

CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

February 1, 2018

Donald Duneman, P.E.
Wilson & Company
4900 Lang Ave NE
Albuquerque, NM, 87109

RE: Nutex Healthcare – Albuquerque Micro Hospital
9310 Coors Blvd NW
Grading and Drainage Plan
Engineer's Stamp Date: 01/19/18
Hydrology File: C13D025B

Dear Mr. Duneman:

Based upon the information provided in your submittal received 01/22/2018, the Grading and Drainage Plan is approved for Building Permit and Grading Permit. The Grading and Drainage Plan is also approved for action by the DRB on Site Plan for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

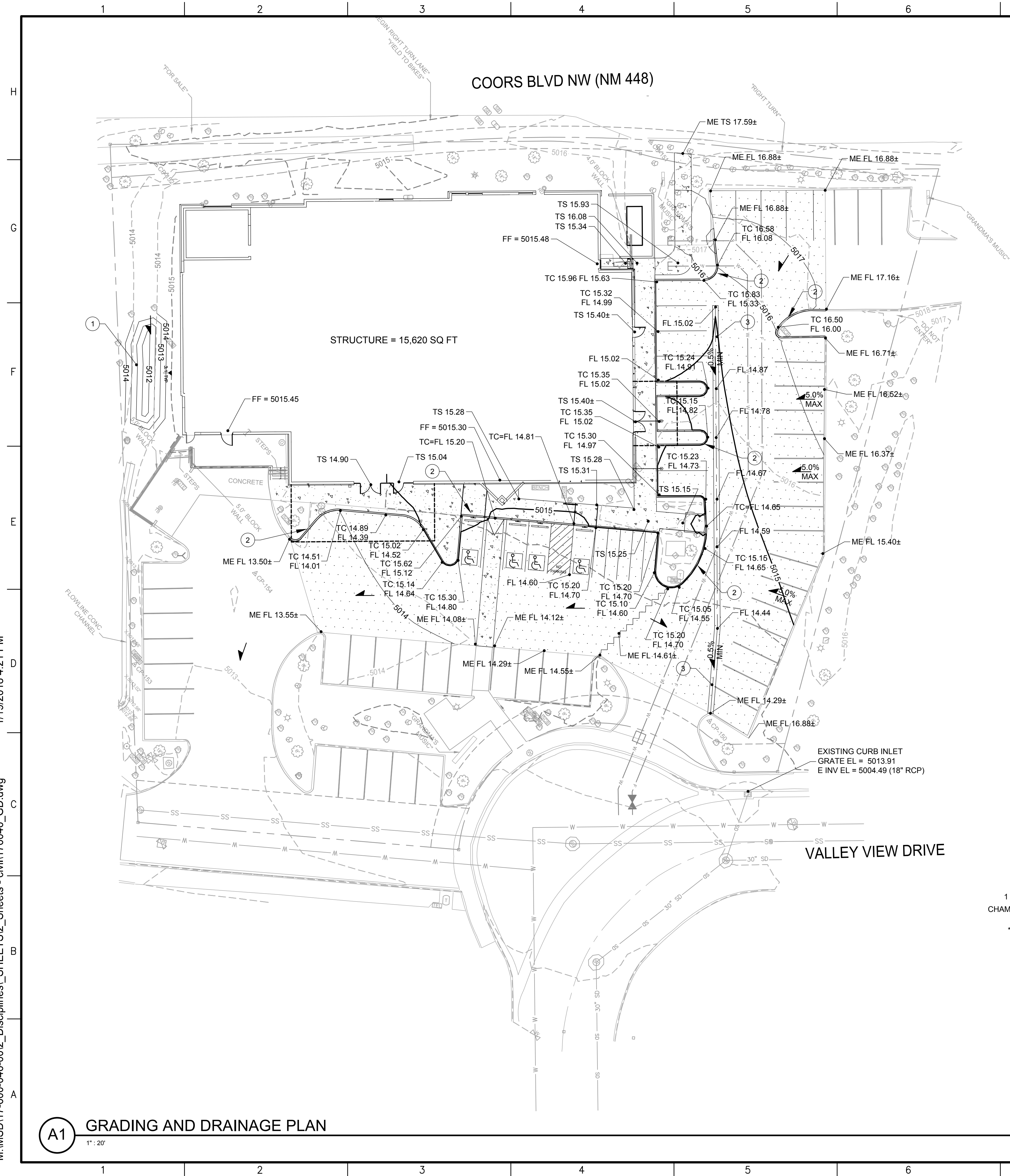
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



○ KEYNOTES

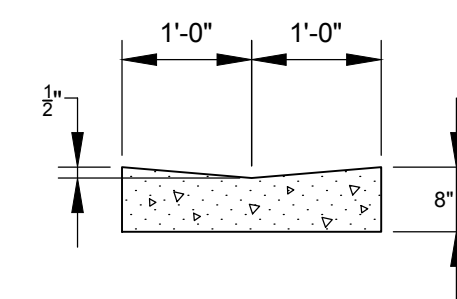
1. PROPOSED FIRST FLUSH PONDING AREA. REMOVE EXISTING LANDSCAPE, EXCAVATE, AND DISPOSE 19 CY OF NATIVE SOIL. SEE LANDSCAPE SHEET FOR REPLACEMENT SURFACING TREATMENT.
2. 6" CURB, SEE DETAIL THIS SHEET.
3. CONSTRUCT ALLEY GUTTER PER DETAIL THIS SHEET AND COA STD DWG 2415A.

Existing conditions:

The project area is located approximately 0.24 miles east of the intersection of Coors Blvd and Paseo del Norte Blvd. The Grandma's Music & Sounds Store, tract 2-A-2-A, with an area of 1.525 acres is fully developed and slopes in a south-southwesterly direction. It is bounded by Coors Blvd., NW to the north, Valley View Drive, NW to the south and commercial properties to the east and west. The project area is located in zone "X" per FEMA FIRM 35001C1016G dated Sept. 26, 2008 which is outside of the floodplain. There are no offsite drainage entering the site. Runoff from the east half of the site sheet flows in a southerly direction to Valley View Drive where it is then collected by the storm inlets in the road. The storm drain system discharges into an existing drainage facility owned by AMAFCA located approximately 300 feet west of the site. Roof runoff from the north side of the building is collected in a gravel salue along the north and west of the site. This runoff along with the rest of the building and parking lot area south of the building drain in a southwesterly direction to the adjacent property's parking lot. A private drainage easement between this tract and adjacent tracts 2-A-2-B and 2-A-2-C is to receive sheet flows which ultimately drain into the existing drainage facility mentioned above.

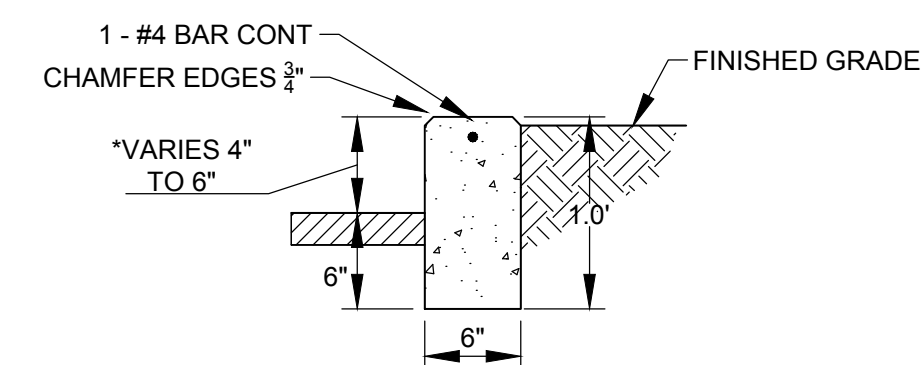
Developed Conditions:

The improvements will include replacing the existing store with a micro hospital. All drainage patterns will remain as existing. No additional runoff will be created. There will not be any changes to the perimeter of the property. A small retention area west of the building will be created to provide for the first flush ponding per the City requirements (0.34 inches x 0.41 acres = 19 CV). A portion of the existing paved parking lot and sidewalk east and south of the building will be re-graded and repaved to provide appropriate grades to new accesses of the building. The ADA parking areas will also require re-grading per latest codes to accommodate accessible spaces.



C7 ALLEY GUTTER

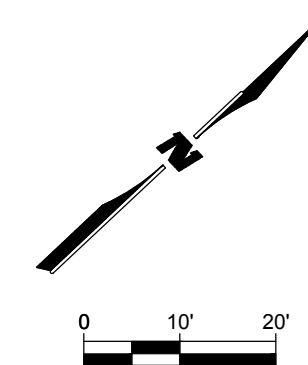
SCALE: NTS



CONCRETE CURB DETAIL

SCALE: NTS

* SEE PLAN FOR CURB HEIGHT

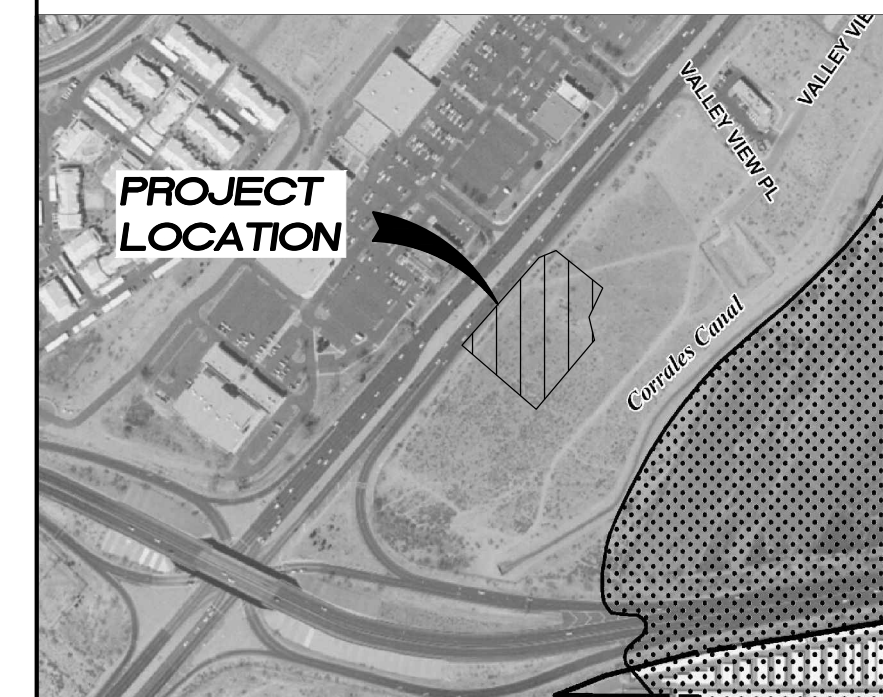


LOCATION MAP
ZONE ATLAS MAP NO. C-13



SOILS MAP

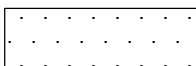
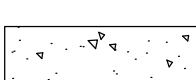




REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY
FIRM 35001C0116G
SEPT. 26, 2008

LEGEND

	PROPERTY LINE
	NEW ASPHALT PAVEMENT
	NEW CONCRETE SIDEWALK
TS	TOP OF SIDEWALK
FG	FINISHED GRADE
FL	FLOW LINE
TC	TOP OF CURB
	DRAINAGE FLOW PATH
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	WATER BLOCK

**WILSON
& COMPANY**
4401 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109
(505) 348-4000

NAME _____

NUTEX HEALTHCARE
ALBUQUERQUE
MICRO HOSPITAL

ALBUQUERQUE, NM

PROJECT NO:	17-600-046-00
DESIGNED BY:	MDG
DRAWN BY:	ALL
CHECKED BY:	DMD
DATE:	NOVEMBER 2017

SHEET TITLE

**GRADING AND
DRAINAGE PLAN**

SHEET NO: C-103