



# **City of Albuquerque**

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**Planning Department  
Transportation Development Services Section**

March 9, 2004

James C. Lewis, Registered Architect  
1620 Central SE  
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Grandma's Music & Sound, [C-13 / D25B]  
9310 Coors NW  
Architect's Stamp Dated 03/08/04

Dear Mr. Lewis:

The TCL / Letter of Certification submitted on March 8, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/11/2002)

C-13/D25B

PROJECT TITLE: GRANDMAS MUSIC SOUND ZONE MAP/DRG. FILE #: C-13-7  
DRB #: \_\_\_\_\_ EPC#: 03EPC00511 WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT 2A2, BLACK RANCH  
CITY ADDRESS: 9310 COORS BLVD

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: MICKY PATTEN  
ADDRESS: 9310 COORS BLVD  
CITY, STATE: ABQ NM

CONTACT: \_\_\_\_\_  
PHONE: 292-0341  
ZIP CODE: 87114

ARCHITECT: SCHIEGEL LEWIS ARCHITECTS  
ADDRESS: 1620 CENTRAL AVE SE  
CITY, STATE: ABQ NM

CONTACT: JIM LEWIS  
PHONE: 247-1529  
ZIP CODE: 87102

SURVEYOR: \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: SIERRA DEVELOPMENT  
ADDRESS: 107 BURN MAWR  
CITY, STATE: ABQ NM

CONTACT: GREG LUTZ  
PHONE: 262-4000  
ZIP CODE: 87102

**CHECK TYPE OF SUBMITTAL:**

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

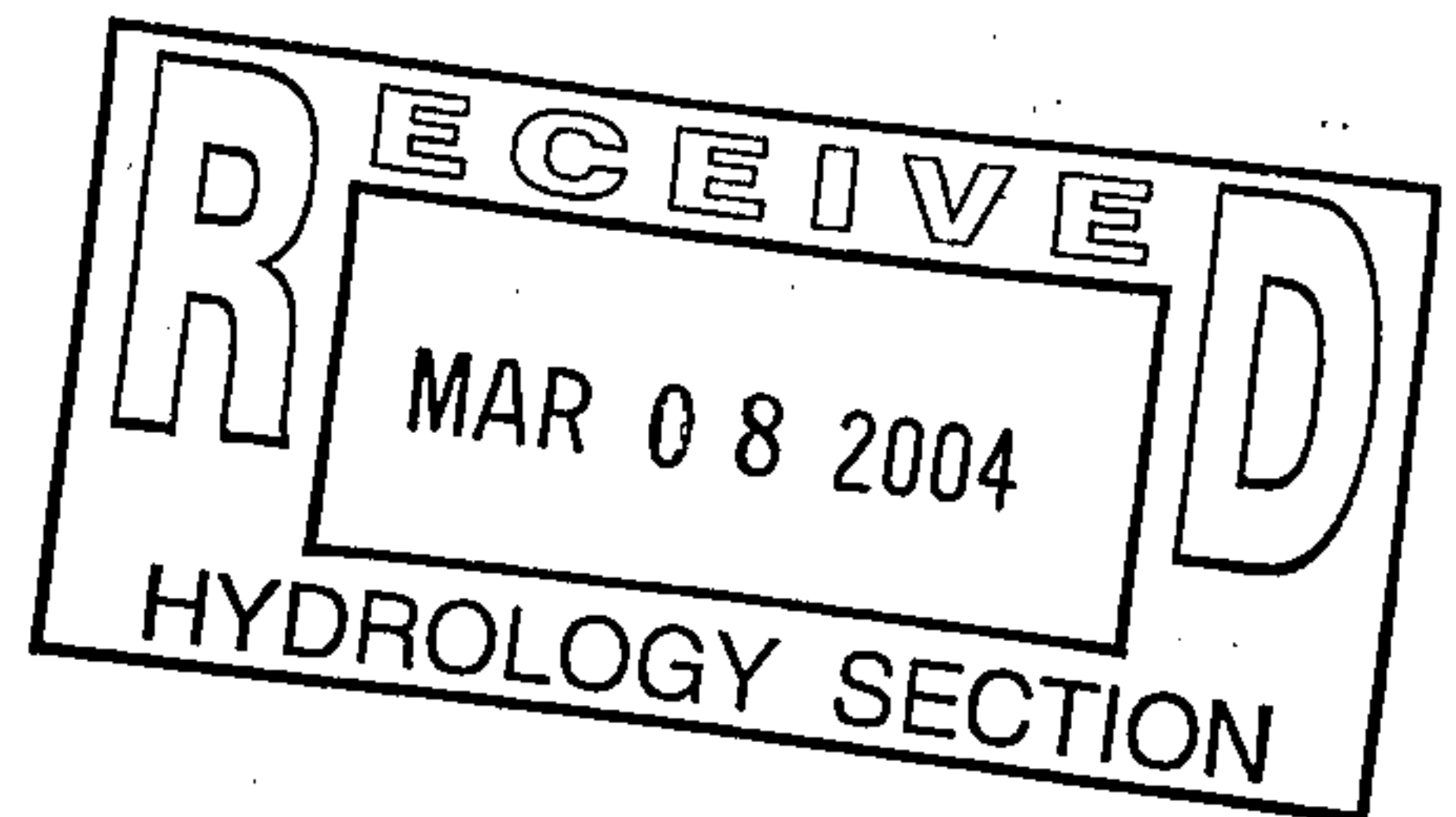
**CHECK TYPE OF APPROVAL SOUGHT:**

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 8 MAR 04 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

# Schlegel Lewis Architects

03/08/04

Letter of Architectural Certification  
submitted for final  
Certificate of Occupancy

City of Albuquerque  
Traffic Division  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Grandma's Music and Sound, 9310 Coors Blvd. NW

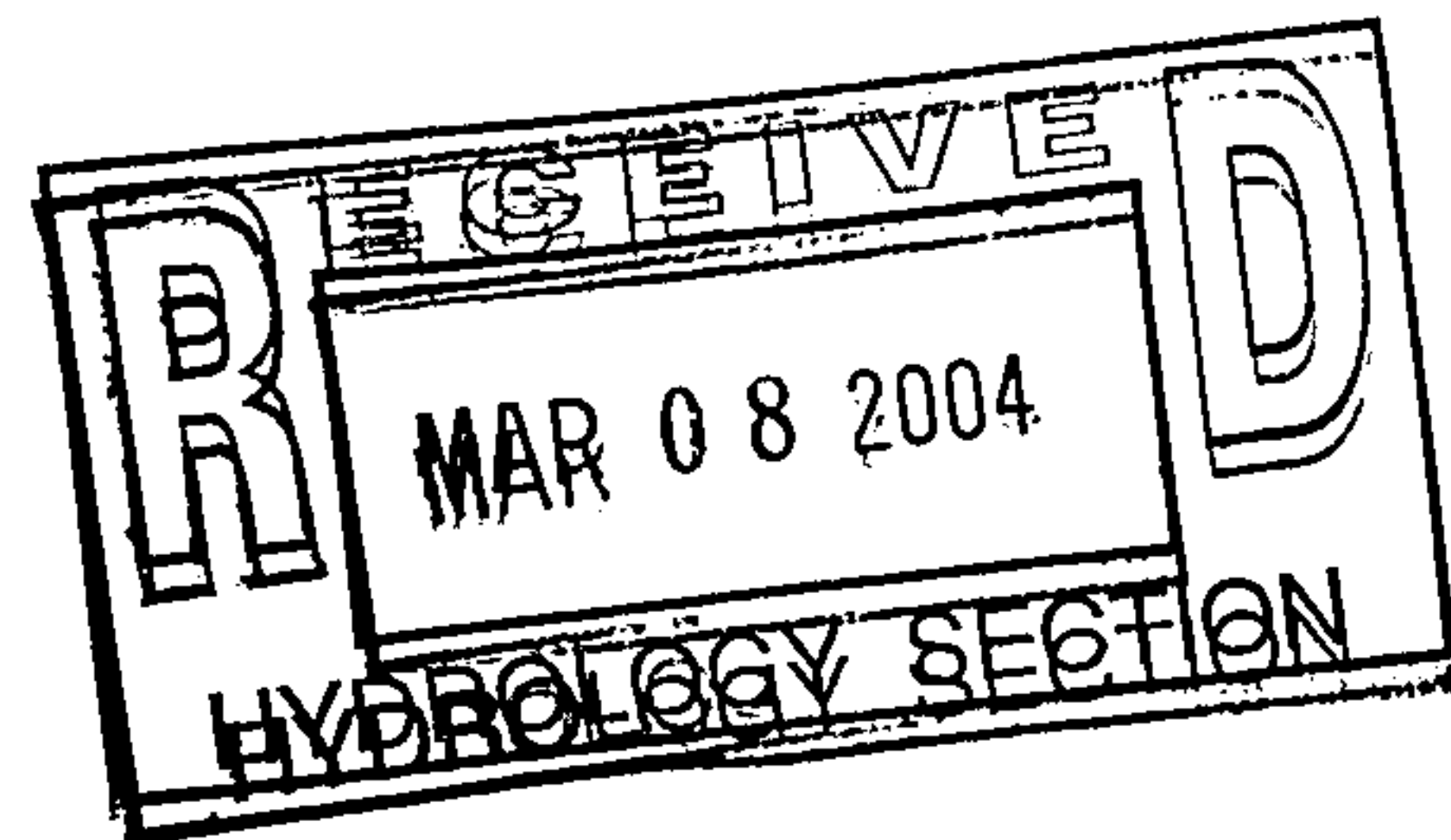
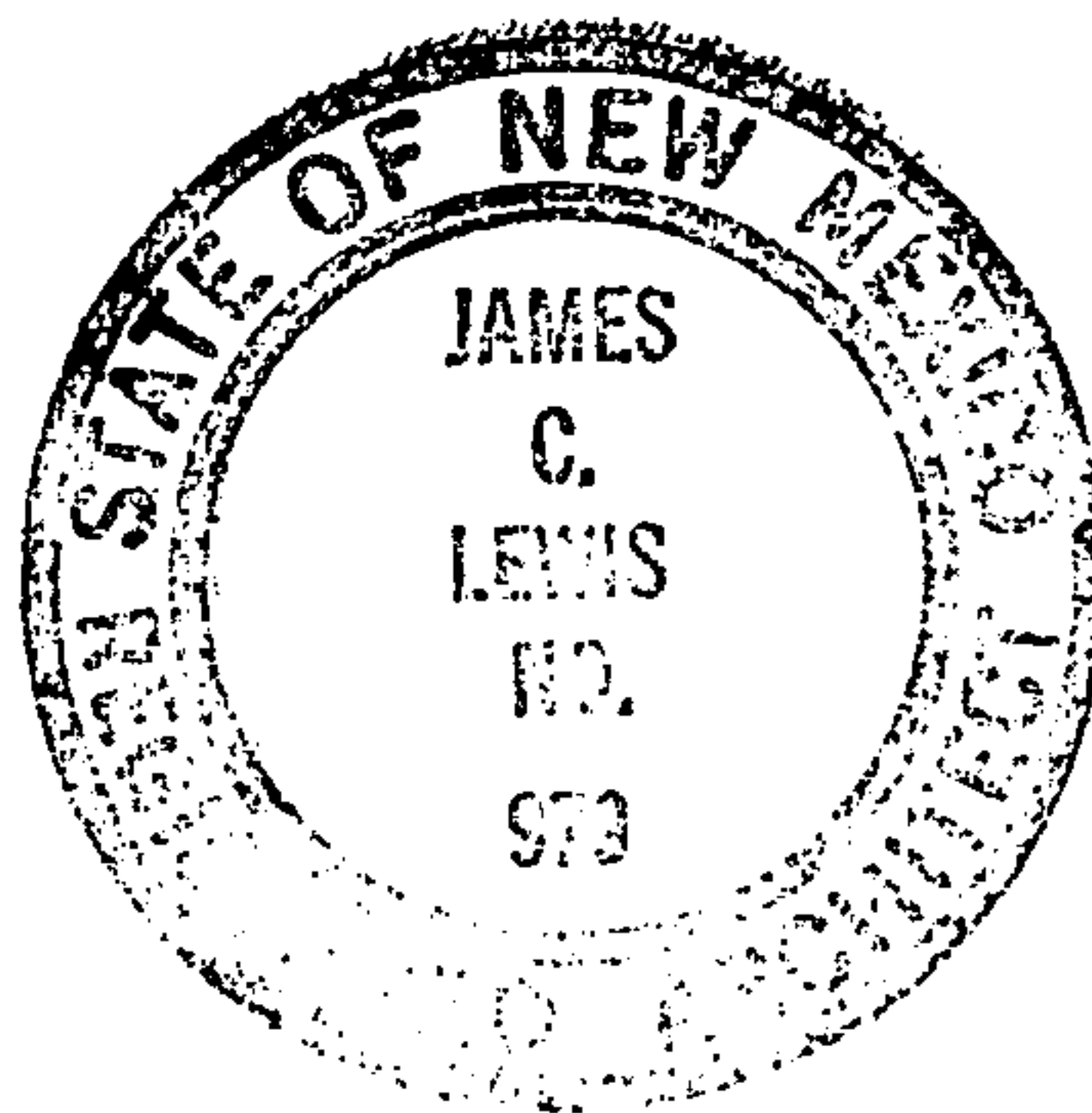
We have visited the above referenced site and, based on our observations and to the best of our knowledge, the circulation areas, parking spaces (including HC spaces), sidewalks, ramps, and landscaped areas are in substantial compliance with the approved site plan.

If you have any questions, please feel free to call our office at 247-1529.

Sincerely,



James C Lewis





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 2004

Steve Salazar, P.E.  
Wilson & Company  
2600 The American Rd. SE, Suite 100  
Rio Rancho, NM 87124

**Re: Grandma's Music, 9310 Coors Blvd. NW, Certificate of Occupancy  
Engineer's Stamp dated 6-18-03 (C13/D25B)  
Certification dated 3-16-04**

Dear Mr. Salazar,

Based upon the information provided in your submittal received 3-17-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file

C-13/D25B

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

Grandma's Music

PROJECT TITLE: Grandma's ZONE MAP/DRG. FILE#: C-13-Z

DRB#: EPC#: 03EPC-00510/00511 WORK ORDER #:

LEGAL DESCRIPTION: Tracts 2A-2(A), Black Ranch

CITY ADDRESS: Coors Blvd. NW between Paseo del Norte & Irving Blvd. 9310 Coors Blvd NW

ENGINEERING FIRM: Wilson & Company CONTACT: Steve J. Salazar
ADDRESS: 2600 The American Rd. SE, Suite 100 PHONE: (505) 898-8021
CITY, Rio Rancho, NM ZIP CODE: 87124

OWNER: Black Development Two, LLC CONTACT: John Black
ADDRESS: 3613 NMSR 528, Suite H PHONE: (505) 792-3713
CITY, Albuquerque, NM ZIP CODE: 87114

ARCHITECT: SLNB Architects CONTACT: Jim Lewis
ADDRESS: 1620 Central Ave. SW PHONE: (505) 247-1529
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

SURVEYOR: Surv-Tek CONTACT: Rusty Hugg
ADDRESS: 5643 Paradise Blvd. NW PHONE: (505) 897-3366
CITY, Albuquerque, NM ZIP CODE: 87114

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL OR EQUAL
CONCEPTUAL GRADING & DRAINAGE PLAN
GRADING PLAN
EROSION CONTROL PLAN
[X] ENGINEERS CERTIFICATION (HYDROLOGY)
CLOMRLMR
TRAFFIC CIRCULTAION LAYOUT (TCL)
ENGINEERS CERTIFICATION (TCL)
ENGINEERS CERTIFICATION (DRB, APPR. SITE PLAN)
OTHER

Need stamp date 6/18/03

CHECK TYPE OF APPROVAL SOUGHT:

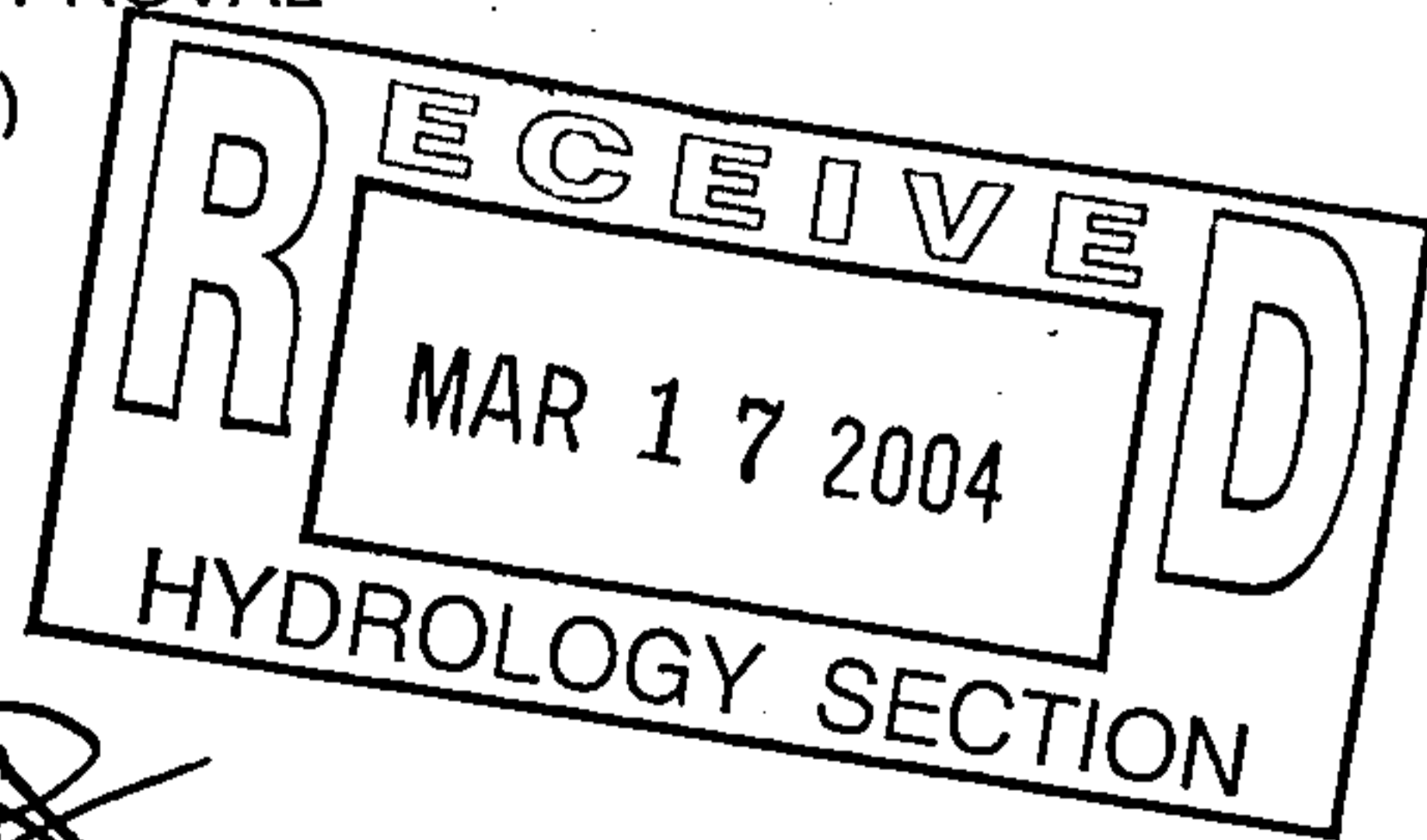
- SIA / FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D. APPROVAL
S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
[X] CERTIFICATION OF OCCUPANCY (PERM.)
CERTIFICATION OF OCCUPANCY (TEMP.)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
[X] NO Cert
COPY PROVIDED

Date 3-16-04 by Steve Salazar

Date Submitted: 3-17-04 By: Steve J. Salazar



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 1, 2003

Daniel Aguirre, PE  
Wilson & Company  
2600 American Road SE, Suite 100  
Rio Rancho, NM 87124

**RE: Grandma's Grading and Drainage Plan (C-13/D25B)  
Engineer's Stamp Dated June 18, 2003**

Dear Mr. Aguirre:

The above referenced grading and drainage plan received June 18, 2003 is approved for Building Permit. Please attach a copy of the approved plan to the construction set. Prior to Certificate of Occupancy approval, an Engineer's Certification per the Development Process Manual is required.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

C-13/D25B

PROJECT TITLE: Grandma's ZONE MAP/DRG. FILE#: 0132  
DRB#: \_\_\_\_\_ EPC#: 03EPC-00510/00511 WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts 2A-2(A), Black Ranch

CITY ADDRESS: Coors Blvd. NW between Paseo del Norte & Irvin Blvd.

ENGINEERING FIRM: Wilson & Company CONTACT: Steve J. Salazar

ADDRESS: 2600 The American Rd. SE, Suite 100 PHONE: (505) 898-8021

CITY, STATE: Rio Rancho, NM ZIP CODE: 87124

OWNER: Black Development Two, LLC CONTACT: John Black

ADDRESS: 3613 NMSR 528, Suite H PHONE: (505) 792-3713

CITY, STATE: Albuquerque, NM ZIP CODE: 87114

ARCHITECT: SLNB Architects CONTACT: Jim Lewis

ADDRESS: 1620 Central Ave. SW PHONE: (505) 247-1529

CITY, STATE: Albuquerque, NM ZIP CODE: 87106

SURVEYOR: Surv-Tek CONTACT: Rusty Hugg

ADDRESS: 5643 Paradise Blvd. NW PHONE: (505) 897-3366

CITY, STATE: Albuquerque, NM ZIP CODE: 87114

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

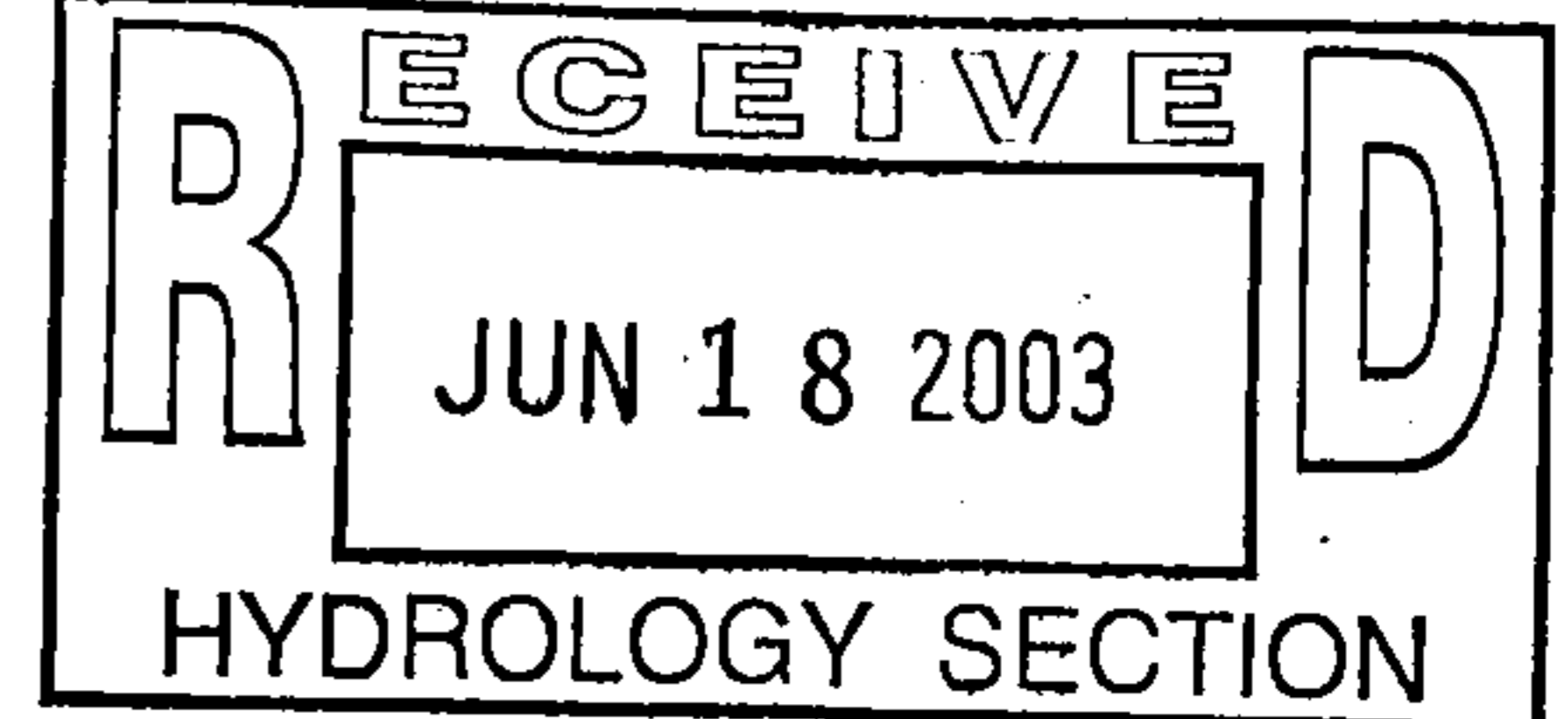
- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL. REQUIRES TCL OR EQUAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEERS CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
- OTHER

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- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATION OF OCCUPANCY (PERM.)
- CERTIFICATION OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED



Date Submitted: 6/18/03 By: Steve J. Salazar

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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**WILSON  
& COMPANY**

2600 American Rd. SE  
Suite 100  
Rio Rancho, NM 87124  
505-898-8021  
505-898-8501 Fax

Albuquerque  
Colorado Springs  
Denver  
El Paso  
Fort Worth  
Houston  
Kansas City  
Las Cruces  
Lenexa  
Los Angeles  
Panama City, Pma.  
Phoenix  
Rio Rancho  
Salina  
San Bernardino  
Wichita

18 June, 2003

Carlos A. Montoya, PE  
Flood Plain Administrator  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Mr. Montoya:

The purpose of this letter is to address the comments made by you regarding Grandma's Grading and Drainage Plan/Report dated June 10, 2003.

**Comment 1:** A drainage easement is required for cross-lot drainage through Tract 2-A-2-B.

**Solution:** A drainage easement shall be granted through the plat: Tracts 2-A-2-A, 2-A-2-B and 2-A-2-C Black Ranch. The following language will be included in the plat (Also see attached).

A "Private Drainage Easement" covering Tracts 2-A-2-A, 2-A-2-B, and 2-A-2-C (Excepting therefrom any buildings) is hereby granted by this plat. Said Easement is required to accept sheet flows from said located on the East Side of Tract 2-A-2-C. Maintenance of said easement to be the responsibility of each respective owner. (As to each Tract).

**Comment 2:** Please address erosion control due to cross-lot drainage.

**Solution:** The cross-lot drainage shall drain into a temporary *desilting* pond located at the southeastern portion of tract 2-A-2-C. A desilting structure is located in this pond which will drain into the AMAFCA detention pond in Tract 2-B. The *desilting* pond shall be maintained by the property owner as per the approved Drainage Master Plan for Black Ranch Tracts 2 & 3, dated December 2002.

**Comment 3:** Please show storm drain on west side of property.

**Solution:** The proposed storm drain system is shown on plan. This system is to be built by the NMSH&TD.

If you have any questions or comments, please feel free to contact me at 898-8021.

WILSON & COMPANY

  
Steve J. Salazar, PE  
Enclosures





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 10, 2003

Daniel Aguirre, PE  
Wilson & Company  
2600 American Road SE, Suite 100  
Rio Rancho, NM 87124

**RE: Grandma's Grading and Drainage Plan (C-13/D25B)  
Engineer's Stamp Dated May 27, 2003**

Dear Mr. Aguirre:

I have reviewed the above referenced grading and drainage plan received May 27, 2003 and forward the following comments:

1. A drainage easement is required for cross-lot drainage through Tract 2-A-2-B.
2. Please address erosion control due to cross-lot drainage.
3. Please show storm drain on west side of property.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003)

C-13/D25B

PROJECT TITLE: Grandma's music ZONE MAP/DRG. FILE#: C-13-Z

DRB#: \_\_\_\_\_ EPC#: 03EPC-00510/00511 WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tracts 2A-2(A), Black Ranch

CITY ADDRESS: Coors Blvd. NW between Paseo del Norte & Irvina Blvd.

ENGINEERING FIRM: Wilson & Company CONTACT: Steve J. Salazar

ADDRESS: 2600 The American Rd. SE, Suite 100 PHONE: (505) 898-8021

CITY: Rio Rancho, NM ZIP CODE: 87124

OWNER: Black Development Two, LLC CONTACT: John Black

ADDRESS: 3613 NMSR 528, Suite H PHONE: (505) 792-3713

CITY: Albuquerque, NM ZIP CODE: 87114

ARCHITECT: SLNB Architects CONTACT: Jim Lewis

ADDRESS: 1620 Central Ave. SW PHONE: (505) 247-1529

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CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CITY: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL. REQUIRES TCL OR EQUAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
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- CLOMR\LOMR
- TRAFFIC CIRCULTAION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
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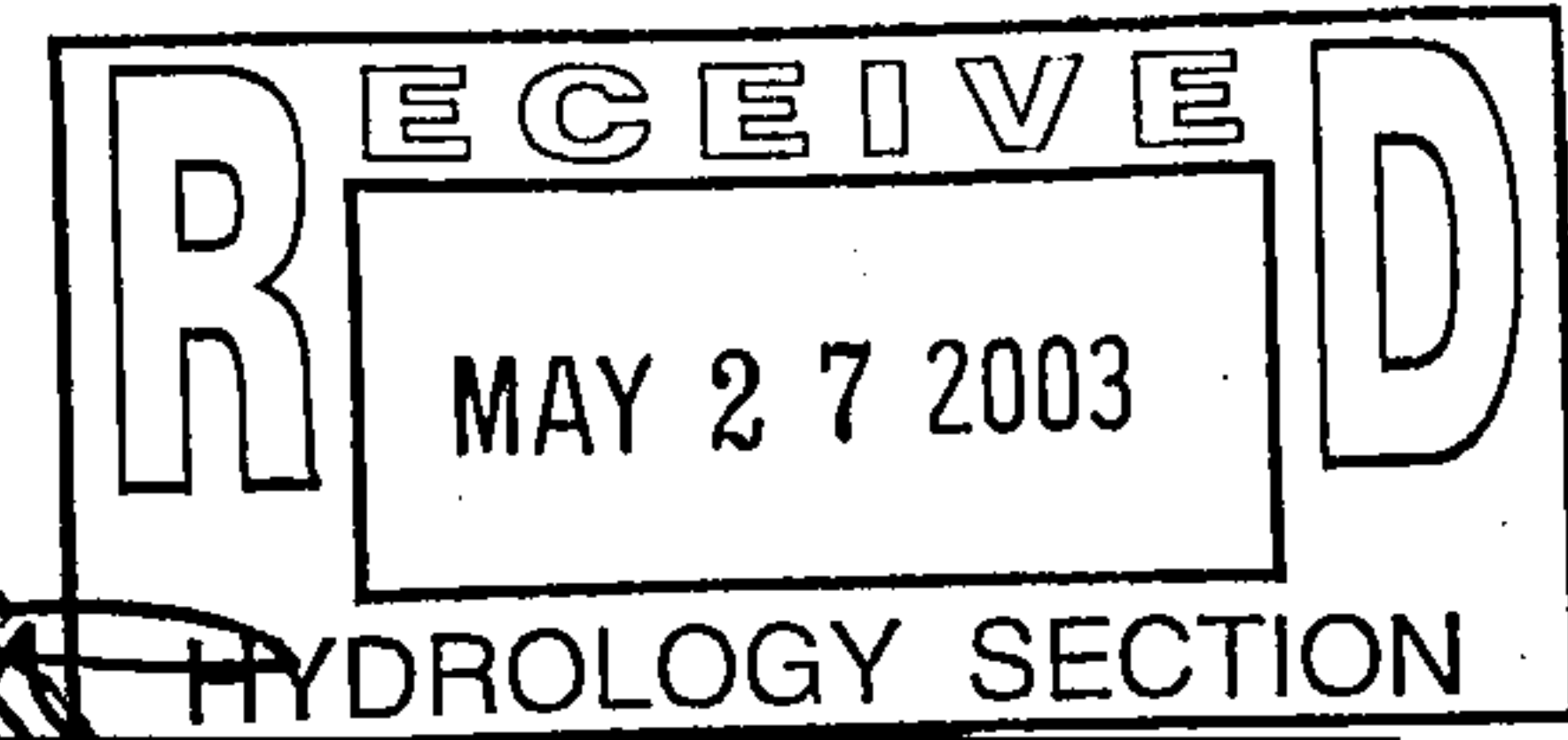
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- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- CERTIFICATION OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

Date Submitted: 5/27/03

By: Steve J. Salazar  HYDROLOGY SECTION



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