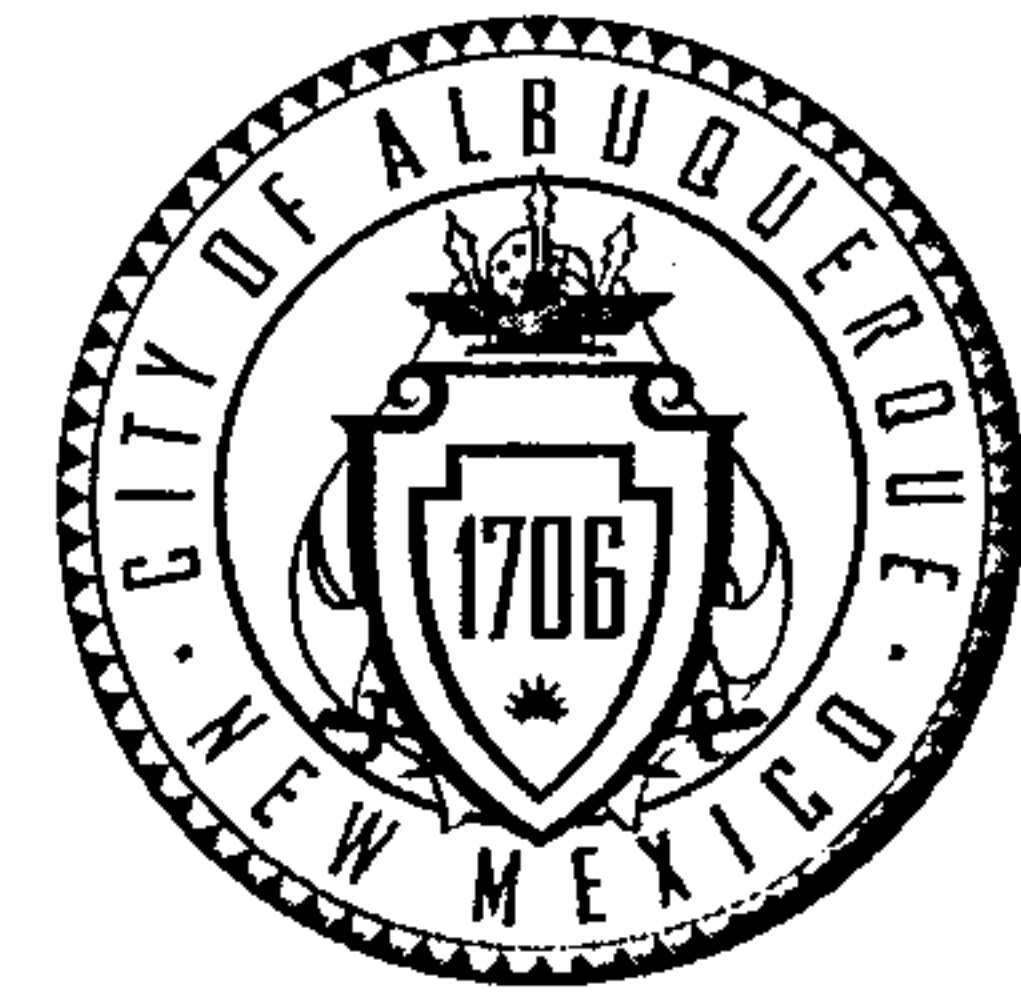


CITY OF ALBUQUERQUE



December 3, 2014

Mr. David Soule
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**Re: Garcia Residence – Lot 11 Black Farms
Grading and Drainage Plan with Engineer's Stamp Dated 11-17-14
(C13D027B)**

Dear Mr. Soule,

Based upon the information provided in your submittal received November 17, 2014, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

For future submittals, refer to water harvesting as First Flush. Calculate the First Flush as follows. Per the City Drainage ordinance, the 90th Percentile Storm Event, which is 44 inches, is to be managed. Reduce 0.44 inch by the 0.1 inch for the initial impervious abstraction in Table A-6 of Section 22 of the DPM. Multiply the remaining 0.34 inch by your impervious area. This is the amount of the First Flush necessary for the site.

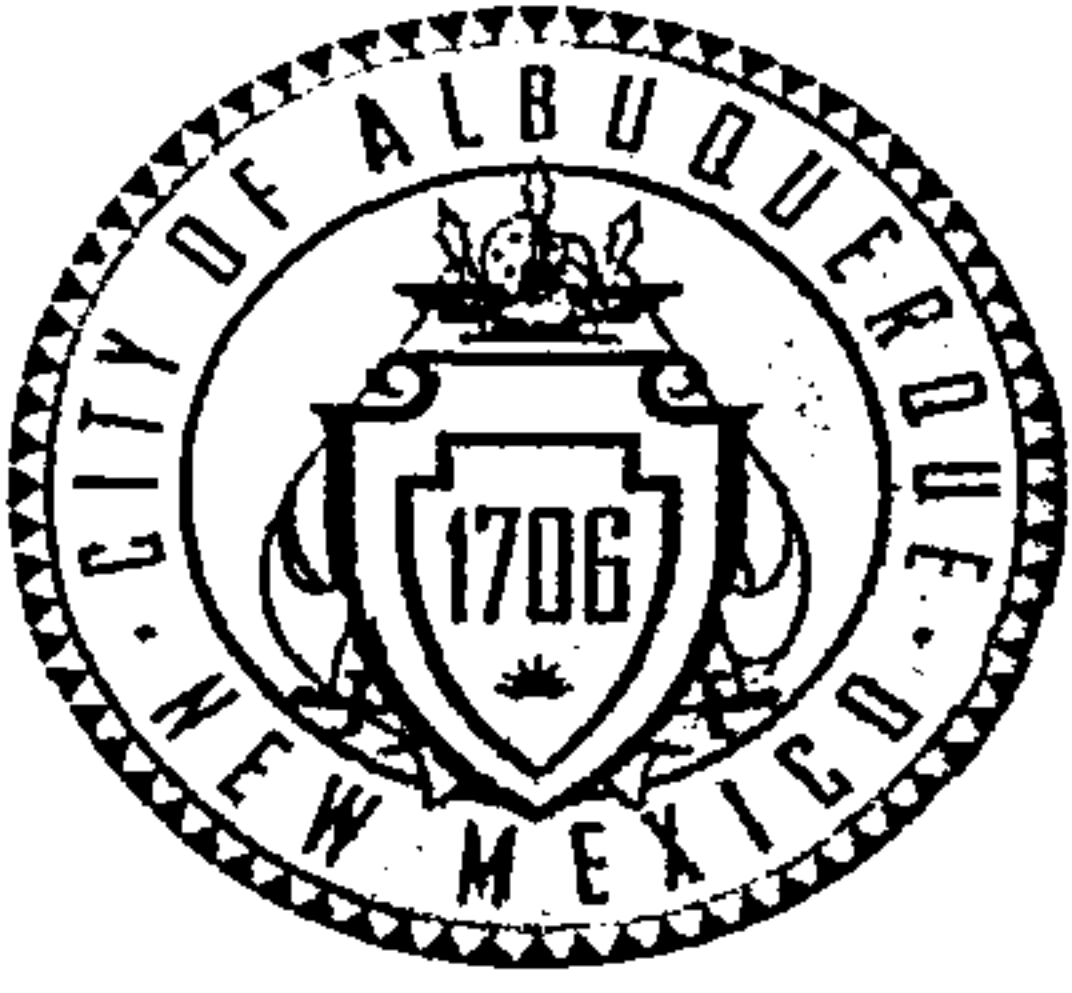
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: GARCIA RESIDENCE - LOT 11 BLACK FARMS Building Permit #: _____ City Drainage #: C13D0278
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 11 BLACK FARMS
City Address: 9361 Riverfront NW

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: GARCIA VICTORIA Contact: _____
Address: 9960 BUCKEYE ST NW
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

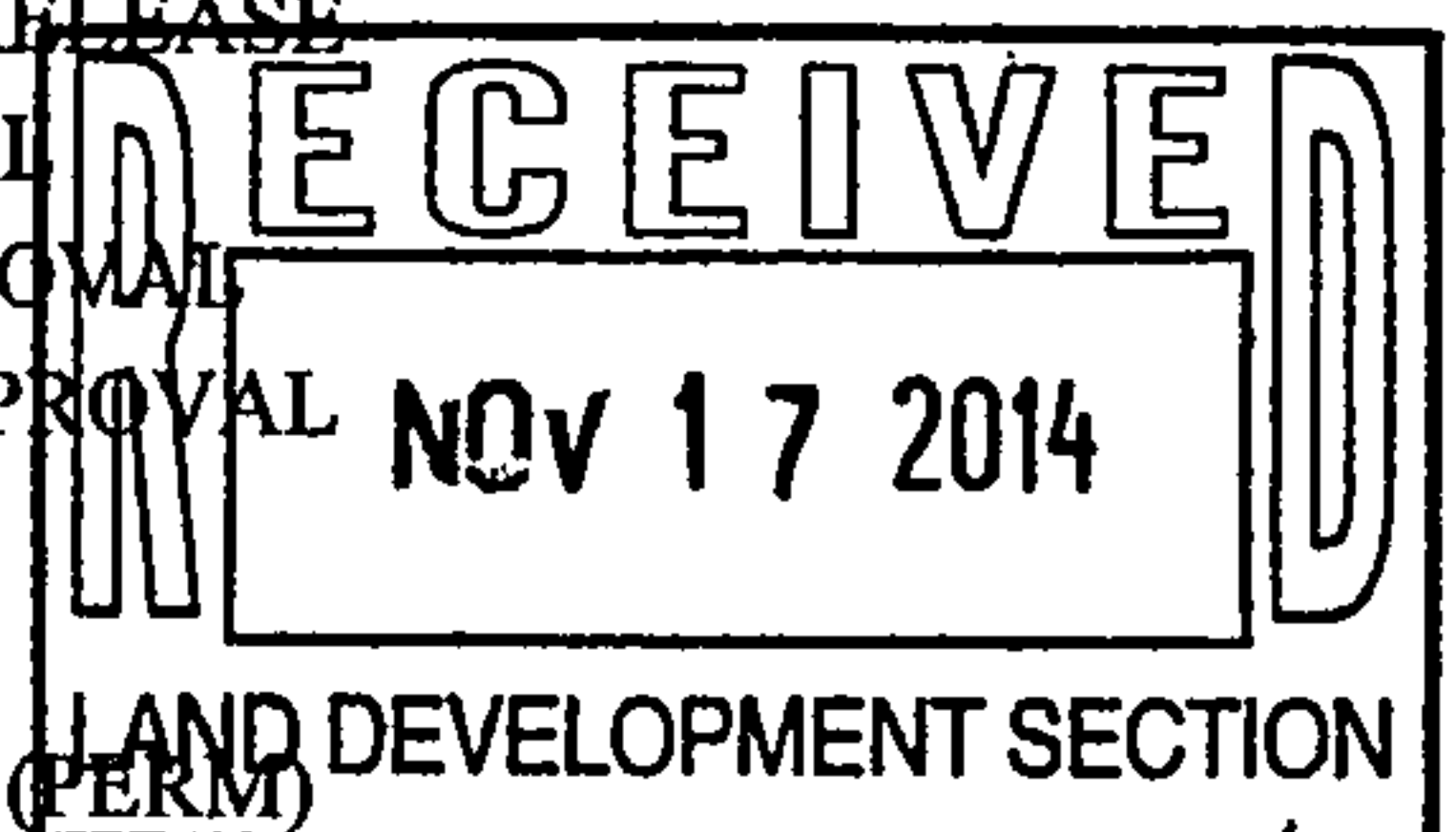
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



paid \$50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11/17/14 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

A_D = 0.1741 Ac PERM

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

November 17, 2014

Ms. Rita Harmon
Hydrology Department
Public Works Department
City of Albuquerque

**RE: Drainage Submittal
Lot 11, black farms**

Dear Ms Harmon:

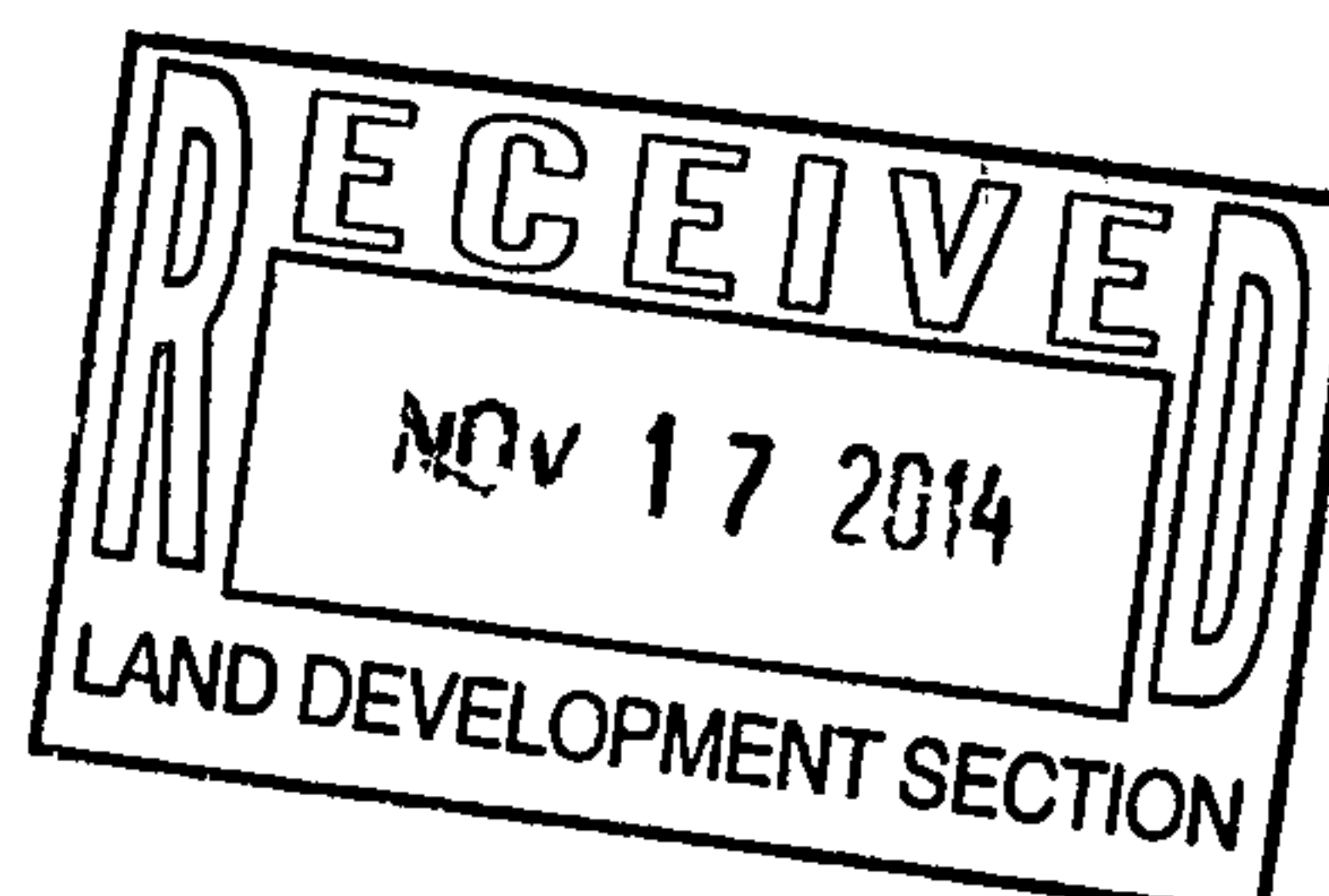
The purpose of this letter is to accompany the attached grading. The plan has been designed to conform to the master drainage plan for the black farms subdivision. The grades shown have different datum, so we set the finish floor based upon the differential between front property corners and finished floor elevations.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,

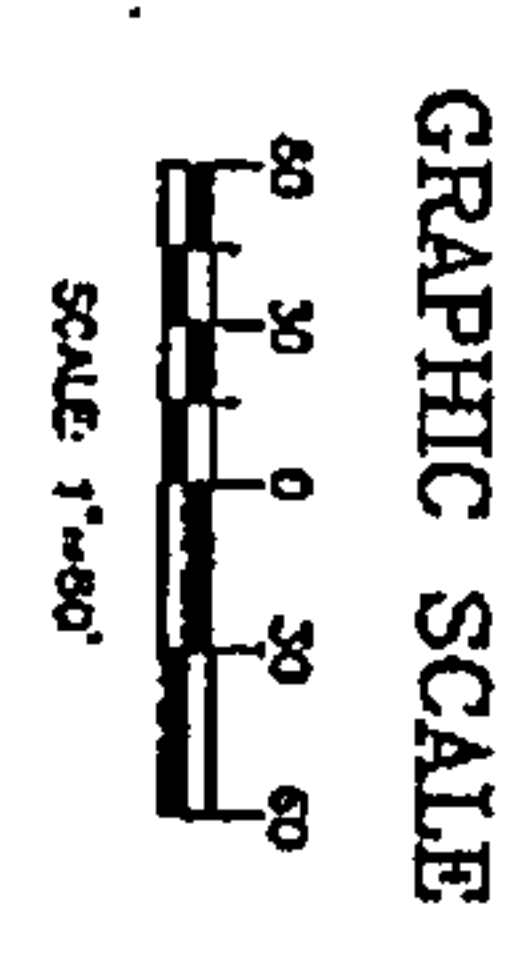


David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199
505-321-9099





OWNER'S SEAL		DRAWN BY DATE	
BLACK FARM ESTATES		2014-11-17	
GRADING AND DRAINAGE PLAN B		2014-11-17	
THYRA WEST, LLC 1400 WEST 10TH AVE DENVER, CO 80202		SHEET 1 5 of 36	



FP= Finished pad elevation
FF= Finished floor elevation,
6\"/>

NOTES
1. REMOVE ALL EXISTING T.O. WITHIN THE
CIVIL RIGHT-OF-WAY.

LEGEND	DESCRIPTION
---	EXISTENT
---	CEMENTLINE
---	RIGHT-OF-WAY
---	LOT LINES
---	EXISTING CURB
---	EXISTING INDEX CONTOUR
---	PROPOSED POND
---	FLOW ARROW
---	SLOPE 1%
---	PROPOSED SPOT ELEVATION