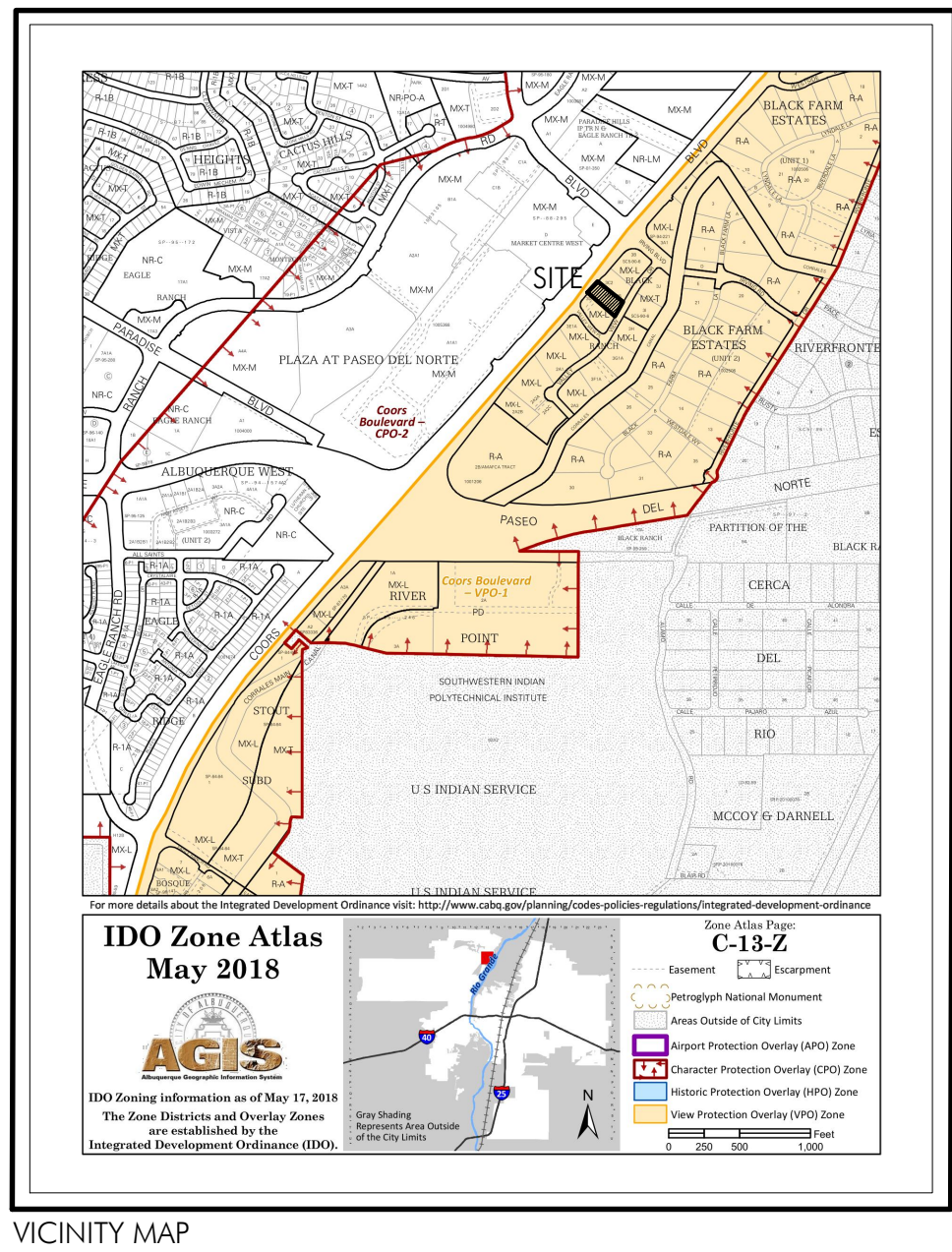
2 ACCESSIBLE PARKING
N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED
03/04/2021

Jeanne Wolfenbarger



1 SITE PLAN
1"=20'



SITE DATA

LEGAL DESCRIPTION: TRACT 3C-1 PART OF 3C OF BLACK RANCH FILED JUNE 14, 1991 VOLUME 91C, FOLIO 121

LOCATION: 9386 COORS BOULEVARD, NW
ALBUQUERQUE, NM 87120

PROPOSED USE: LIGHT VEHICLE REPAIR SHOP

IDO CLASSIFICATION: LIGHT VEHICLE REPAIR
PER IDO 4-3(D)(18)

EXISTING ZONING: MX-L

LOT AREA: 27,210 SF (0.625 ACRES)

BUILDING AREA: EXISTING 2,357 SF
PROPOSED 1,213 SF
TOTAL 3,571 SF

PARKING REQUIRED: 1/1,000 GSF = 4

PARKING PROVIDED: 13

HC PARKING REQUIRED: 1/25 SPACES = 1

HC PARKING PROVIDED: 1, VAN ACCESSIBLE

MC PARKING REQUIRED: 1

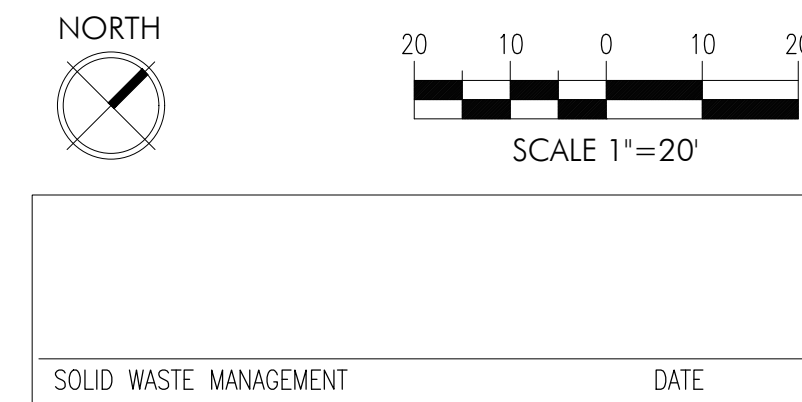
MC PARKING PROVIDED: 1

BICYCLE PARKING REQUIRED: 3

BICYCLE PARKING PROVIDED: 3

MINI CLEAR SITE TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE (11'X11' PER DPM 7-11D).



TATE FISHBURN
ARCHITECT

ARCHITECT SEAL



ENGINEER SEAL

PROJECT

jiffylube
ADDITION

9386 COORS BOULEVARD NW
ALBUQUERQUE, NEW MEXICO 87120

REVISIONS

DATE MARCH 3, 2021

DRAWING NAME

TRAFFIC
CIRCULATION
LAYOUT PLAN

SHEET NUMBER

TCL-1