

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 4, 2022

Tate Fisburn, RA
Tate Fishburn Architect
BOX 2941
Corrales, NM 87084

Re: Jiffy Lube Addition, 9386 Coors Blvd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 3-03-21(C13-D024)
Certification dated 2-18-22

Dear Mr. Fishburn,

Based upon the information provided in your submittal received 02-15-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Jiffy Lube **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: 02DRB-00172 **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 3C1 Black Farm Estates
City Address: 9386 Coors Blvd., NW ABQ NM

Applicant: TATE FISHBURN ARCHITECT **Contact:** TATE FISHBURN
Address: P.O. BOX 2941, CORRALES, NM 87048
Phone#: _____ **Fax#:** _____ **E-mail:** tatefishburn@msn.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 02-18-2022 **By:** *Tate Fishburn*

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

T A T E F I S H B U R N A R C H I T E C T

February 18, 2022

Hydrology Development- TCL
City of Albuquerque
600 2nd St., N.W., Second Floor West
Albuquerque, NM

Ref: TCL Certification
Jiffy Lube Service Bay Addition-9386 Coors Blvd., NW

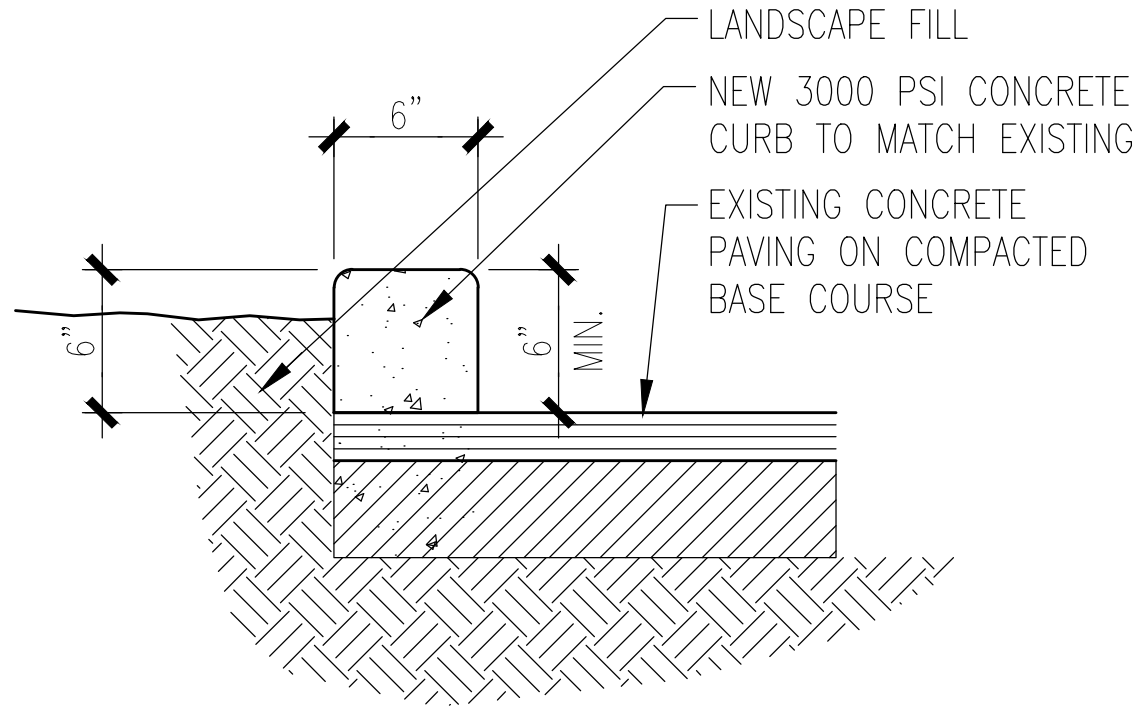
I, Tate Fishburn, NMRA #3550, of the firm Tate Fishburn Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL-1 drawing dated March 3, 2021 and approved on March 4, 2021. The only change that we have noted on the drawing is a portion of damaged asphalt paving that was replaced with concrete paving. I further certify that I have personally visited the project site on February 18, 2022 and have determined by visual observation that the TCL plan provided is representative of actual site condition and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Traffic Circulation Layout certification.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of the project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

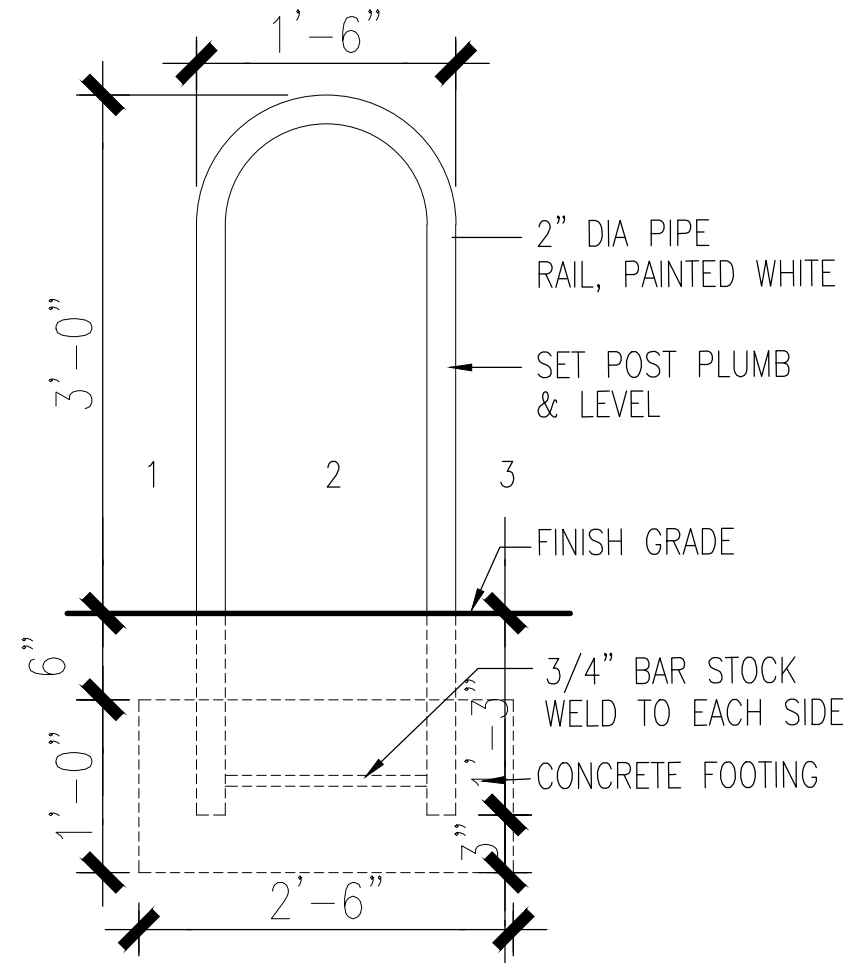


Tate Fishburn
Architect

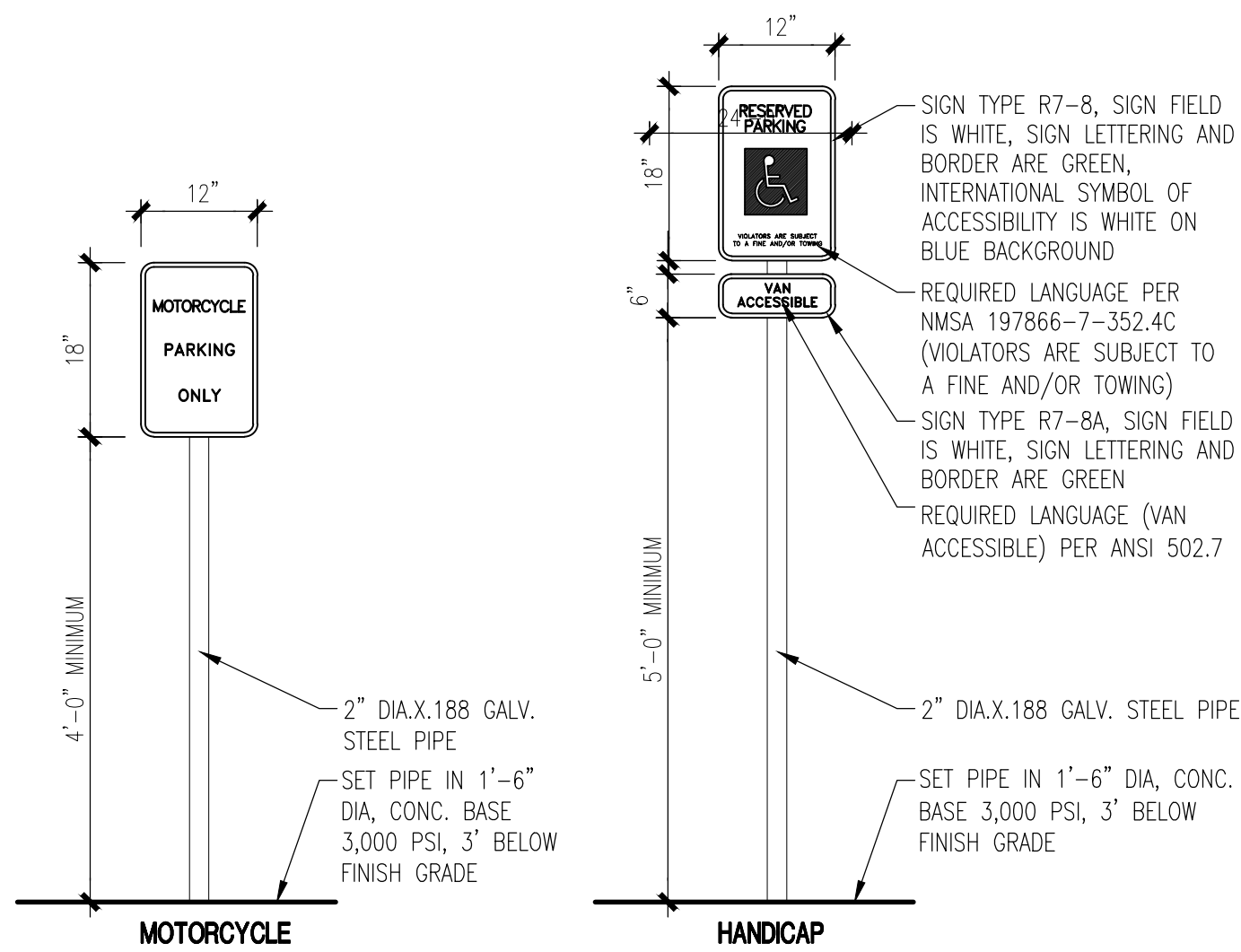
02-18-2022



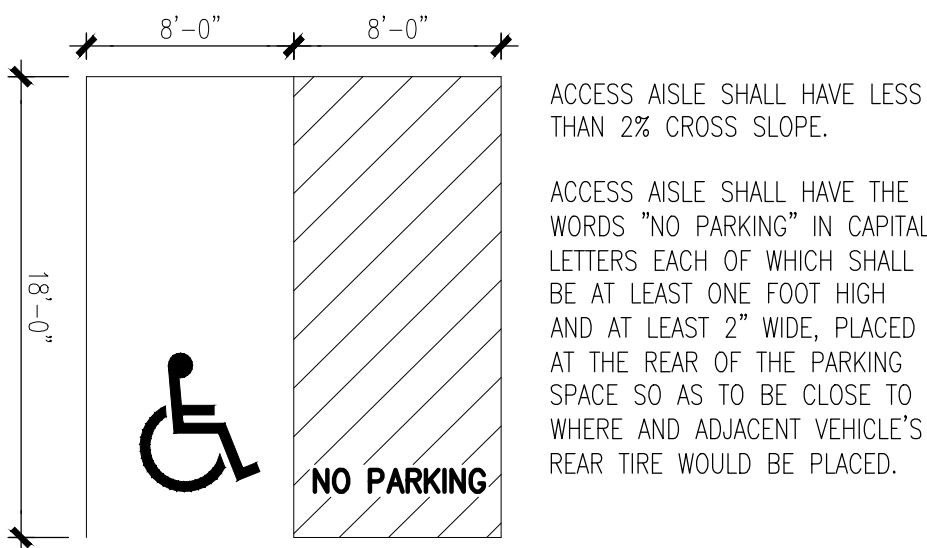
5 CURB DETAIL
N.T.S.



4 BIKE POST DETAIL
N.T.S.



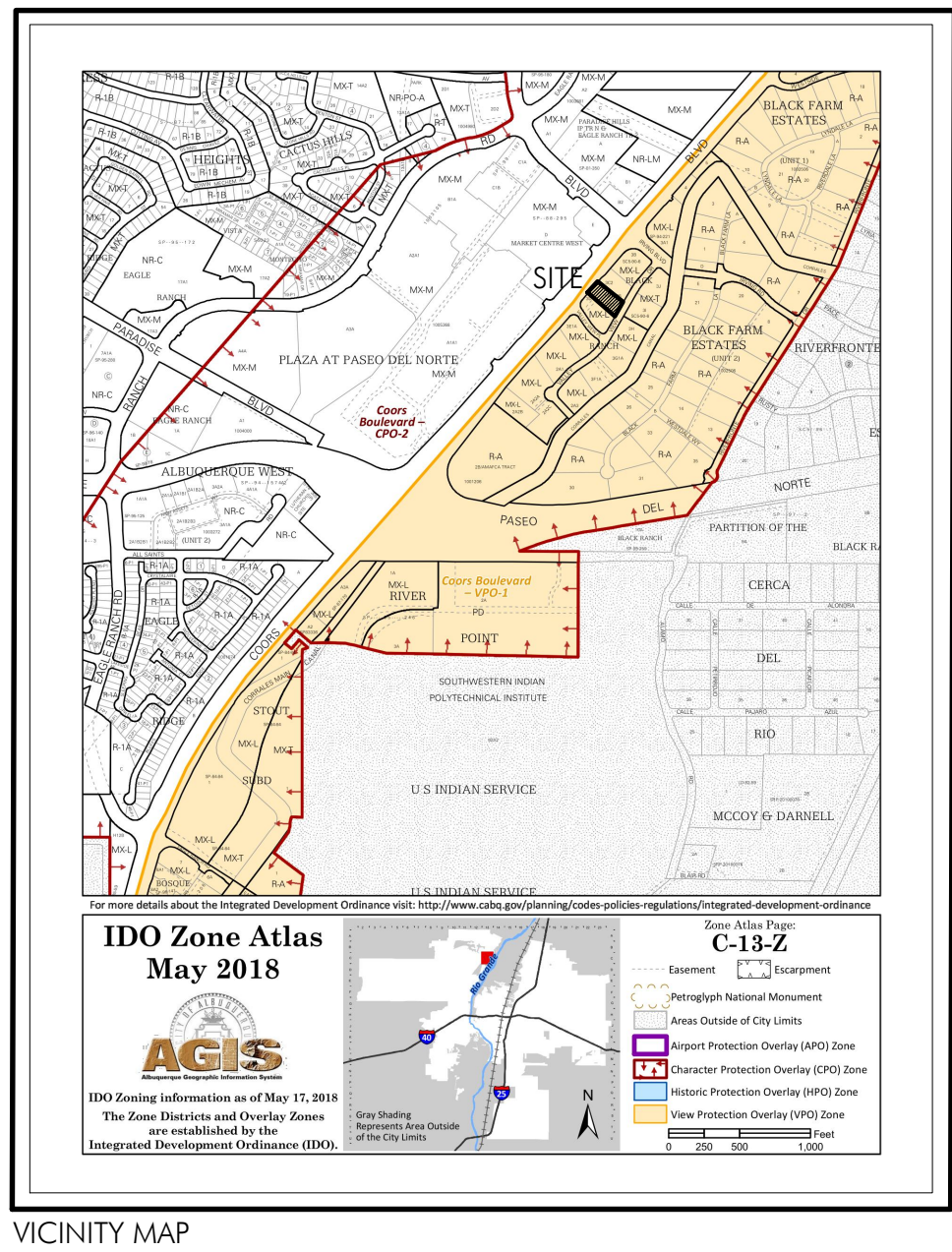
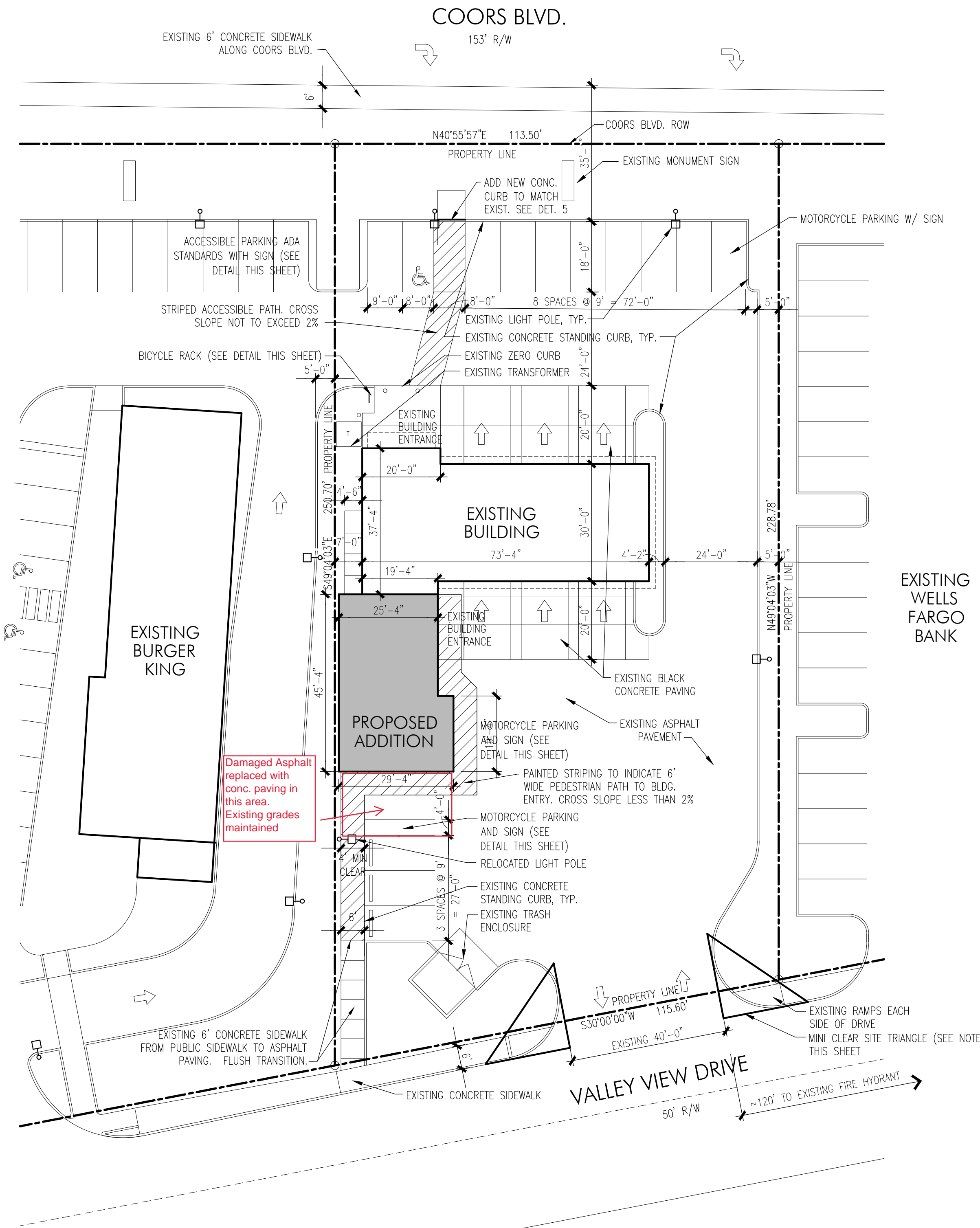
3 PARKING SIGNS
N.T.S.



2 ACCESSIBLE PARKING
N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED
03/04/2021

Jeanne Wolfenbarger



SITE DATA

LEGAL DESCRIPTION: TRACT 3C-1 PART OF 3C OF BLACK RANCH FILED JUNE 14, 1991 VOLUME 91C, FOLIO 121

LOCATION: 9386 COORS BOULEVARD, NW
ALBUQUERQUE, NM 87120

PROPOSED USE: LIGHT VEHICLE REPAIR SHOP

IDO CLASSIFICATION: LIGHT VEHICLE REPAIR
PER IDO 4-3(D)(18)

EXISTING ZONING: MX-L

LOT AREA: 27,210 SF (0.625 ACRES)

BUILDING AREA: EXISTING 2,357 SF
PROPOSED 1,213 SF
TOTAL 3,571 SF

PARKING REQUIRED: 1/1,000 GSF = 4

PARKING PROVIDED: 13

HC PARKING REQUIRED: 1/25 SPACES = 1

HC PARKING PROVIDED: 1, VAN ACCESSIBLE

MC PARKING REQUIRED: 1

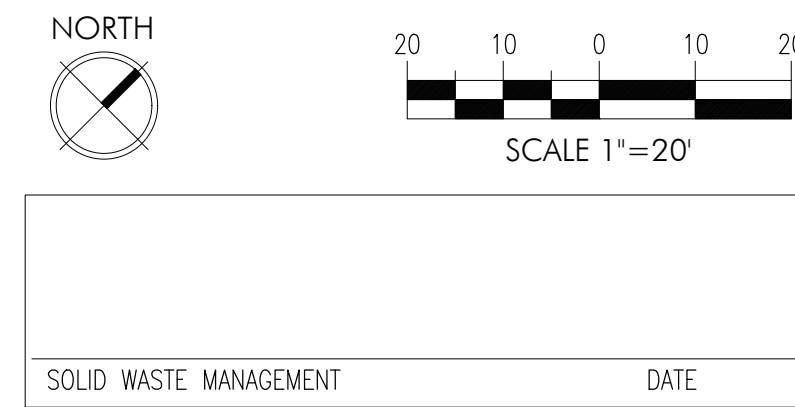
MC PARKING PROVIDED: 1

BICYCLE PARKING REQUIRED: 3

BICYCLE PARKING PROVIDED: 3

MINI CLEAR SITE TRIANGLE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE (11'X11' PER DPM 7-11D).



1 SITE PLAN
1"=20'

T A T E F I S H B U R N
A R C H I T E C T

ARCHITECT SEAL



ENGINEER SEAL

PROJECT

jiffylube
ADDITION
9386 COORS BOULEVARD NW
ALBUQUERQUE, NEW MEXICO 87120

REVISIONS

DATE MARCH 3, 2021

DRAWING NAME

TRAFFIC
CIRCULATION
LAYOUT PLAN

SHEET NUMBER

TCL-1