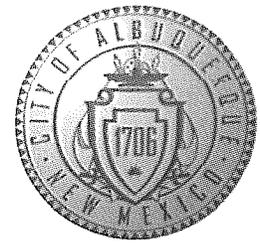


CITY OF ALBUQUERQUE



Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

February 24, 2022

Tate Fishburn, RA
Tate Fishburn Architect
BOX 2941
Corrales, NM 87084

Re: Jiffy Lube Addition
9386 Coors Blvd. NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 3-3-21 (C13-D024)
Certification dated 02-18-22

Dear Mr. Fishburn,

Based upon the information provided in your submittal received 02-15-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following item must be addressed:

Albuquerque

- Please remove the storage that locate by the Trash Enclosure.

NM 87103

Once these corrections are complete, email pictures & redlined TCL plan showing the changes to PLNDRS@cabq.gov, and malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

www.cabq.gov

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Jiffy Lube Building Permit #: _____ Hydrology File #: _____
DRB#: 02DRB-00172 EPC#: _____ Work Order#: _____
Legal Description: Lot 3C1 Black Farm Estates
City Address: 9386 Coors Blvd., NW ABQ NM

Applicant: TATE FISHBURN ARCHITECT Contact: TATE FISHBURN
Address: P.O. BOX 2941, CORRALES, NM 87048
Phone#: _____ Fax#: _____ E-mail: tatefishburn@msn.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 02-18-2022 By: *Tate Fishburn*

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

T A T E F I S H B U R N A R C H I T E C T

February 18, 2022

Hydrology Development- TCL
City of Albuquerque
600 2nd St., N.W., Second Floor West
Albuquerque, NM

Ref: TCL Certification
Jiffy Lube Service Bay Addition-9386 Coors Blvd., NW

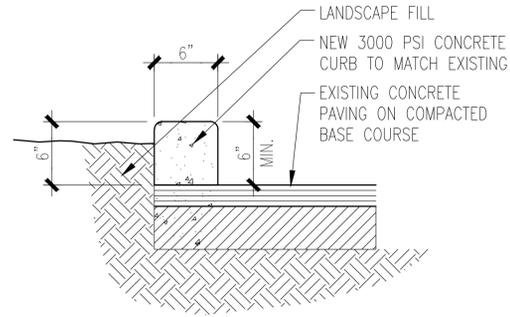
I, Tate Fishburn, NMRA #3550, of the firm Tate Fishburn Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL-1 drawing dated March 3, 2021 and approved on March 4, 2021. The only change that we have noted on the drawing is a portion of damaged asphalt paving that was replaced with concrete paving. I further certify that I have personally visited the project site on February 18, 2022 and have determined by visual observation that the TCL plan provided is representative of actual site condition and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Traffic Circulation Layout certification.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of the project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

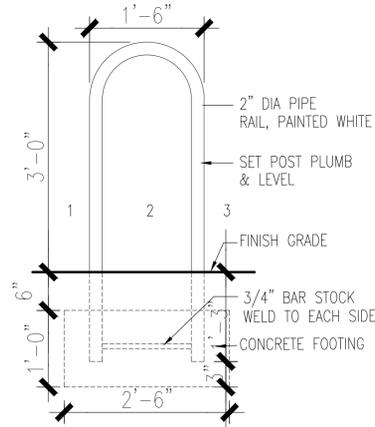


Tate Fishburn
Architect

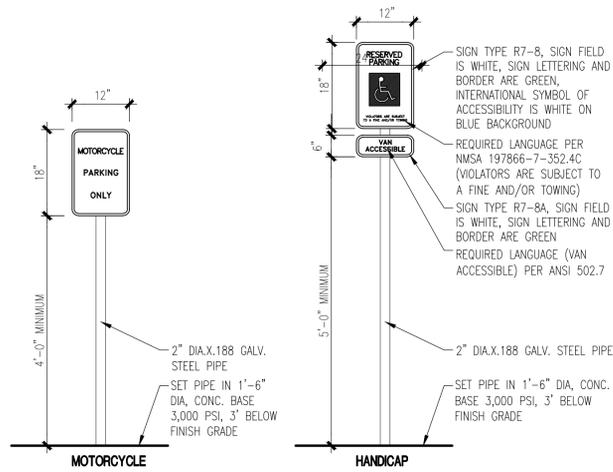
02-18-2022



5 CURB DETAIL
N.T.S.



4 BIKE POST DETAIL
N.T.S.



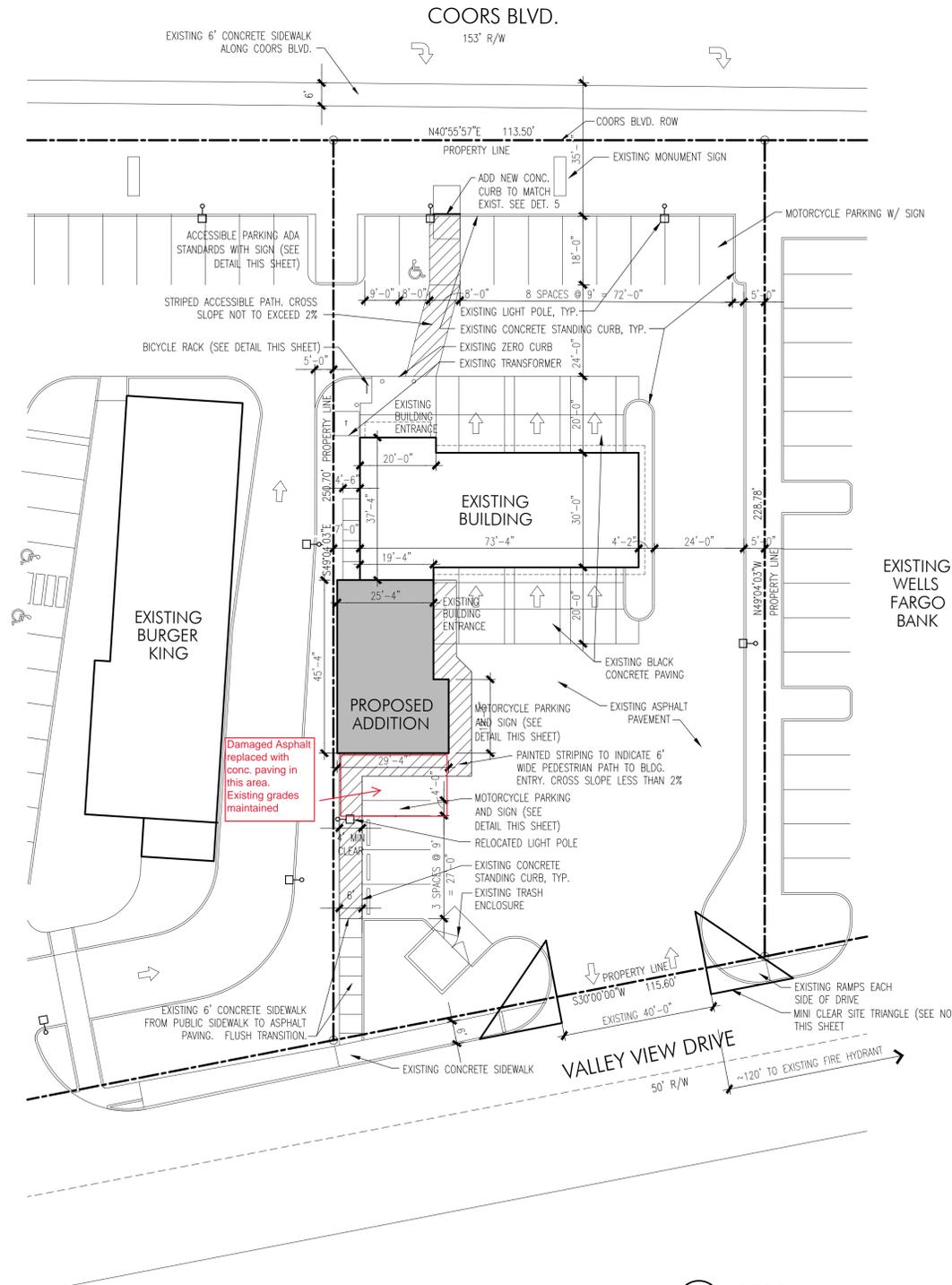
3 PARKING SIGNS
N.T.S.



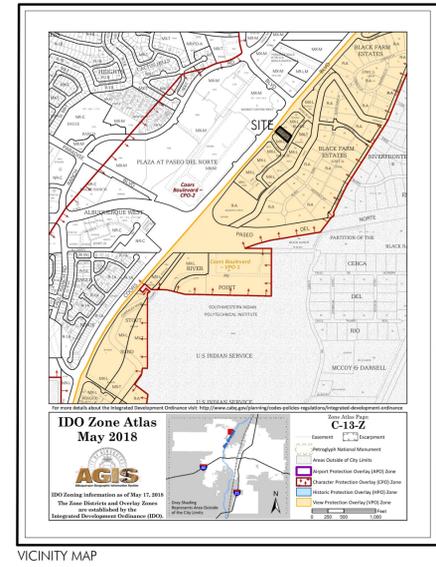
2 ACCESSIBLE PARKING
N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED
03/04/2021

Jeanne Wolfenbarger



1 SITE PLAN
1"=20'



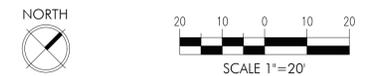
VICINITY MAP

SITE DATA

LEGAL DESCRIPTION: TRACT 3C-1 PART OF 3C OF BLACK RANCH FILED JUNE 14, 1991 VOLUME 91C, FOLIO 121
 LOCATION: 9386 COORS BOULEVARD, NW ALBUQUERQUE, NM 87120
 PROPOSED USE: LIGHT VEHICLE REPAIR SHOP
 IDO CLASSIFICATION: LIGHT VEHICLE REPAIR PER IDO 4-3(D)(18)
 EXISTING ZONING: MX-L
 LOT AREA: 27,210 SF (0.625 ACRES)
 BUILDING AREA: EXISTING 2,357 SF PROPOSED 1,213 SF TOTAL 3,571 SF
 PARKING REQUIRED: 1/1,000 GSF = 4
 PARKING PROVIDED: 13
 HC PARKING REQUIRED: 1/25 SPACES = 1
 HC PARKING PROVIDED: 1, VAN ACCESSIBLE
 MC PARKING REQUIRED: 1
 MC PARKING PROVIDED: 1
 BICYCLE PARKING REQUIRED: 3
 BICYCLE PARKING PROVIDED: 3

MINI CLEAR SITE TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE (11'X11' PER DPM 7-11D).



SOLID WASTE MANAGEMENT	DATE
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T A T E F I S H B U R N
A R C H I T E C T



ENGINEER SEAL

PROJECT

jiffylube
ADDITION
9386 COORS BOULEVARD NW
ALBUQUERQUE, NEW MEXICO 87120

REVISIONS

DATE MARCH 3, 2021

DRAWING NAME
TRAFFIC CIRCULATION LAYOUT PLAN

SHEET NUMBER

TCL-1

BOY 2941 CORRALES, NEW MEXICO 87048 PHONE 505.899.9338 FAX 899.9328