

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 18, 2023

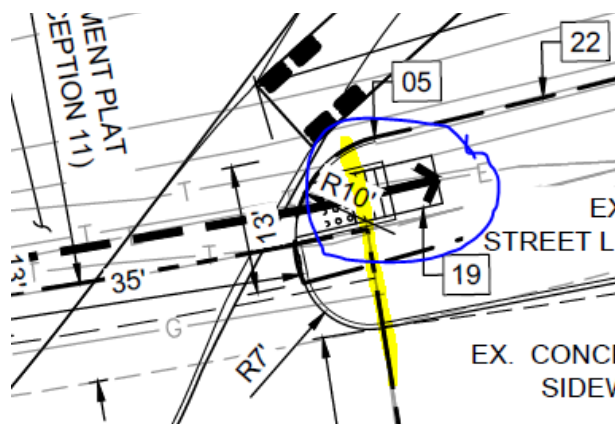
Michael Scarbrough
D Land Development Consultants
11811 N. Tatum Blvd.
Phoenix, AZ 85028

Re: Circle K
9620 Eagle Ranch Rd. NW
Traffic Circulation Layout
Engineer's/Architect's Stamp XX-XX-XX (C13-D028)

Dear Mr. Scarbrough,

Based upon the information provided in your submittal received 05-01-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Motorcycle parking spaces required by the IDO.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Per City requirement, a 6 ft. wide sidewalk and 5 ft. wide landscape buffer must be built from property line to property line along both Eagle Ranch Rd. and Irving Blvd. provide approved Plat.
4. Identify all existing access easements and rights of way width dimensions.
5. Please provide design details for both site's accesses.
6. 50 ft. throat length must be provided for the site access off Irving Blvd.
7. Site access off Eagle Ranch:
 - A minimum radius for the site's access should be 15 ft.
 - It appears the proposed ramp encroach within the adjacent property. Please provide adjacent property's owner agreement.



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8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
9. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)
10. ADA curb ramp at the corner of Irving Blvd. and Eagle Ranch Rd. must be updated to current standards and have truncated domes installed.
11. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
 12. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
13. Please provide Bike Rack details.
14. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
15. All sidewalks along streets should be placed at the property line.
16. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
17. Provide a copy of Fire Marshal approval.
18. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
19. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
20. Please specify the City Standard Drawing Number when applicable.
21. Provide notes showing what work is included and on the work order and the private work on site.
22. Work within the public right of way requires a work order with DRC approved plans.
23. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
24. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout

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2. A Drainage Transportation Information Sheet (DTIS)
 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
 4. The \$75 re-submittal fee.
- for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque
via: email
C: CO Clerk, File

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Circle K Stores Inc Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot A-1, Adobe Wells
City Address: 9610 Eagle Ranch Rd

Applicant: Land Development Consultants, LLC Contact: Sofia Hernandez
Address: 950 S Cherry Street, Suite 510, Denver, CO 80246
Phone#: 303-717-3305 Fax#: _____ E-mail: sofia@ldcaz.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Executive Summary
9610 Eagle Ranch Rd NW
Albuquerque, NM 87114

Circle K Stores Inc. is proposing to construct a new build 3700 SF Circle K Convenience Store and double-stack 6 dispenser fuel canopy, located at the South East Corner of Eagle Ranch Rd NW and Irving Blvd. There will be 22 standard parking spots with 1 ADA parking stall. The existing lot is zoned Land Use Commercial.

The proposed Circle K will operate 24 hours per day. Access to and from the proposed project will be via access drives on Irving and Eagle Ranch. The drives are located at the furthest point from the intersection and will not have any negative impact on adjacent properties. A TIS has been submitted, reviewed and approved and is included with this submittal.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela - Interim Director



Mayor Timothy M. Keller

December 21, 2021

Terry O. Brown, P.E.
P.O. Box 92051
Albuquerque, NM 87199

**Re: Circle K Store, Albuquerque, NM
9620 Eagle Ranch Rd. NW
Traffic Impact Study**
Engineer's Stamp dated December 20, 2021 (C13D028)
Received 12/20/2021
CABQ Planning Transportation approval

Dear Mr. Brown:

The subject Traffic Impact Study (TIS) for the Circle K Store 9620 Eagle Ranch Rd. NW, dated December 20, 2021 received on December 20, 2021, has been reviewed by the Transportation Development Section and found acceptable. The TIS is approved with the following conditions.

PO Box 1293

Eagle Ranch Rd. & Irving Blvd.

Albuquerque

NM 87103

www.cabq.gov

1. Retime the traffic signal for the 2022 PM and 2032 AM and PM condition by redistributing green time from the north/south phases to the east/west phases to improve performance of the intersection and EBL, EBT, and WBL turn movements. See the recommended timings in Appendix A-70 thru A-72.
2. Modify the existing raised median on Eagle Ranch Rd.
 - a. maximize queue storage for westbound left-turn lane approach to Irving Blvd. at the intersection of Eagle Ranch Rd. & Irving Blvd., the recommended modification is to increase the storage to 205 feet with 300'-150' radius transition.
 - b. Increase, by 50 feet, the length of the left-turn lane east of Irving for additional storage.
 - c. Reduce the storage length of the exiting eastbound left-turn lane at the credit union driveway to 55 feet plus transitions.
 - d. Create a westbound left-turn lane in the existing median across from driveway "B". The storage length shall be 50 feet with a 70 feet long transition.
3. Construct a 275-ft long (including transition) eastbound right-turn deceleration lane on Eagle Ranch Rd. at Driveway 'B'.

Driveway "A"

1. Driveway "A" should be designed and constructed as an unsignalized right-in/right-out only access with one entering lane and one exiting lane (minimum). The 95th Percentile queue length for westbound exiting traffic at Driveway "A" is one vehicle. Therefore, the throat depth at Driveway "A" should be at least 50 feet long (75 feet preferable to provide some buffer).

Driveway "B"

C13D028 Circle K Store, Albuquerque, NM 9620 Eagle Ranch Rd. NW TIS

CITY OF ALBUQUERQUE

*Planning Department
Alan Varela - Interim Director*



Mayor Timothy M. Keller

1. Driveway 'B' should be designed and constructed as an unsignalized right-in/right-out/left-in only access with one entering lane and one exiting lane.
2. Design and construction of the new Circle K Store shall preserve adequate sight distances to the extent possible.

The Traffic Impact Analysis shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

Sincerely,

Matt Grush, P.E., PTOE
Traffic Engineer, Planning Dept.
Development Review Services

PO Box 1293

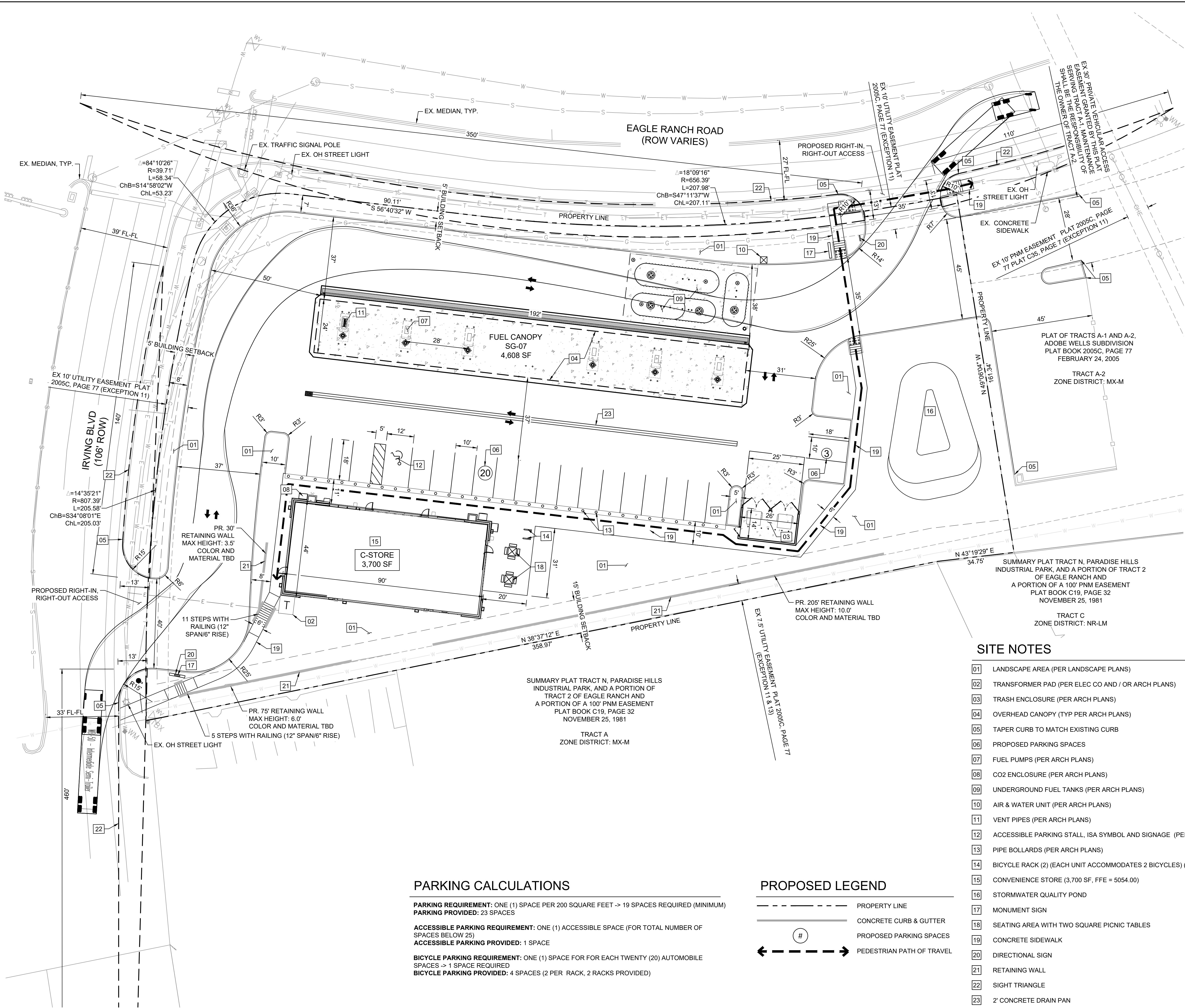
via: email
C: Applicant, File

Albuquerque

NM 87103

www.cabq.gov

FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\500 CAD\504 PLAN SET\SITE PLANS\DWG



PARKING CALCULATIONS

PARKING REQUIREMENT: ONE (1) SPACE PER 200 SQUARE FEET -> 19 SPACES REQUIRED (MINIMUM)
PARKING PROVIDED: 23 SPACES

ACCESSIBLE PARKING REQUIREMENT: ONE (1) ACCESSIBLE SPACE (FOR TOTAL NUMBER OF SPACES BELOW 25)
ACCESSIBLE PARKING PROVIDED: 1 SPACE

BICYCLE PARKING REQUIREMENT: ONE (1) SPACE FOR FOR EACH TWENTY (20) AUTOMOBILE SPACES -> 1 SPACE REQUIRED
BICYCLE PARKING PROVIDED: 4 SPACES (2 PER RACK, 2 RACKS PROVIDED)

PROPOSED LEGEND

- PROPERTY LINE
- CONCRETE CURB & GUTTER
- PROPOSED PARKING SPACES
- PEDESTRIAN PATH OF TRAVEL

SITE NOTES

- 01 LANDSCAPE AREA (PER LANDSCAPE PLANS)
- 02 TRANSFORMER PAD (PER ELEC CO AND / OR ARCH PLANS)
- 03 TRASH ENCLOSURE (PER ARCH PLANS)
- 04 OVERHEAD CANOPY (TYP PER ARCH PLANS)
- 05 TAPER CURB TO MATCH EXISTING CURB
- 06 PROPOSED PARKING SPACES
- 07 FUEL PUMPS (PER ARCH PLANS)
- 08 CO2 ENCLOSURE (PER ARCH PLANS)
- 09 UNDERGROUND FUEL TANKS (PER ARCH PLANS)
- 10 AIR & WATER UNIT (PER ARCH PLANS)
- 11 VENT PIPES (PER ARCH PLANS)
- 12 ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCH PLANS)
- 13 PIPE BOLLARDS (PER ARCH PLANS)
- 14 BICYCLE RACK (2) (EACH UNIT ACCOMMODATES 2 BICYCLES) (CYCLE-SAFE "U-RACK" DETAIL ON LS02)
- 15 CONVENIENCE STORE (3,700 SF, FFE = 5054.00)
- 16 STORMWATER QUALITY POND
- 17 MONUMENT SIGN
- 18 SEATING AREA WITH TWO SQUARE PICNIC TABLES
- 19 CONCRETE SIDEWALK
- 20 DIRECTIONAL SIGN
- 21 RETAINING WALL
- 22 SIGHT TRIANGLE
- 23 2' CONCRETE DRAIN PAN



Know what's below.
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2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208



LAND DEVELOPMENT
CONSULTANTS, LLC

950 S. CHERRY STREET, SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:

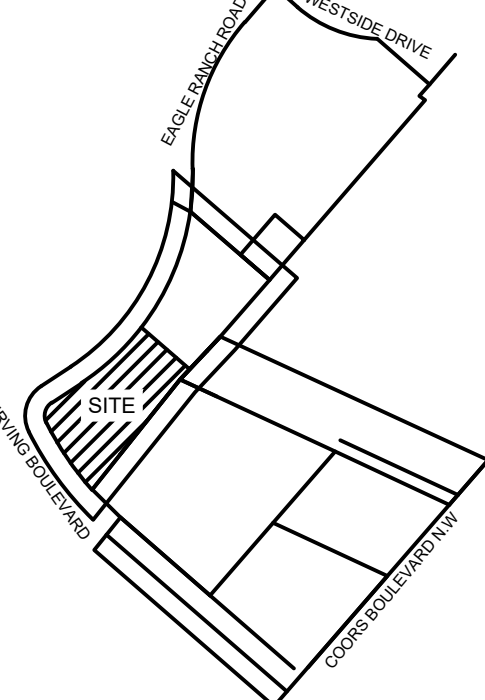


ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.

VICINITY MAP: 1"=500'



PROJECT:

CIRCLE K STORES INC.

SITE PLAN SUBMITTAL

9620 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: RPD

CHECKED BY: NMS

SHEET TITLE:

SITE PLAN

SP01

SHEET 2 OF 12

DATE:

JUNE 2022