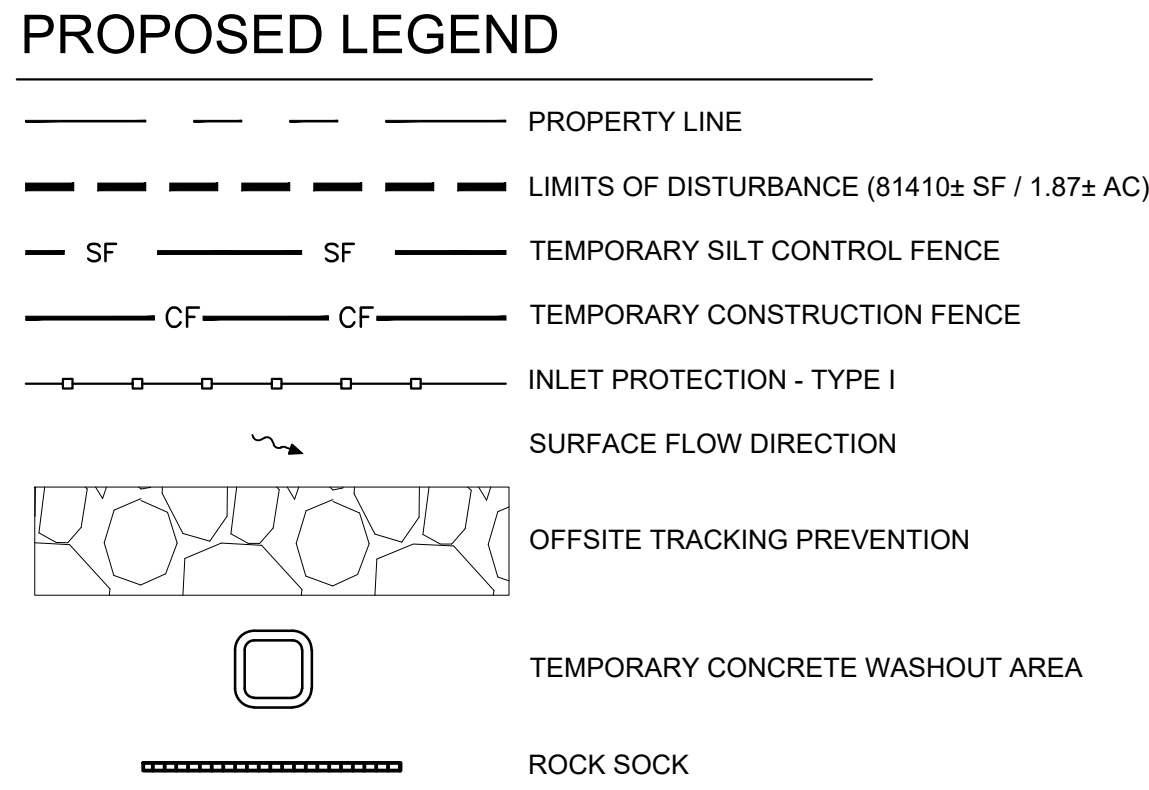
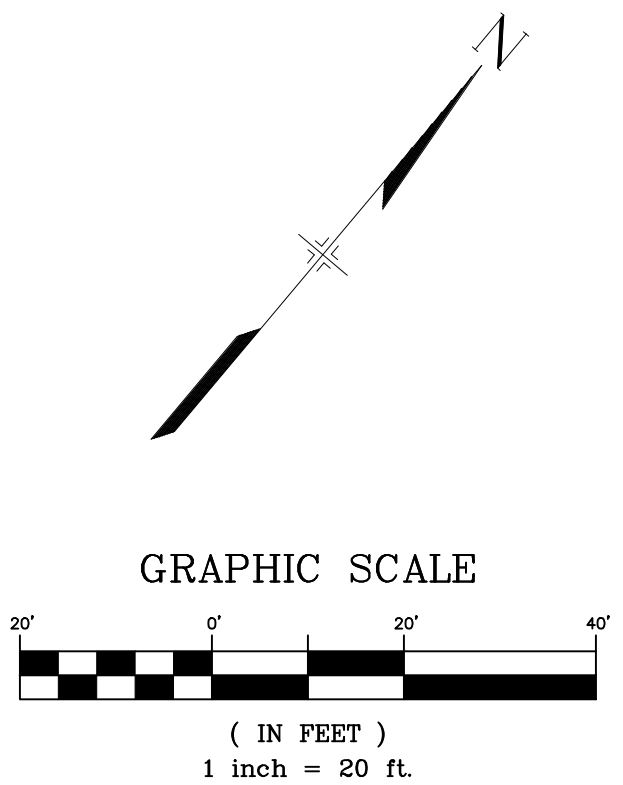
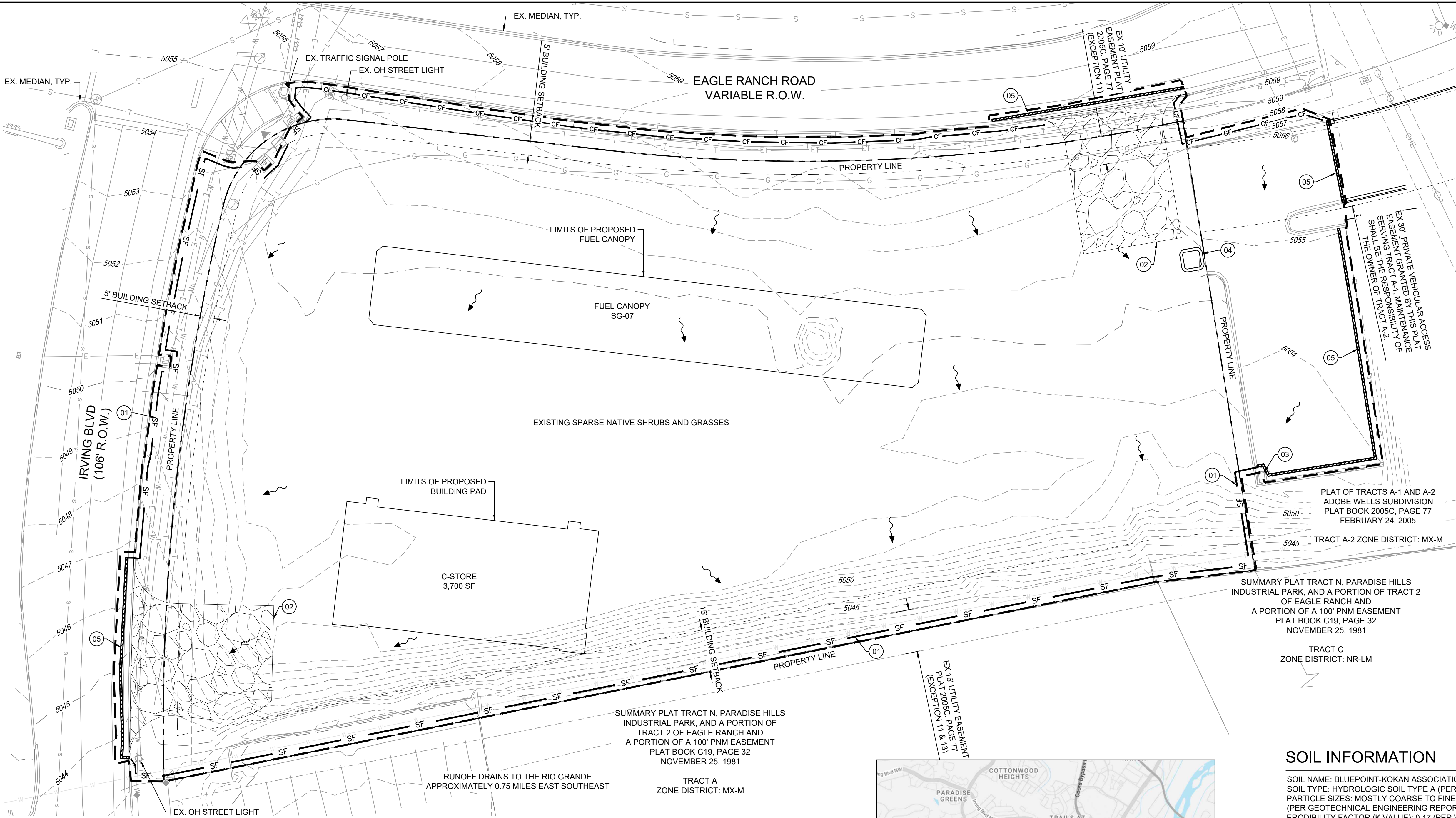


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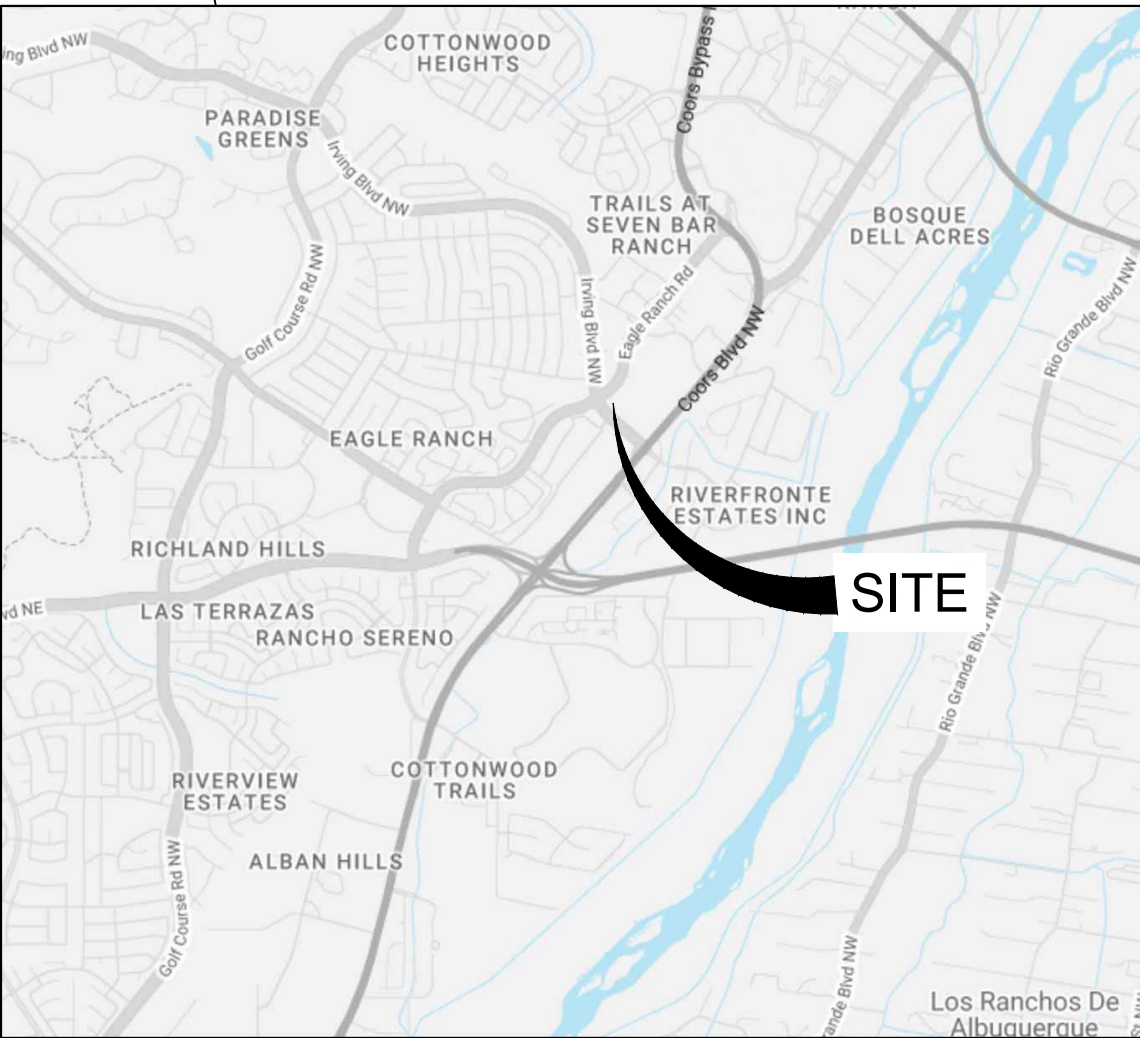


- ### EROSION CONTROL DETAILS
- 01 TEMPORARY SILT FENCE (REF DETAIL SHEET 14)
  - 02 OFFSITE TRACKING PREVENTION (REF DETAIL SHEET 14)
  - 03 INLET PROTECTION (REF DETAIL SHEET 14)
  - 04 TEMPORARY CONCRETE WASHOUT AREA (REF DETAIL SHEET 14)
  - 05 RS-1 ROCK SOCK PERIMETER CONTROL (REF DETAIL SHEET 14)
  - 06 CULVERT PROTECTION (REF DETAIL SHEET 14)

### LEGAL DESCRIPTION

TRACT A-1, AS SHOWN ON THE PLAT OF PLAT OF TRACTS A-1 AND A-2, ADOBE WELLS SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 24, 2005, IN PLAT BOOK 2005C, PAGE 77, AS DOCUMENT NO. 2005026221.

- ### MAINTENANCE
- PERIMETER CONTROLS (PER CGP 2.2.3)
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  - CONSTRUCTION ENTRANCE (PER 2.2.4)
    - 2.1. IMPLEMENT ADDITIONAL TRACK-OUT CONTROLS AS NECESSARY TO ENSURE THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT; AND
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VICINITY MAP  
N.T.S.

### SOIL INFORMATION

SOIL NAME: BLUEPOINT-KOKAN ASSOCIATION, HILLY (PER WEB SOIL SURVEY)  
SOIL TYPE: HYDROLOGIC SOIL TYPE A (PER WEB SOIL SURVEY)  
PARTICLE SIZES: MOSTLY COARSE TO FINE SAND, #4 TO #200 SIEVE (4.75MM TO 0.075MM)  
(PER GEOTECHNICAL ENGINEERING REPORT BY TERRACON DATED 4/21/2021)  
ERODIBILITY FACTOR (K VALUE): 0.17 (PER WEB SOIL SURVEY)

- ### ESC PLAN STANDARD NOTES
- ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
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    - 1.2. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
    - 1.3. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
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  - WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEPED DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).
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  - ESC PLANS MUST SHOW LONGITUDINAL STREET SLOE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES/MULCH SOCKS OF J-HOOD SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.

CONSULTANTS:

**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246  
OWNER/DEVELOPER:

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS.  
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VICINITY MAP: NTS

PROJECT:

**CIRCLE K STORES INC**

CONSTRUCTION DOCUMENTS  
**CIRCLE K**

9620 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: BL, MR

DESIGNED BY: RPD

CHECKED BY: NMS

SHEET TITLE:

**EROSION CONTROL PLAN - INITIAL**

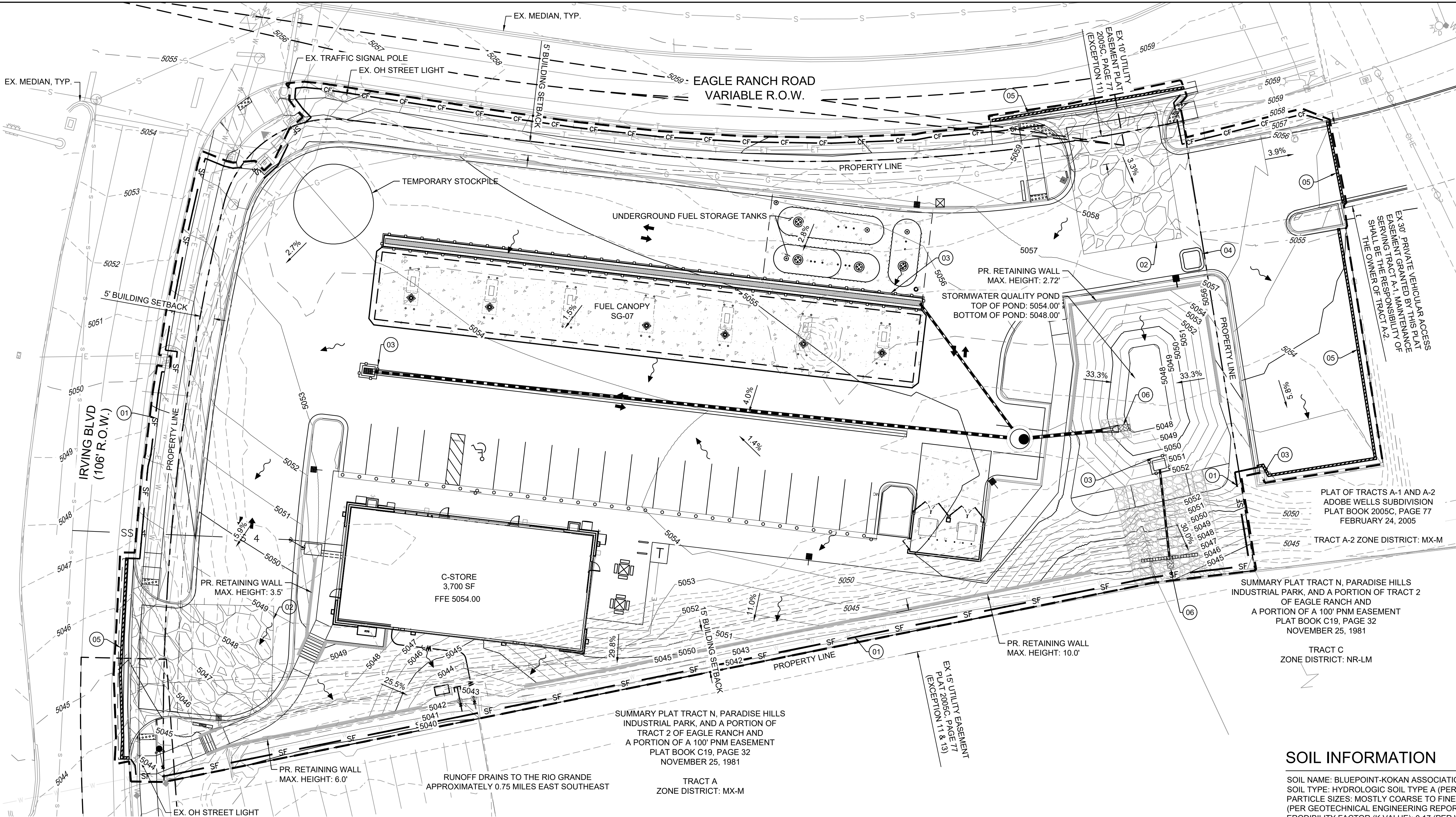
**EC01**

**SHEET 12 OF 30**

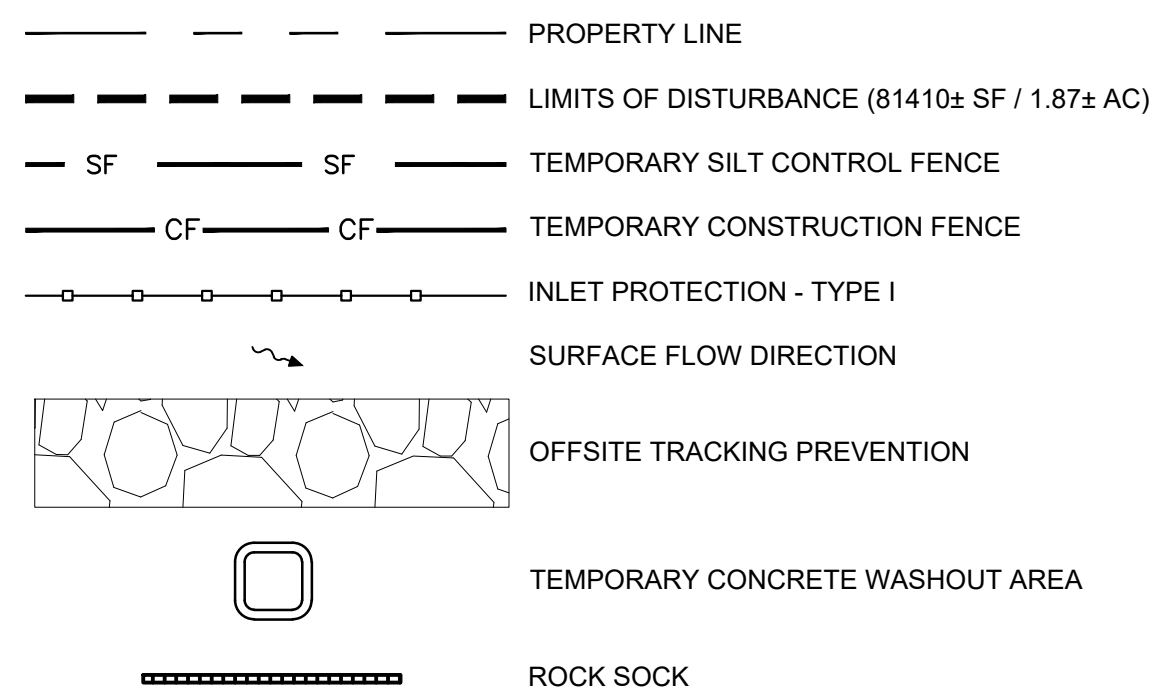
DATE: JUNE 2023



FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\500 CADD\504 PLAN SETS\CONSTRUCTION PLANS\EC02.DWG



## PROPOSED LEGEND



## NATURE OF CONSTRUCTION ACTIVITIES

- BRIEF DESCRIPTION: PROPOSED GAS STATION WITH CONVENIENCE STORE, PAVED PARKING AND DRIVE AISLES, AND STORMWATER QUALITY POND.
- PROPERTY SIZE: 1.57 ACRES
- EXPECTED DISTURBED AREA: 1.9 ACRES
- CONSTRUCTION ACTIVITY COVERED BY CGP: INSTALLATION OF EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN.
- MAXIMUM AREA EXPECTED TO BE DISTURBED AT ONE TIME: 1.9 ACRES
- PROJECTED SCHEDULE
- INSTALL STABILIZED CONSTRUCTION ENTRANCES (SEPT 2023)
- PREPARE TEMPORARY PARKING AND STORAGE AREA (SEPT 2023)
- INSTALL SILT FENCE AND CONSTRUCTION FENCE (SEPT 2023)
- CLEAR AND GRUB THE SITE (SEPT 2023)
- BEGIN GRADING THE SITE (SEPT 2023)
- BEGIN CONSTRUCTION OF BUILDING PAD AND STRUCTURES (SEPT 2023)
- INSTALL UTILITIES, CURB AND GUTTER (SEPT 2023)
- PREPARE SITE FOR PAVING (OCT 2023)
- PAVE SITE (OCT 2023)
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING (RE: LANDSCAPE PLAN) (OCT 2023)
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONCE SITE IS STABILIZED (NOV 2023)

## EROSION CONTROL DETAILS

- TEMPORARY SILT FENCE (REF DETAIL SHEET 14)
- OFFSITE TRACKING PREVENTION (REF DETAIL SHEET 14)
- INLET PROTECTION (REF DETAIL SHEET 14)
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## MAINTENANCE

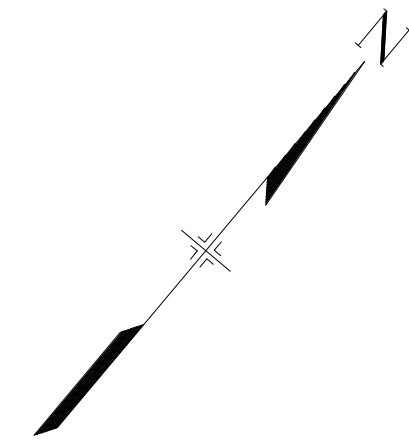
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Know what's below.  
Call before you dig.



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

CONSULTANTS:



Excellence by Design

2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208



LAND DEVELOPMENT  
CONSULTANTS, LLC

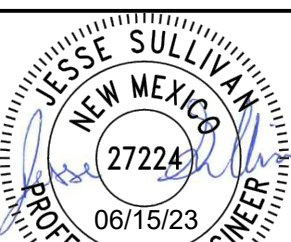
950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:



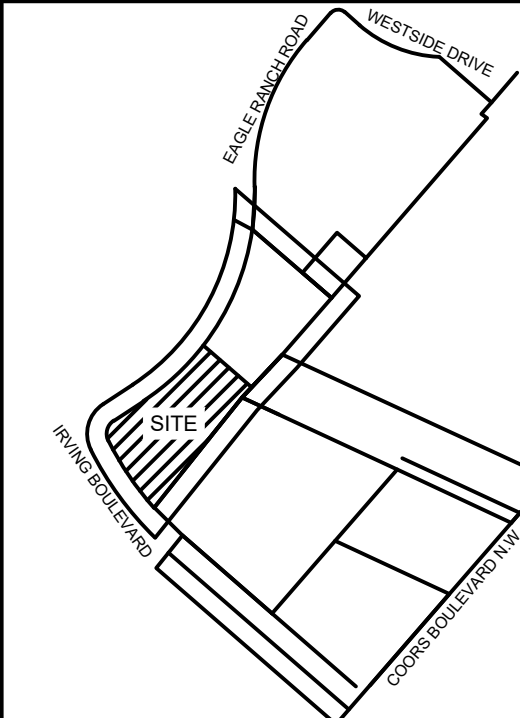
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

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VICINITY MAP: NTS



PROJECT:

CIRCLE K STORES INC

CONSTRUCTION DOCUMENTS  
CIRCLE K

9620 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: BL, MR

DESIGNED BY: RPD

CHECKED BY: NMS

SHEET TITLE:

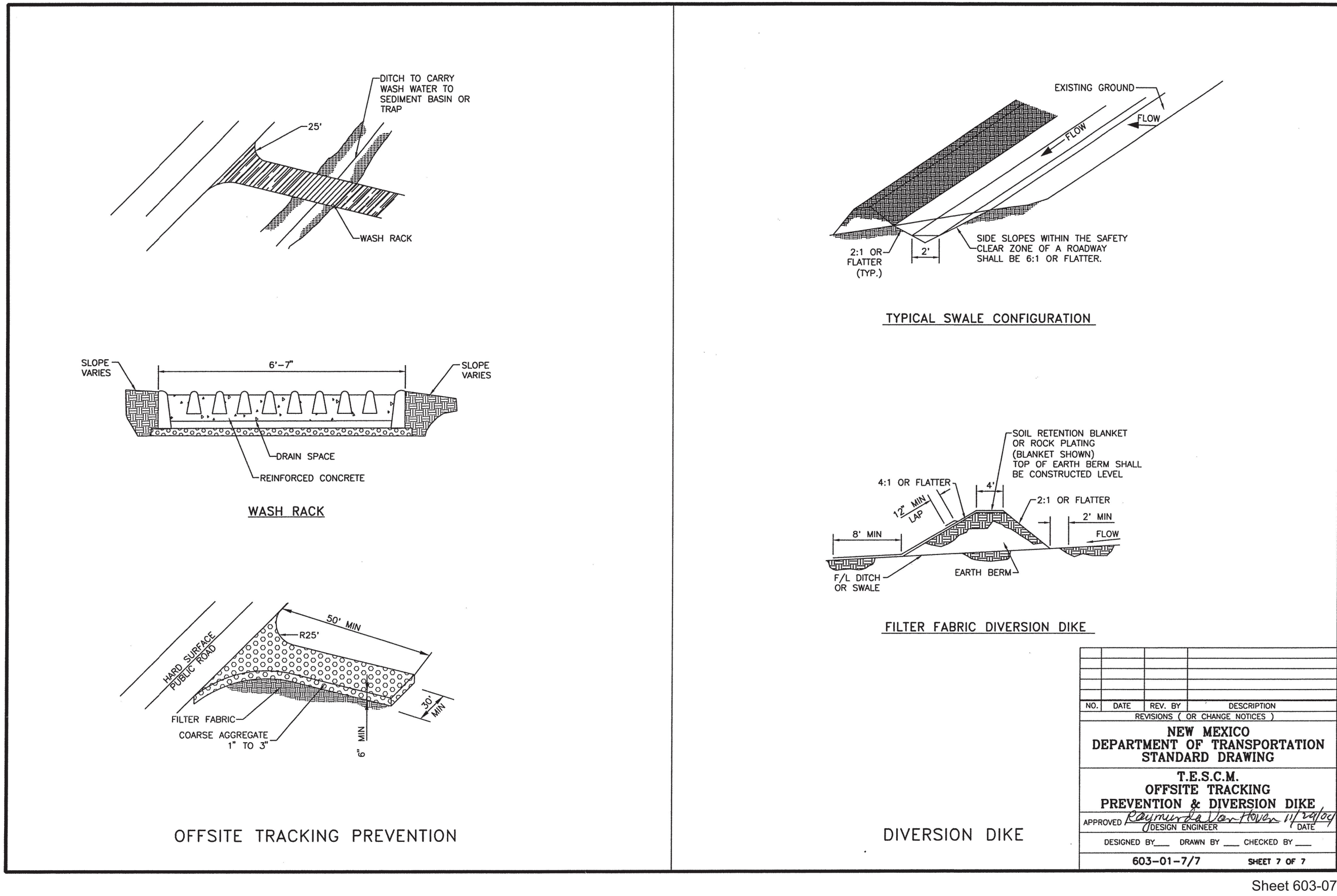
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FINAL

EC02

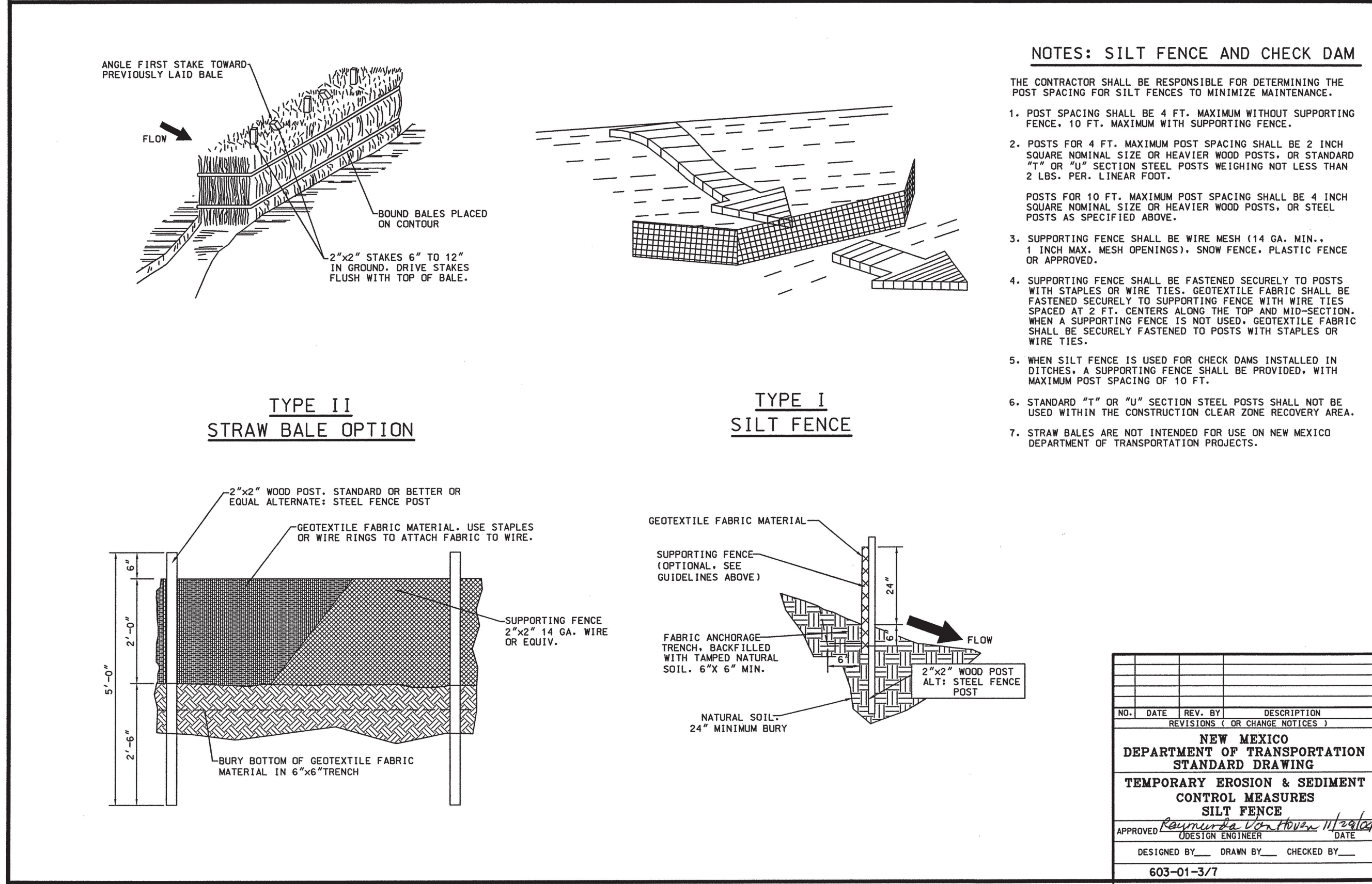
SHEET 13 OF 30

DATE: JUNE 2023

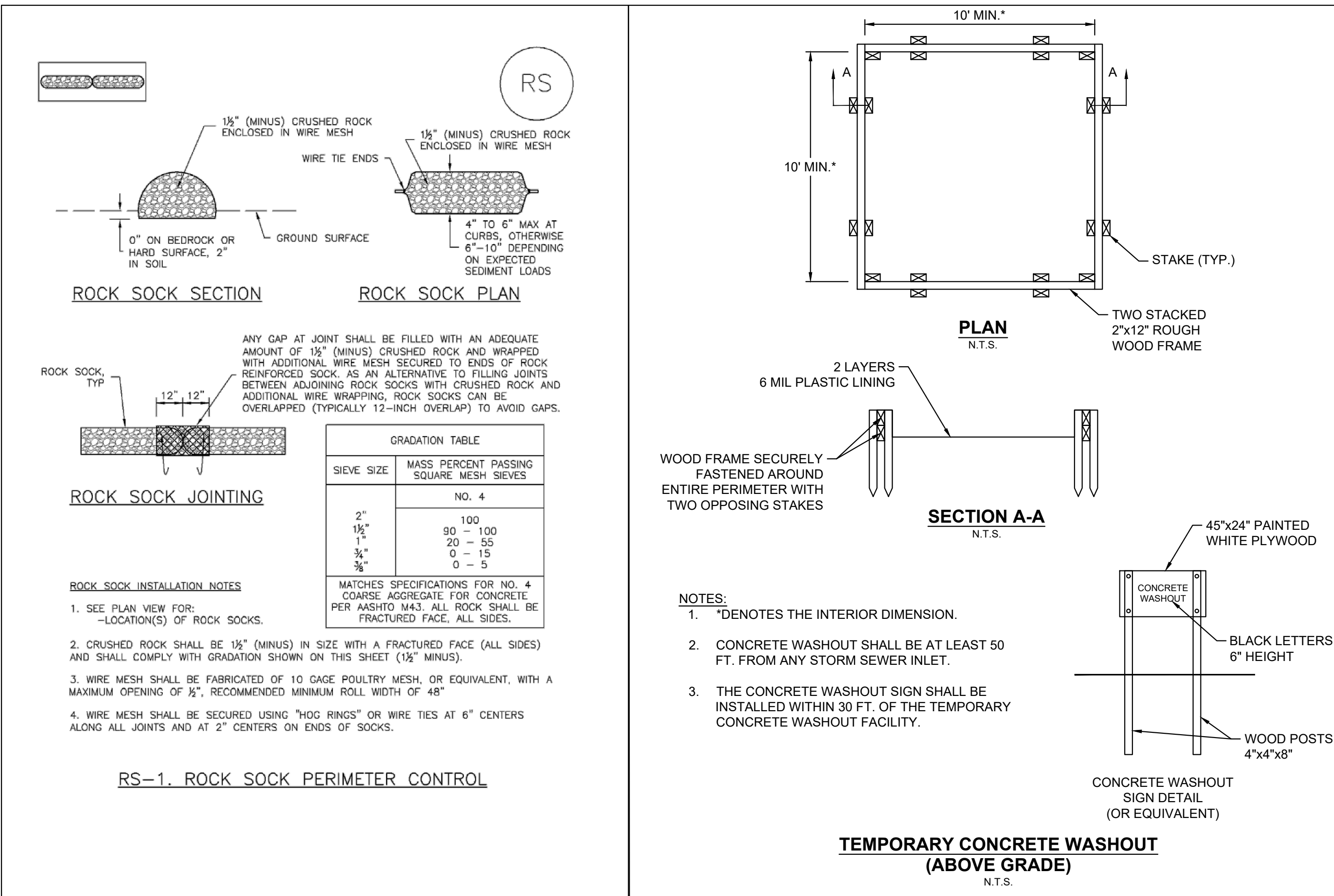




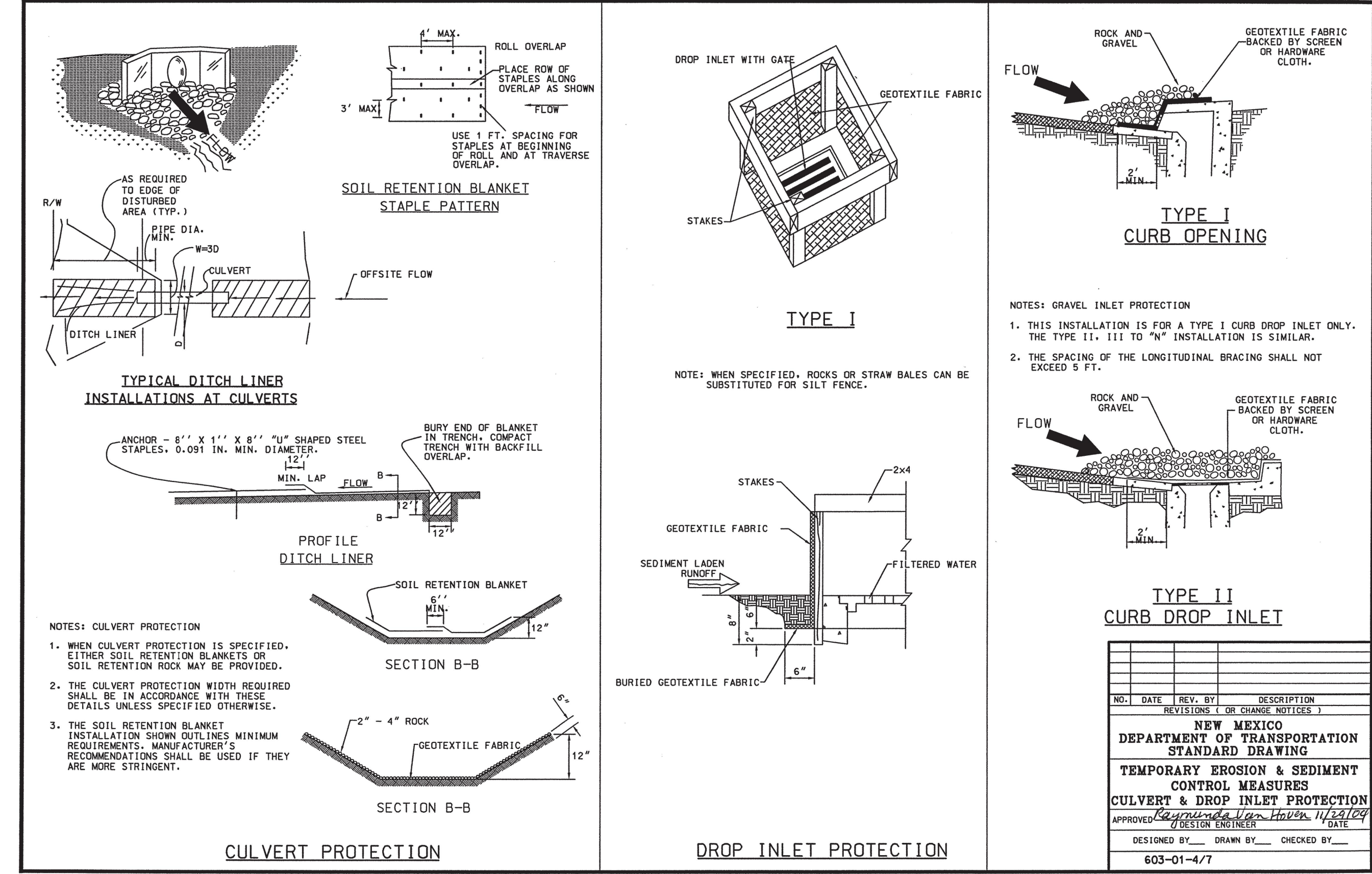
Sheet 603-07



Sheet 603-03



Sheet 603-04



CONSULTANTS:

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Excellence by Design  
2435 RESEARCH PARKWAY, SUITE  
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OWNER/DEVELOPER:

**CIRCLE K**

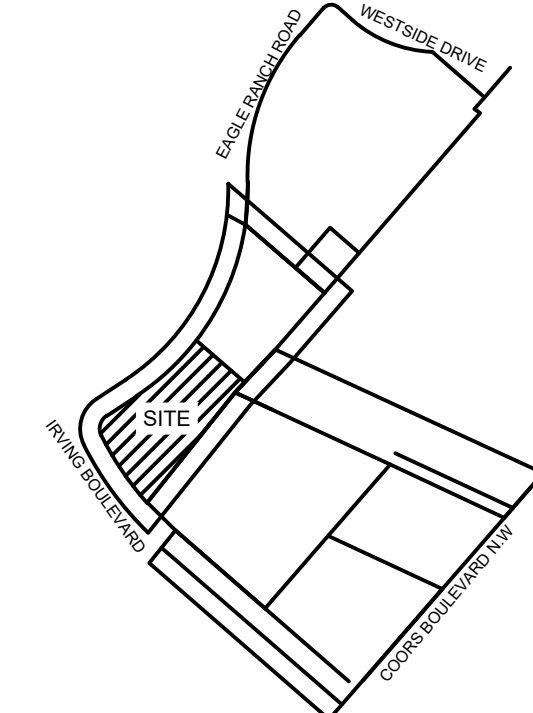
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REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: BL,MR

DESIGNED BY: RPD

CHECKED BY: NMS

SHEET TITLE:

**EROSION  
CONTROL BMP  
DETAILS**

EC03

SHEET 14 OF 30

DATE: JUNE 2023