

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

August 7, 2018

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, NM, 87199

RE: **Kelly Residence**  
**9205 Black Farm Lane NW**  
**Grading Plan Stamp Date: 8/1/18**  
**Hydrology File: A11D016A**

Dear Mr. Soule,

Based on the submittal received 8/1/18, the Grading Plan is approved for Grading Permit.

PO Box 1293

Prior to Building Permit:

Albuquerque

1. Pad Certification will be required prior to Hydrology approving the residential Building Permit.

Prior to Certificate of Occupancy (For Information):

NM 87103

2. Engineer's Certification, per the DPM Checklist, will be required to ensure the ponds remained intact following home construction.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** KELLY RESIDENCE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 2 UNIT 2 BLACK FARMS  
**City Address:** 9205 BLACK FARM LANE

**Applicant:** PICASSO BUILDERS **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** ☐ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



### Weighted E Method

#### BLACK FARMS

Existing Developed Basins											100-Year, 6-hr.			10-day	
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)					
PROPOSED	52984	1.216	100%	0	36.0%	0.438	45.0%	0.54736	19%	0.231	1.061	0.108	3.47	0.138	
HISTORICAL	52984	1.216	0%	0.00	1.21635	0.00	0.00	0.00	0.00	0.00	0.440	0.045	1.57	0.045	

**Equations:**

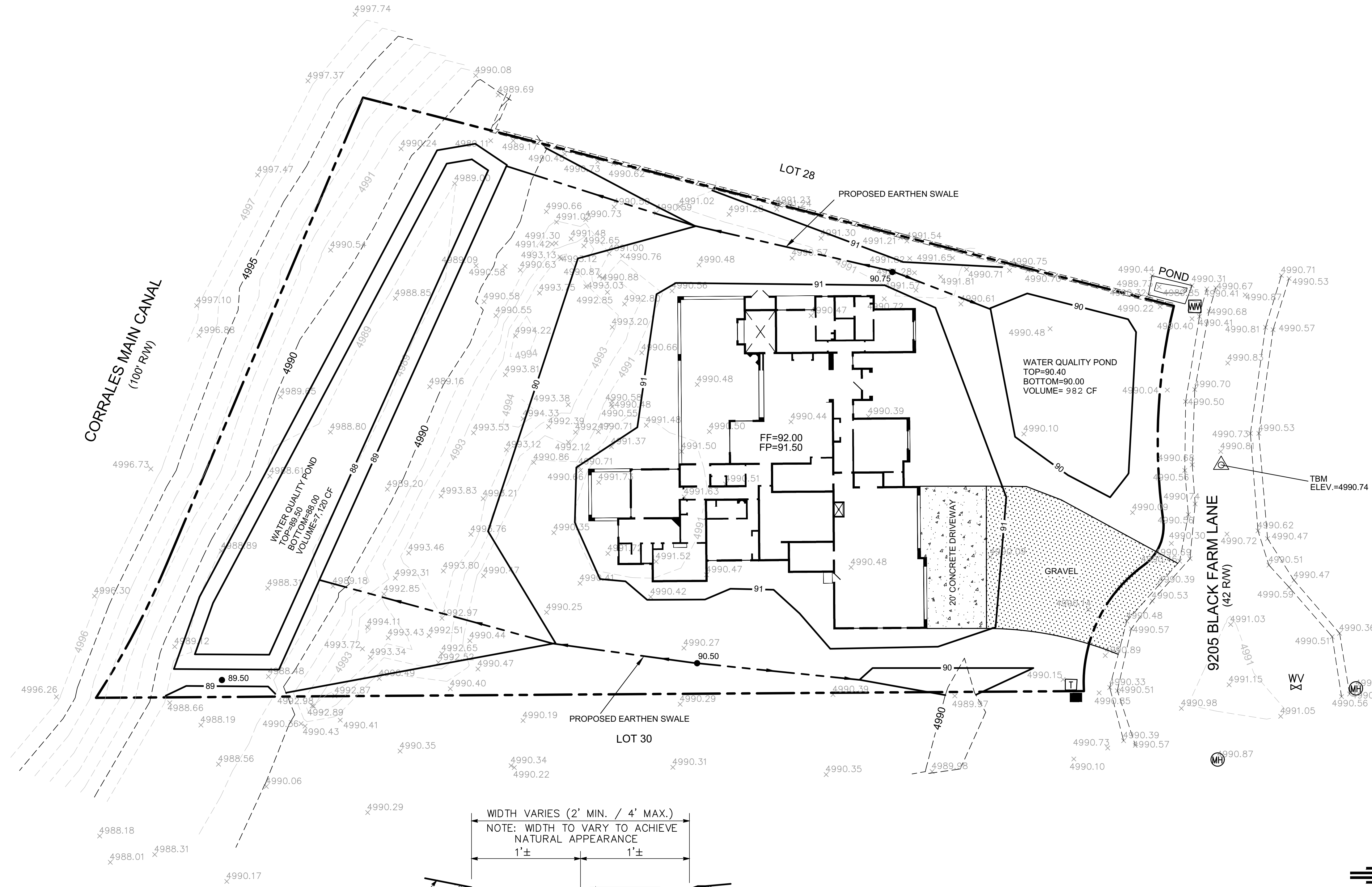
$$\text{Weighted E} = \frac{E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d}{\text{Total Area}}$$
$$\text{Volume} = \text{Weighted D} * \text{Total Area}$$
$$\text{Flow} = Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d$$

Where for 100-year, 6-hour storm (zone 1)

Ea= 0.44	Qa= 1.23
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

EXISTING 10-DAY VOLUME	1942.75 CF
PROPOSED 10-DAY VOLUME	6026.930 CF
WATER QUALITY REQUIREMENT	285.231 CF
PONDING REQUIRED	6026.930 CF
PONDING PROVIDED	8102.000 CF

SITE IS LOCATED WITHIN A FULLY DEVELOPED SUBDIVISION. THE ADJACENT ROADWAY DOES NOT HAVE CURB AND GUTTER. THE DRAINAGE MANAGEMENT PLAN (C13D027) FOR THIS LOT CALLS FOR THE ONSITE RETENTION OF THE TOTAL FLOW GENERATED BY THIS DEVELOPMENT USING THE 10-DAY EVENT



**CAUTION:**

EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

### TYPICAL EARTHEN SWALE DETAIL

**EROSION CONTROL NOTES:**

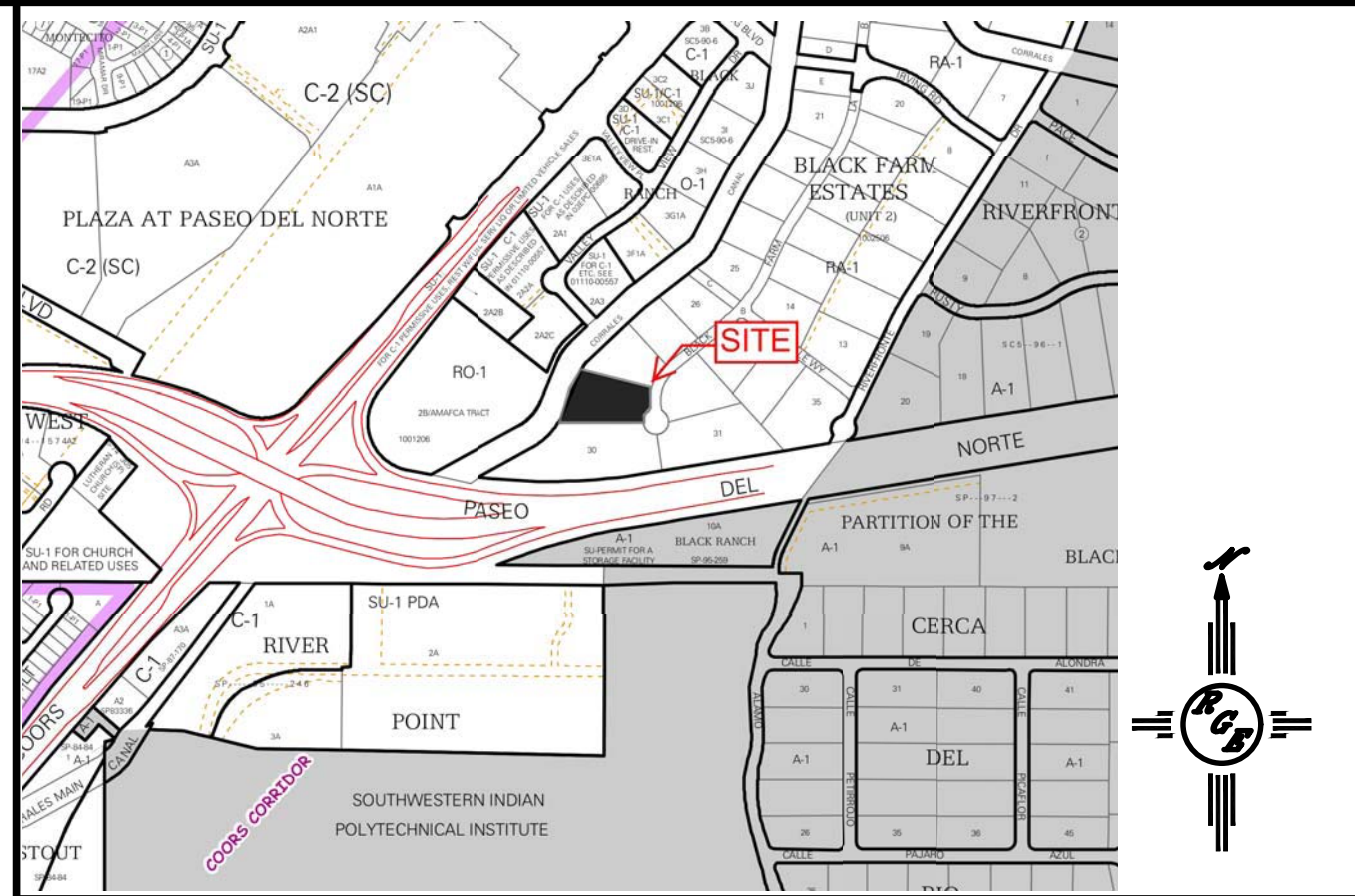
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

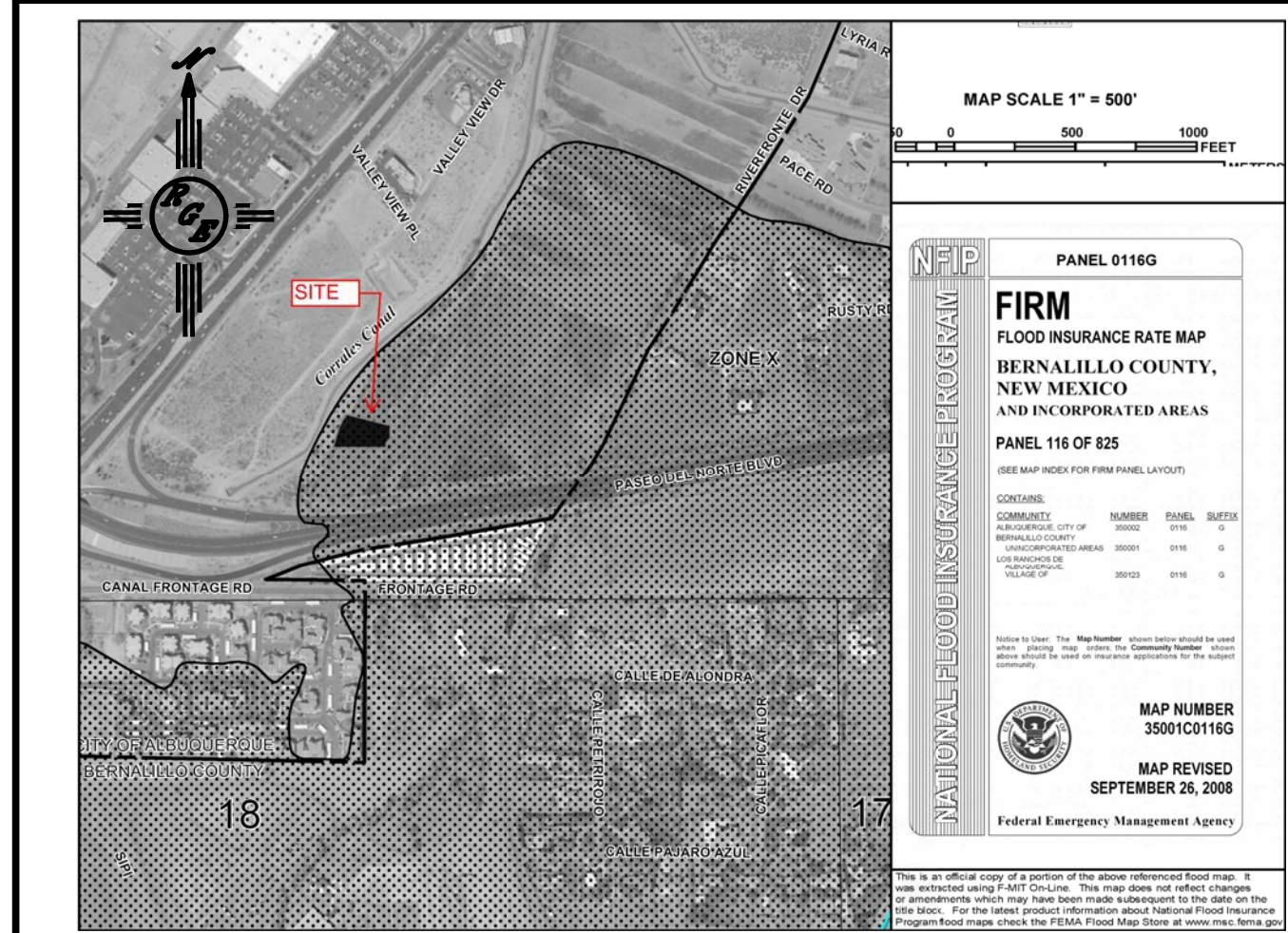
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**VICINITY MAP: C-13-Z**



**FIRM MAP: 35001C0116G**

**LEGAL DESCRIPTION:**

**LOT 2, UNIT 2, BLACK FARMS ESTATES**

**NOTES:**












1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

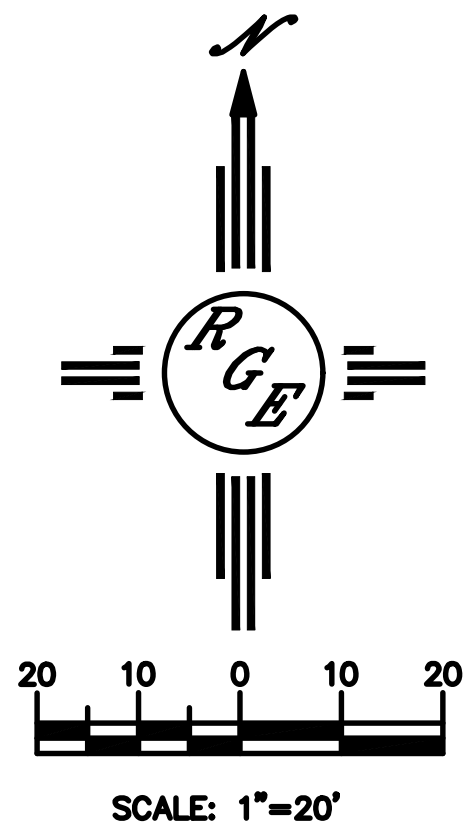
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.



3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY  
ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD  
DATUM 1988.

## LEGEND

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	BOUNDARY
	EXISTING CURB AND GUTTER
	BOUNDARY
	CONCRETE DRIVEWAY
	GRAVEL DRIVEWAY



<p>ENGINEER'S SEAL</p>	<p>9205 BLACK FARM LANE</p>	<p>DRAWN BY DEM</p>
	<p>GRADING AND DRAINAGE PLAN</p>	<p>DATE 7-30-18</p>
<p>8/1/18</p>	 <p><i>Rio Grande Engineering</i></p> <p>1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0999</p>	<p>LOT 29 UN2 BLACK FARM ESTATES</p> <p>SHEET # <b>C1</b></p>
<p>DAVID SOULE P.E. #14522</p>		<p>JOB # _____</p>