

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 4, 2021

John Arthur Blessen, P.E.
J Arthur Blessen Engineering
2429 Zena Lona NE
Albuquerque New Mexico 87112

**RE: Jiffy Lube
9386 Coors Blvd. NW
Grading and Drainage Plan
Engineer's Stamp Date: 12/10/20
Hydrology File: C13D024**

Dear Mr. Blessen:

PO Box 1293

Based upon the information provided in your submittal received 12/11/2020, the Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also, please provide the Drainage Covenant for the proposed stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: JIFFY LUBE Building Permit #: _____ Hydrology File #: _____

DRB#: 02DRB-00172 EPC#: _____ Work Order#: _____

Legal Description: TRACT 3C-2 BLACK RANCH

City Address: 9386 COORS BLVD. NW, ABQ NM87114

Applicant: TATE FISHBURN ARCHITECT Contact: TATE FISHBURN

Address: P.O. BOX 2941, CORRALES, NM 87048

Phone#: _____ Fax#: _____ E-mail: tatefishburn@msn.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

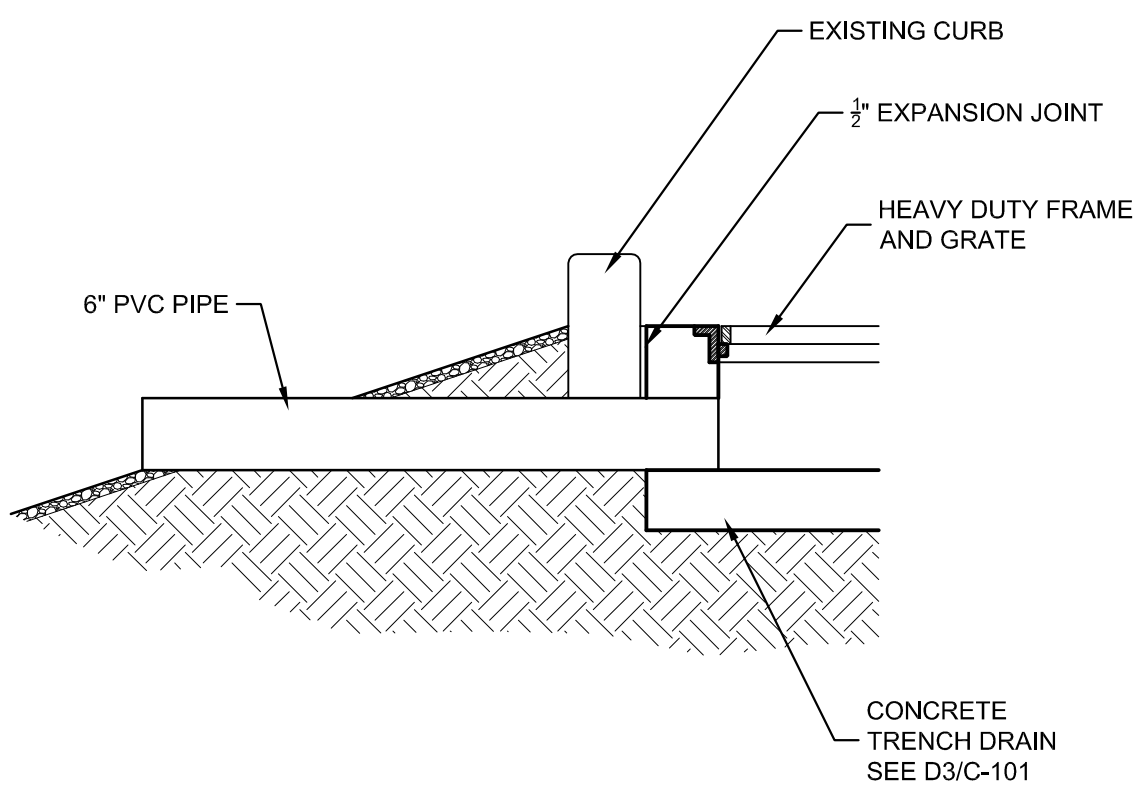
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12-11-2020 By: *Tate Fishburn*

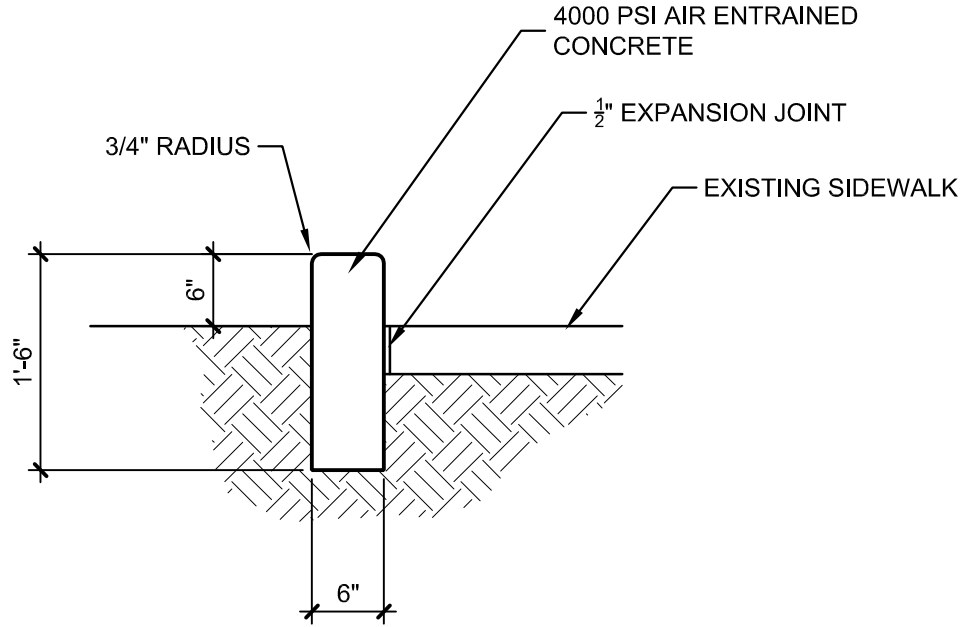
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

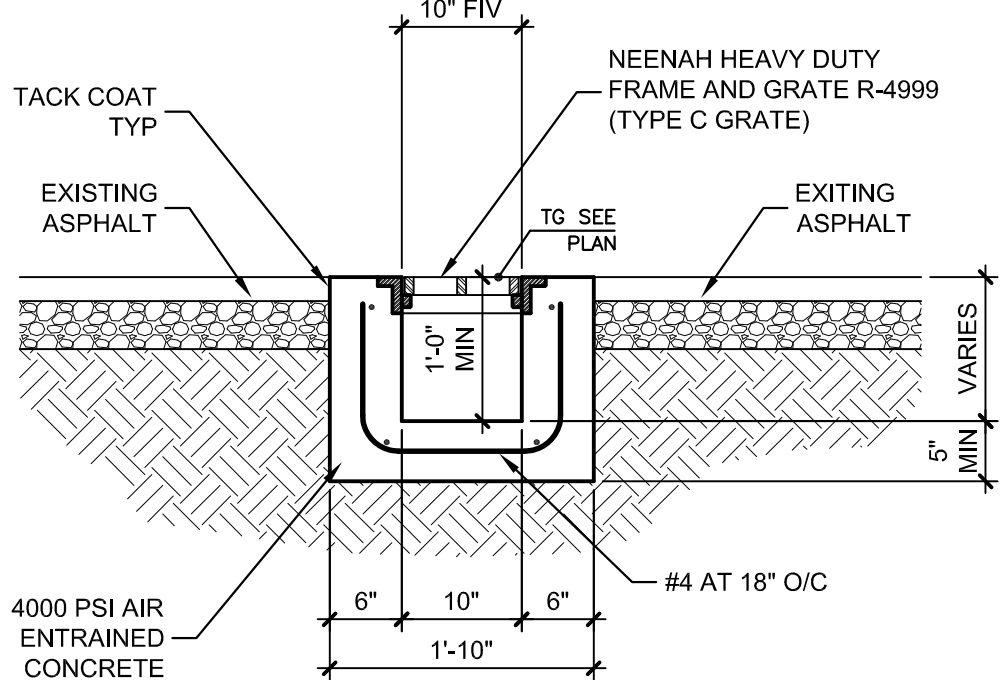
FEE PAID: _____



D1 TRENCH DRAIN DISCHARGE
3/4"=1'-0"



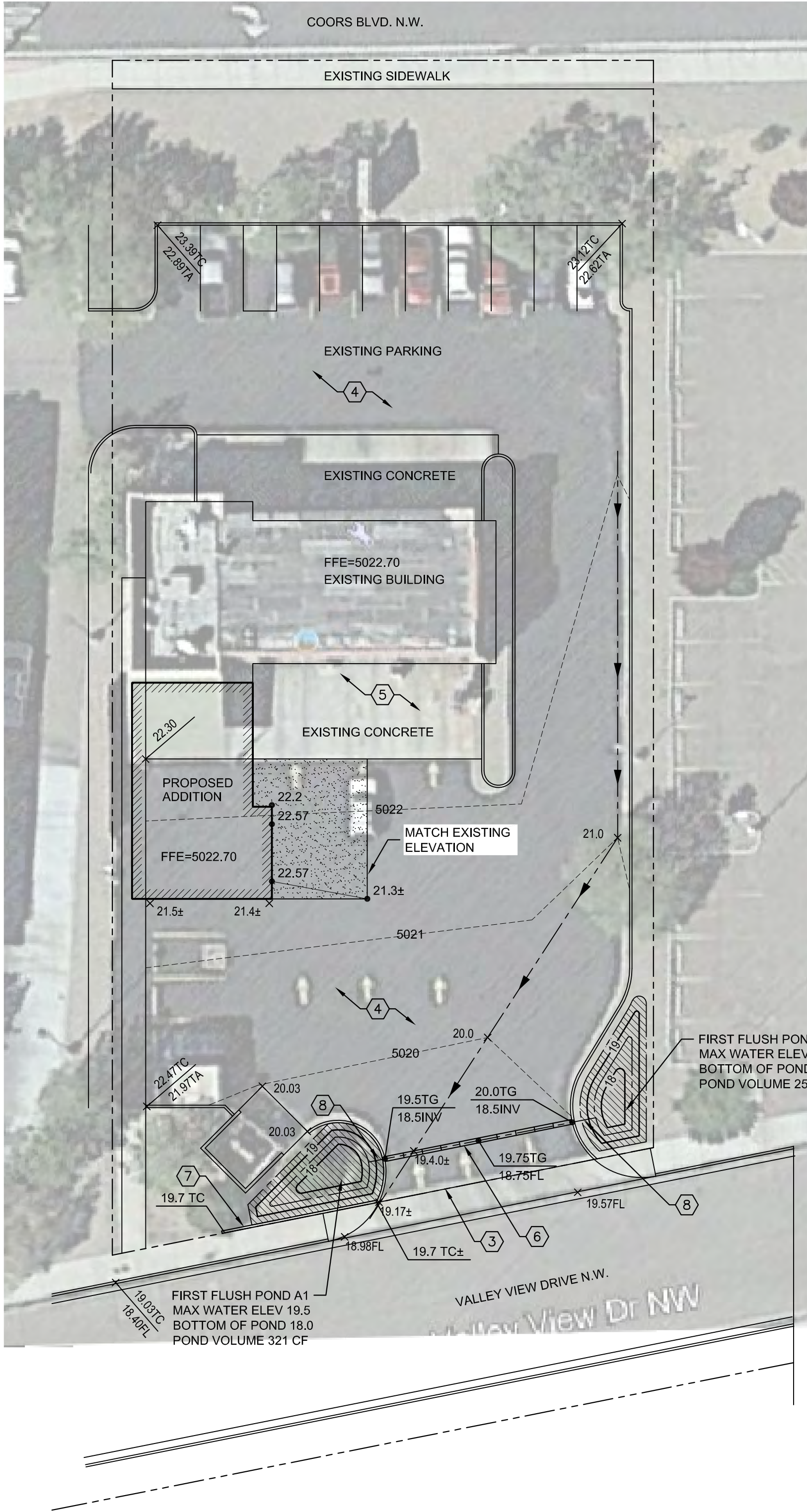
D2 CONCRETE CURB
3/4"=1'-0"



D3 TRENCH DETAIL
3/4"=1'-0"

LEGEND:

x 93.1	EXISTING SPOT ELEVATION
• 51.00	NEW SPOT ELEVATION
— 51 —	EXISTING CONTOUR
— 51 —	NEW CONTOUR
—>—>	SWALE
FL	FLOW LINE
GND	GROUND
INV	INVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF CONCRETE SLAB
TW	TOP OF WALL
TBM	TEMPORARY BENCH MARK
[Pattern]	GRAVEL
[Pattern]	ASPHALT PAVING
[Pattern]	CONCRETE



A3 SITE GRADING PLAN
1"=20'-0"



KEYNOTES

- EXISTING CURB AND CUTTER
- EXISTING SIDEWALK
- EXISTING DRIVE ENTRANCE
- EXISTING ASPHALT PAVING
- EXISTING CONCRETE PAVING
- CONSTRUCT TRENCH DRAIN, SEE DETAIL D3/C-101
- CONSTRUCT CONCRETE CURB, SEE DETAIL D2/C-101 (33 LINEAR FT)
- CONSTRUCT 6" PCV PIPE DRAIN, SEE DETAIL D1/C-101

HYDROLOGY NOTES:
ORIGINALLY, TRACT 3C WAS PLATED WITH AN AREA OF 1.200 ACRES. THE APPROVED MASTER PLAN (BLACK RANCH TRACT 3C GRADING, DRAINAGE, AND TERRAIN MANAGEMENT PLAN, OCT 1990, EASTERNLING AND ASSOC, INC.) INDICATES AL ALLOWABLE 100 YEAR PEAK RUNOFF FROM TRACT 3C OF 4.92 CFS. THE REPLAT OF TRACT 3C (TRACT 3C-1) IS 0.6245 ACRES IN SIZE. THEREFORE, PROPORTIONALLY, THE ALLOWABLE PEAK RUNOFF FORM TRACT 3C-1 IS (4.92 CFS) (0.6245 AC / 1.200 AC) = 2.56 CFS FOR THE 100-YEAR STORM.

EXISTING CONDITIONS: PER WILLSON AND CO, GRADING & DRAINAGE PLAN 12-19-20 THE EXISTING RUNOFF FROM THE SITE DISCHARGES TO VALLEY VIEW ROAD AT THE EXISTING DRIVE ENTRANCE.

NOTE: THERE IS NO OFFSITE DRAINAGE ONTO THIS SITE. THE SITE HAS BEEN RAISED WHICH PREVENTS ANY DRAINAGE FROM TRACT 3B TO ENTER THE SITE. THE ADJACENT ROAD HAS CURB AND GUTTER DRAINAGE SYSTEM WHICH DIRECTS THE DRAINAGE TO AN OFFSET DETENTION POND LOCATED APPROXIMATELY 400 FEET TO THE SOUTH ON VALLEY VIEW ROAD. A CURB AND GUTTER SYSTEM ALONG COORS BLVD INTERCEPTS AND DIVERTS RUNOFF FROM COORS BLVD, AWAY FROM THE SITE.

THE PROPOSED ADDITION WILL BE CONSTRUCTED OVER THE EXISTING PARKING LOT AREA. THEREFORE THE IS NO CHANGES TO THE EXISTING RUNOFF.

Drainage Calculation

City of Albuquerque DPM 2020 edition

9386 Coors Blvd

Precipitation Zone 1
Basin Area = 0.624 acres

Existing Treatment	Area of A	Area of B	Area of C	Area of D	Improved Conditions Treatment	Area of A	Area of B	Area of C	Area of D
	27203 sf	0 sf	0 sf	0 sf		5750 sf	0 sf	0 sf	21453 sf
	100%	0%	0%	0%		21%	0%	0%	79%

Excess Precipitation, E (inches) 6 hr - 100 yr storm table 6.2.13

Existing Conditions Treatment	% of Area	En	Improved Conditions Treatment	% of Area	En
A	1.00 x 0.55 = 0.55		A	0.00 x 0.55 = 0.00	
B	0.00 x 0.73 = 0.00		B	0.21 x 0.73 = 0.15	
C	0.00 x 0.95 = 0.00		C	0.00 x 0.95 = 0.00	
D	0.00 x 2.24 = 0.00		D	0.79 x 2.24 = 1.77	
	E = 0.55			E = 1.92	

Volume V = E A / 12					
Va = 0.550 x 0.6245 / 12 =	0.029 acre ft	1247 cf			
Vt = 1.921 x 0.6245 / 12 =	0.100 acre ft	4354 cf			

Discharge Rate, Q (cfs / acre) 100 yr storm table 6.2.14	% of Area	Q	Treatment	% of Area	Q
A	1.00 x 1.54 = 1.54		A	0.00 x 1.54 = 0.00	
B	0.00 x 2.16 = 0.00		B	0.21 x 2.16 = 0.46	
C	0.00 x 2.87 = 0.00		C	0.00 x 2.87 = 0.00	
D	0.00 x 4.12 = 0.00		D	0.79 x 4.12 = 3.25	
	q = 1.54			q = 3.71	

Peak Rate Qp = q A					
Qp(a) = 1.54 x 0.6245 = 0.96 cfs					
Qp(i) = 3.71 x 0.6245 = 2.31 cfs					

Excess Volume = 0.071 acre ft					
Excess Rate = 1.35 cfs					

tc = 0.2 hr					
tb = (2.107 * E * A / Qp) * (0.25 * Ad / At) =	0.895 hr				
tp = (0.7 * tc) + ((1.6 * (Ad / At)) / 12) =	0.208 hr				

Discharge Rate	2.314 cfs	3.71 cfs/ac			
Volume	4549 cf	Allowable Discharge Rate	2.560 cfs		
Discharged	4549 cf				
Pond Volume	0 cf				

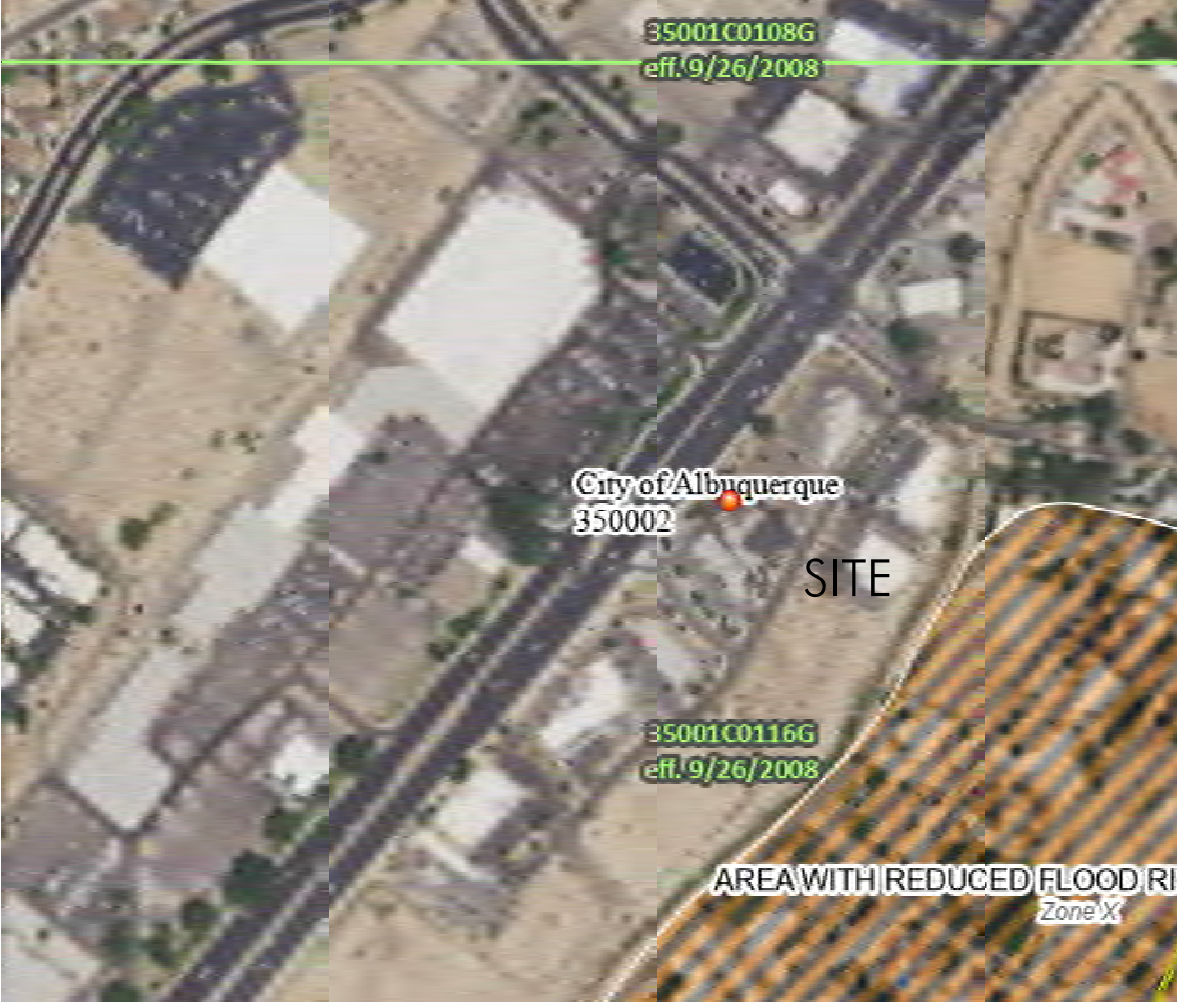
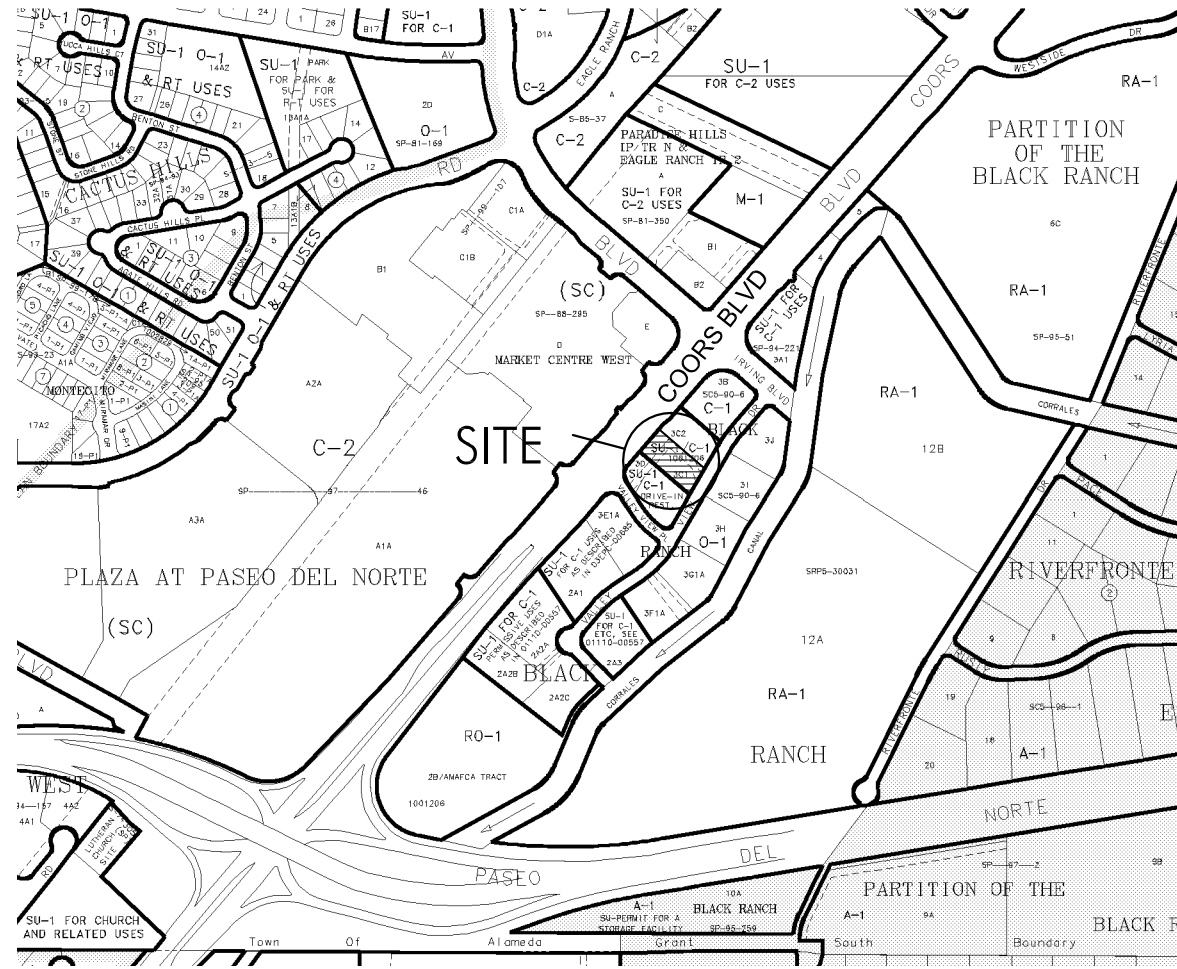
WATER QUALITY POND (ARTICLE 6-12 PAGE 6-109)
FF POND VOLUME = (IMPERVIOUS AREA) (0.26 IN) FOR REDEVELOPED SITES
IMPERVIOUS AREA = 21,453 SF
REQUIRED POND VOLUME = (21,453 SF) (0.26 IN) (1 / 12 IN/FT) = 465 CF

FIRST FLUSH POND

POND A1	ELEVATION	AREA
	19.5	364 SF
	19.0	253 SF
	18.0	81 SF
VOL = (81+253)(0.5)(1 FT) + (253+364)(0.5)(0.5 FT) = 321 CF		
POND A2	ELEVATION	AREA
	19.5	315 SF
	19.0	203 SF
	18.0	47 SF
VOL = (47+203)(0.5)(1 FT) + (203+315)(0.5)(0.5 FT) = 254 CF		

TOTAL POND VOL = 321 CF + 254 CF = 575 CF

VINICITY MAP C-13-Z



FLOOD INSURANCE MAP PANEL 116

LEGAL DESCRIPTION:

TRACT 3C-1 BLACK RANCH

ADDRESS: 9386 COORS BLVD NW, ALBUQUERQUE, NM

SITE AREA: 0.6245 ACRES

BENCH MARK:
ELEVATION DATUM IS BASED ON NAVD 1988 FROM ACS MONUMENT "NM-488-N10",
PUBLISHED ELEVATION (FEET) = 5054.51

FLOOD HAZARD:
AS SHOWN ON PANEL 35001C01166 (9-25-2008) OF THE FEMA FLOOD INSURANCE RATE
MAPS, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD HAZARD AREA.

CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.

FACILITY ACCESSIBILITY
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10; WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM THE THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

T A T E F I S H B U R N
A R C H I T E C T

ENGINEER SEAL



PROJECT

ADDITION FOR
JIFFY LUBE

REVISIONS

DATE DECEMBER 10, 2020

SCALE

1"=20'-0"
OR AS NOTED

DRAWING NAME

SITE GRADING
PLAN

SHEET NUMBER

C-101