

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 26, 2014

Ron Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Calibers, 9320 Valley View NW
Certificate of Occupancy – Transportation Development
Site Plan for Building Permit dated 02-04-14 (C13-D025A)
Certification dated 09-17-14

Dear Mr. Bohannon,

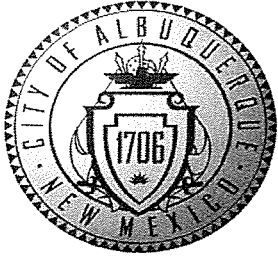
Based upon the information provided in your submittal received 09-19-14 and the pictures provided on 09-25-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Caliber's Shooting Range City Drainage #: C13D025A
DRB#: _____ EPC#: 1001206 Work Order#: _____
Legal Description: Lot 2A-1, Black Ranch
City Address: _____

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon
Address: 5571 Midway Park Place, Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: _____ E-mail: rrb@tierrawestllc.com

Owner: Calibers Properties, LLC Contact: Dennis Burt
Address: 4101 Indian School Rd., NE #440, Albuquerque, NM 87110
Phone#: 505-265-6604 Fax#: _____ E-mail: dburt@burtcpa.com

Architect: Slagle Herr Architects Contact: Joe Slagle
Address: 1600 Rio Grande Blvd., Albuquerque, NM 87104
Phone#: 505-246-0870 Fax#: _____ E-mail: joe@jlsarchitects.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 9/17/14 By: Jonathan D. Niski

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

gan

TIERRA WEST, LLC

September 17, 2013

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
CALIBERS, 9320 VALLEY VIEW, NW**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on September 19, 2014, and is in accordance with the design intent of the Approved Site Plan for Building Permit dated 1/12/14. This certification is submitted in support of the request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Site Plan for Building Permit. Therefore, we request approval of the as-built Approved Site Plan for Building Permit for a Permanent Certificate of Occupancy

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

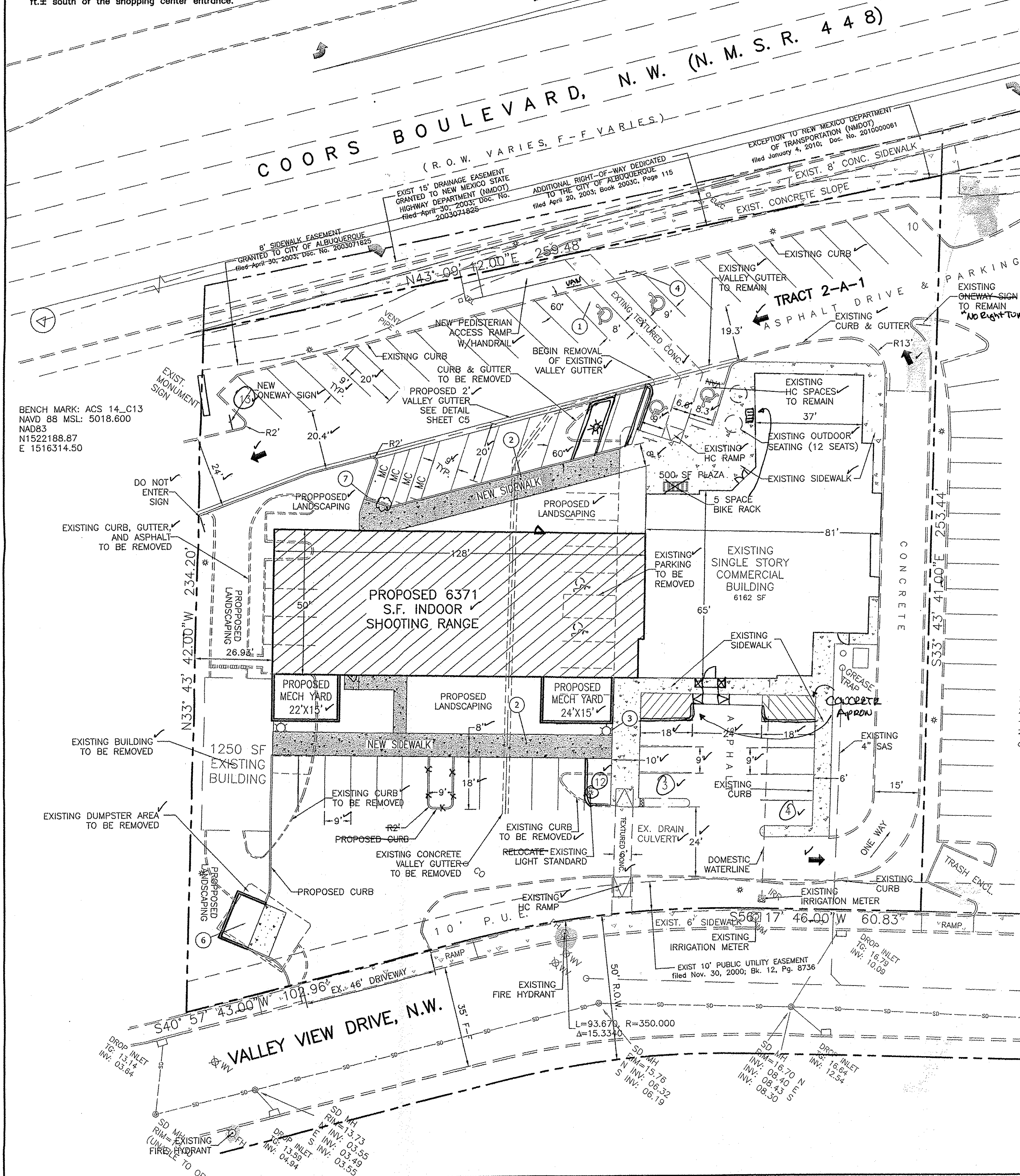
Enclosures

JN: 2013033
RRB/BF/jg

Z:\2013\2013033 - Calibers\Consultants\2013033 Kristal Metro Perm CO Letter 9-19-14.doc

5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

ACS 12" aluminum disk, stamped "ACS BM, 14-C13", epoxied on top of the east side of the center concrete median curb at the PRC of the left turn bay of Northbound Coors Blvd. into the Paseo del Norte shopping center, 0.25 mi.± north of centerline of Paseo del Norte, 0.22 mi.± south of centerline of Irving Blvd., 371 ft.± south of the shopping center entrance.



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- BICYCLE RACK

SITE LEGEND

- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- 8" CONCRETE SIDEWALK PER COA STD. DWG. 2430.
- PEDESTRIAN LIGHTING, TYPICAL.
- HC PARKING SIGN AND BOLLARD. SEE DETAIL, SHEET C5.
- STANDARD CURB AND GUTTER PER COA STD. DWG. 2415A.
- DUMPSTER ENCLOSURE.
- MOTORCYCLE PARKING SIGN. SEE DETAIL, SHEET C5.

SITE DATA

ZONING: SU-1, FOR C-1 USES AS DESCRIBED IN 03EPC00685 (INDOOR SHOOTING RANGE)

PROPOSED USAGE: INDOOR SHOOTING RANGE & RETAIL SALES
LOT AREA: 63,453 SF (1.37 ACRES)

BUILDING AREA:
SHOOTING RANGE 6371 SF (15 LANES)
RETAIL SALES 6162 SF
TOTAL 12,533 SF

PARKING REQUIRED: 31 SPACES (6,162 SF/1 SPACE PER 200 SF)
PARKING REQUIRED: 15 SPACES (1 SPACE PER LANE)
TOTAL PARKING REQUIRED: 46 SPACES

PARKING PROVIDED: 51 SPACES

HC PARKING REQUIRED: 4 SPACES
HC PARKING PROVIDED: 4 SPACES
1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES

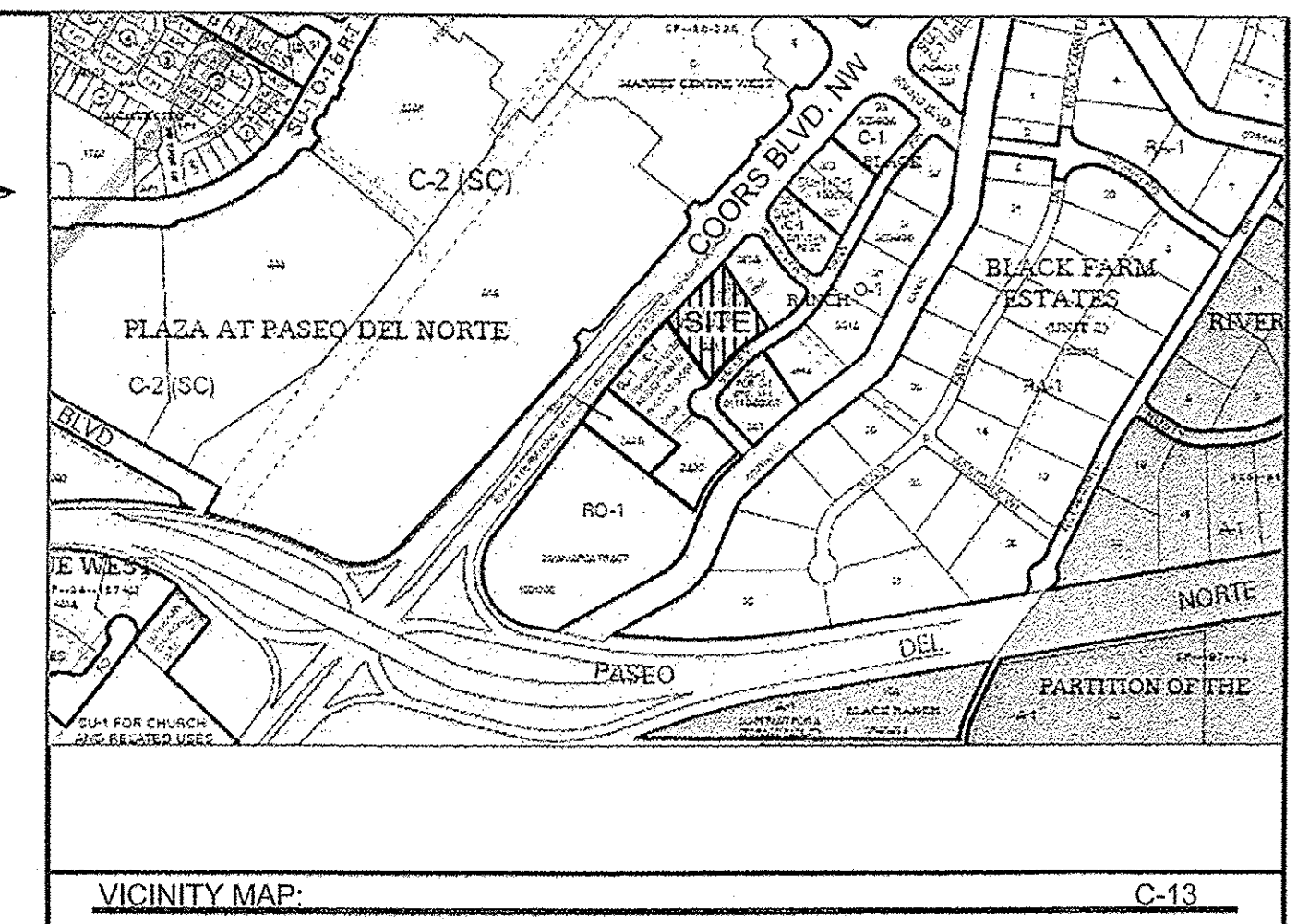
BICYCLE PARKING REQUIRED: 2 SPACES
BICYCLE PARKING PROVIDED: 5 SPACES

LANDSCAPE AREA REQUIRED: 7,425 SF
LANDSCAPE AREA PROVIDED: 13,350 SF

PUBLIC TRANSIT:
BUS ROUTES: 96, 251, 155, 790, 551
BUS STOPS: NB & SB AT INTERSECTION OF COORS RD. & IRVING BLVD.

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. LANDSCAPING PLAN
- C3. GRADING AND DRAINAGE PLAN
- C4. BUILDING ELEVATIONS
- C5. DETAIL SHEET
- C6. VIEW PLANE EXHIBIT
- C7. VIEW PLANE EXHIBIT



VICINITY MAP:

C-13

LEGAL DESCRIPTION:

Tract Two-A-One (2-A-1) of BLACK RANCH, a Subdivision in the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 30, 2003, in Plat Book 2003C, Page 115.

The above described property is located within Zone "X (No Flood Hazards)", Community Panel No. 350002 0116 G, dated September 26, 2008, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

EASEMENTS

- 8" SIDEWALK EASEMENT granted to the City of Albuquerque per Plat filed April 30, 2003, Book 2003C, Page 115.
- EXISTING 10 PUBLIC UTILITY EASEMENT, per Plat filed June 11, 2002, Volume 2002C, Folio 204, to remain.
- EXISTING 50' PUBLIC ROADWAY, SANITARY SEWER AND WATER EASEMENT, per Document filed May 2, 2002, Book A35, Page 7258 (Valley View Drive NW), to remain.
- EXISTING PUBLIC UTILITY EASEMENT, per Document filed November 30, 2000, Book A12, Page 8738 to remain.
- Additional right-of-way dedicated to the City of Albuquerque in fee simple with warranty covenants by the Plat of Tracts 2-A-1, 2-A-2, 2-A-3, 3E-1-A and 3g-1-A, Black Ranch, filed April 30, 2003, in Plat Book 2003C, Page 115.

NOTE:

Said Tract 2-A-1 is subject to all restrictions, conditions and requirements as set forth in that certain "DECLARATION OF PROTECTIVE COVENANTS, RESTRICTIONS AND GRANT OF EASEMENTS", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 30, 2003, in Book A55, Page 1686

PROJECT NUMBER: 1001206

APPLICATION NUMBER: 13EPC-40150

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12-12-13, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	02-03-14
Allen Carter	Date
Water Utility Department	01/22/14
Carl S. Dumont	Date
Parks & Recreation Department	1-22-14
Ante a Chem	Date
City Engineer	1-22-14
Environmental Health Department (conditional)	Date
Joe Whaley	1-13-14
Solid Waste Management	Date
DRB Chairperson, Planning Department	2-4-14
Environmental Health, if necessary	Date

ENGINEER'S SEAL	CALIBERS ALBUQUERQUE, NM	DRAWN BY SBH
RONALD R. BOHANNAN PROFESSIONAL ENGINEER	SITE PLAN FOR BUILDING PERMIT	DATE 12/17/13
JONATHAN D. NISKI P.E. #18713	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2013033_SPE
		SHEET # C1
		JOB # 2013033

GRAPHIC SCALE

