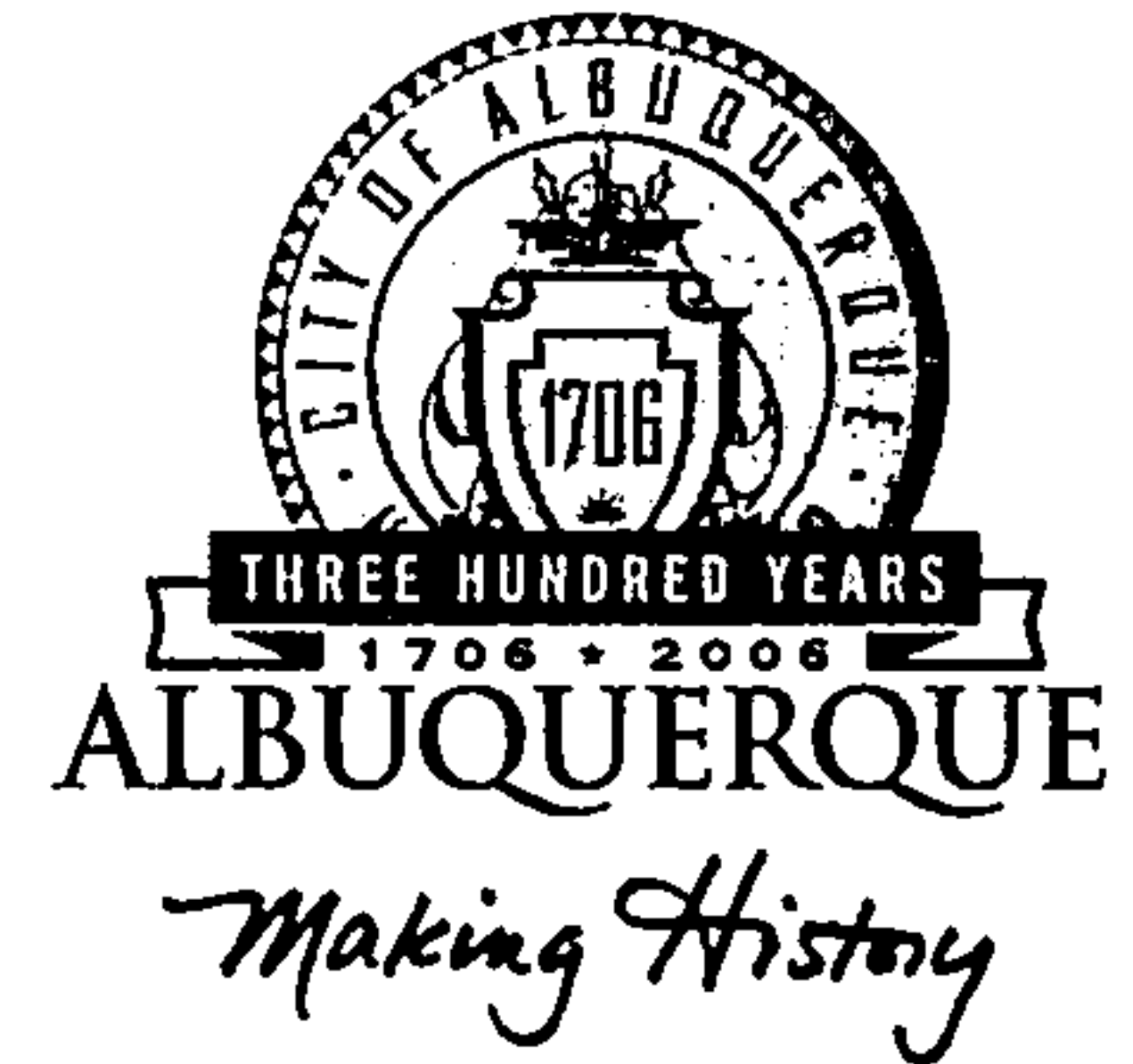


CITY OF ALBUQUERQUE



December 20, 2005

Jason Woodruff, P.E.
GND, LLC
5643 Paradise Blvd NW.
Albuquerque, NM 87114

Re: Quality Jeep Chrysler, 9618 Eagle Ranch Rd NW
Grading and Drainage Plan
Engineer's Stamp dated 12-16-05 (C13-D28)

Dear Mr. Woodruff,

Based upon the information provided in your submittal received 12-16-05, the above referenced plan is approved for Building Permit and Grading Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

C: Charles Caruso
CC: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 7-30-02)

PROJECT TITLE: QUALITY JEEP CHRYSLER ZONE MAP/DRG. FILE #: C-13-D-28
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT A-1 ADDBE WELLS SUBDIVISION
CITY ADDRESS: 9618 EAGLE RANCH RD NW

ENGINEERING FIRM: GND, LLC
ADDRESS: 5643 PARADISE BLVD
CITY, STATE: ALBUQUERQUE NM 87114

CONTACT: JASON WOODRUFF
PHONE: 505-678-6182
ZIP CODE: 87114

OWNER: QUALITY JEEP CHRYSLER
ADDRESS: 7901 LOMAS BLVD NE
CITY, STATE: ABQ NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

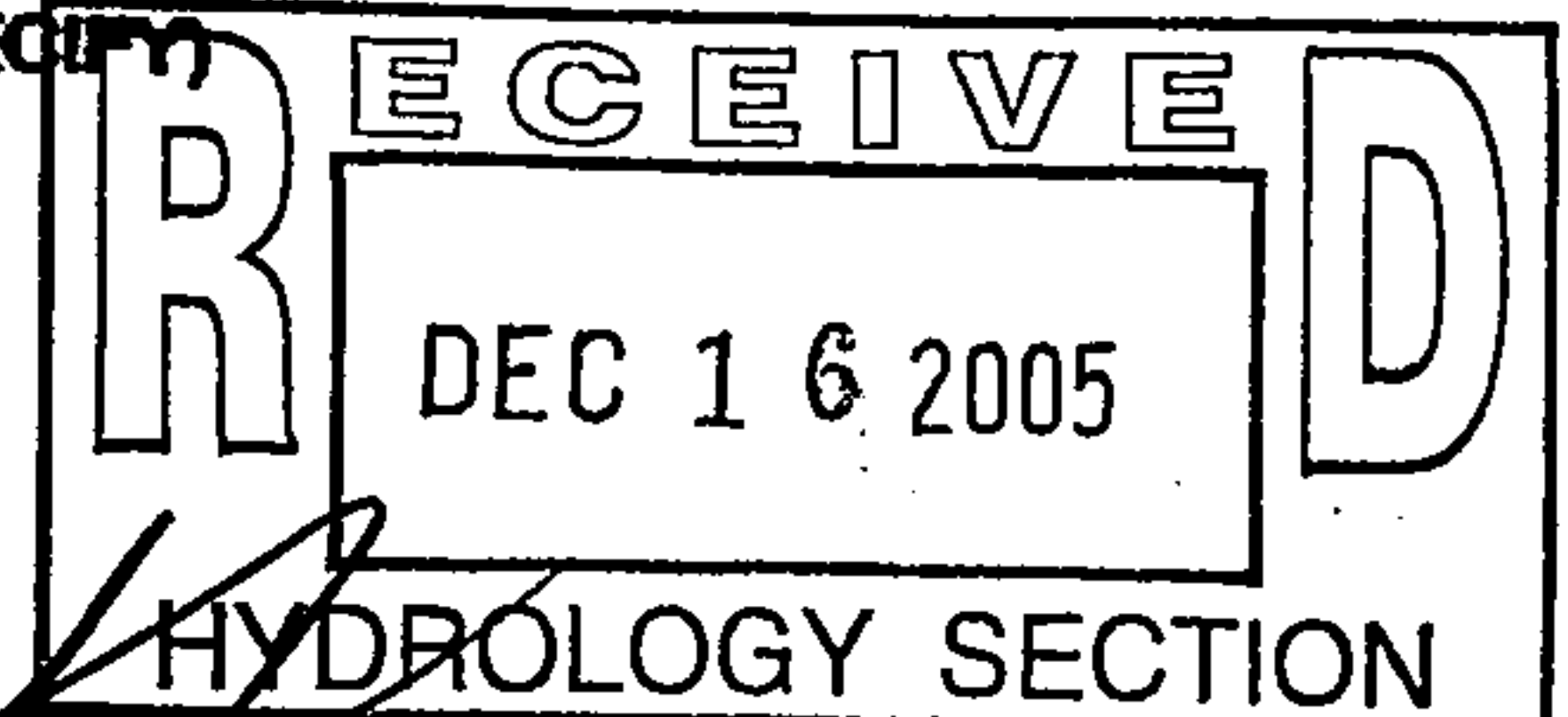
- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN RESUBMITTAL
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUBD. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 12-16-05

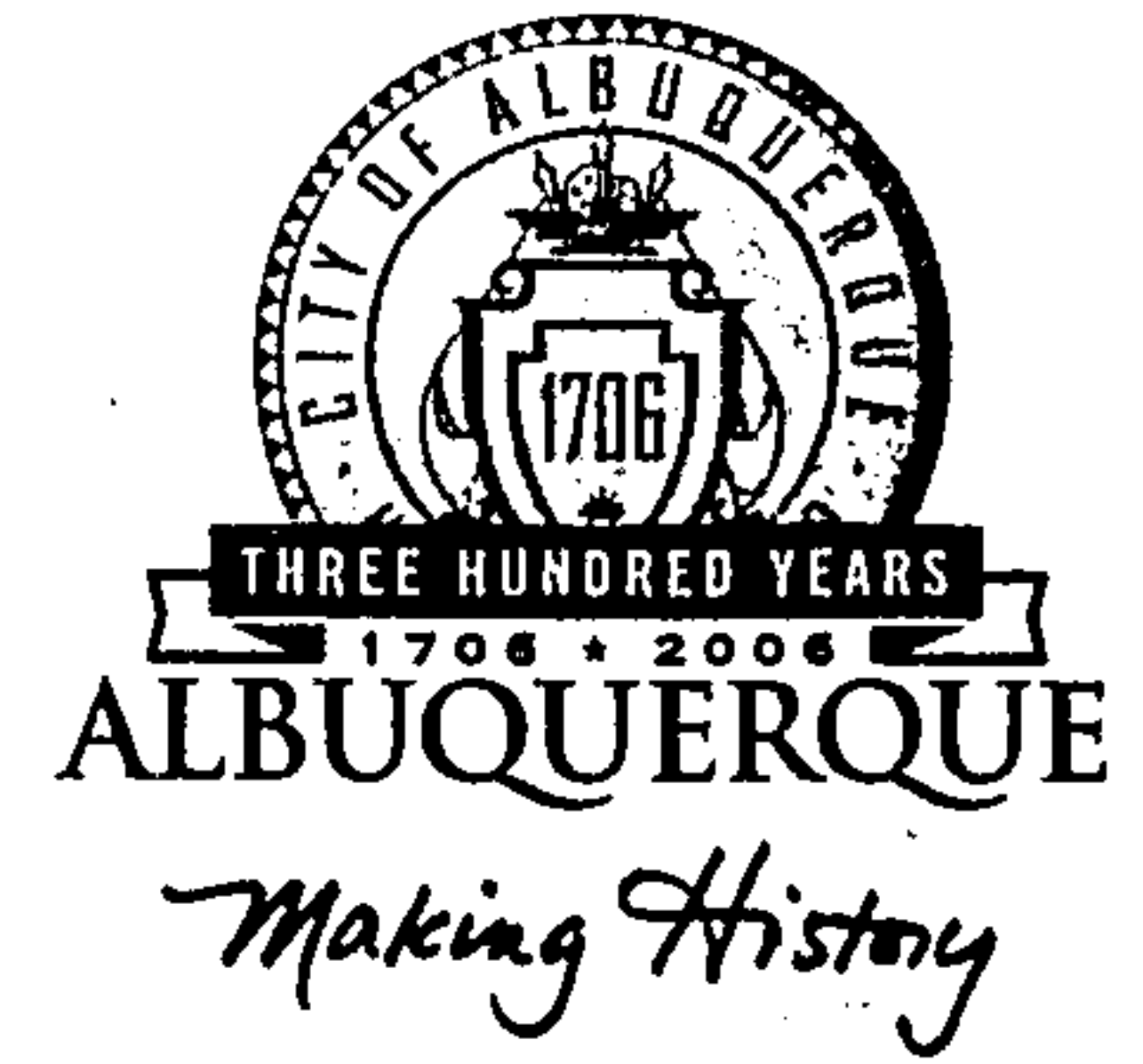
BY: J. Woodruff

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002

CITY OF ALBUQUERQUE



December 12, 2005

Jason Woodruff, P.E.
GND, LLC
5643 Paradise Blvd NW.
Albuquerque, NM 87114

**Re: Quality Jeep Chrysler, 9618 Eagle Ranch Rd NW
Grading and Drainage Plan
Engineer's Stamp dated 11-22-05 (C13-D28)**

Dear Mr. Woodruff,

Based upon the information provided in your submittal received 12-08-05, the above referenced plan cannot be approved for Building Permit and Grading Permit until the following comments are addressed:

1. Call out the approved Master Drainage Plan or provide excerpts. What amount of sheet flow is allowed to leave this site?
2. What precipitation zone was used for your analysis?
3. Building on SE corner of site must drain toward parking lot. Please verify this is the situation.
4. It appears there may be an existing inlet at your Irving drive. Please verify location of this inlet.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 7-30-02)

PROJECT TITLE: QUALITY JEEP CHRYSLER ZONE MAP/DRG. FILE #: C-13-D-28
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT A-1 ADOBE WELLS SUBDIVISION
CITY ADDRESS: 9618 EAGLE RANCH RD NW

ENGINEERING FIRM: GND, LLC
ADDRESS: 5643 PARADISE BLVD
CITY, STATE: ALBUQUERQUE NM 87114

CONTACT: JASON WOODRUFF
PHONE: 505-678-6182
ZIP CODE: 87114

OWNER: QUALITY JEEP CHRYSLER
ADDRESS: 7901 LOMAS BLVD NE
CITY, STATE: ALBU NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN *Resubmittal*
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN *Resubmittal*
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

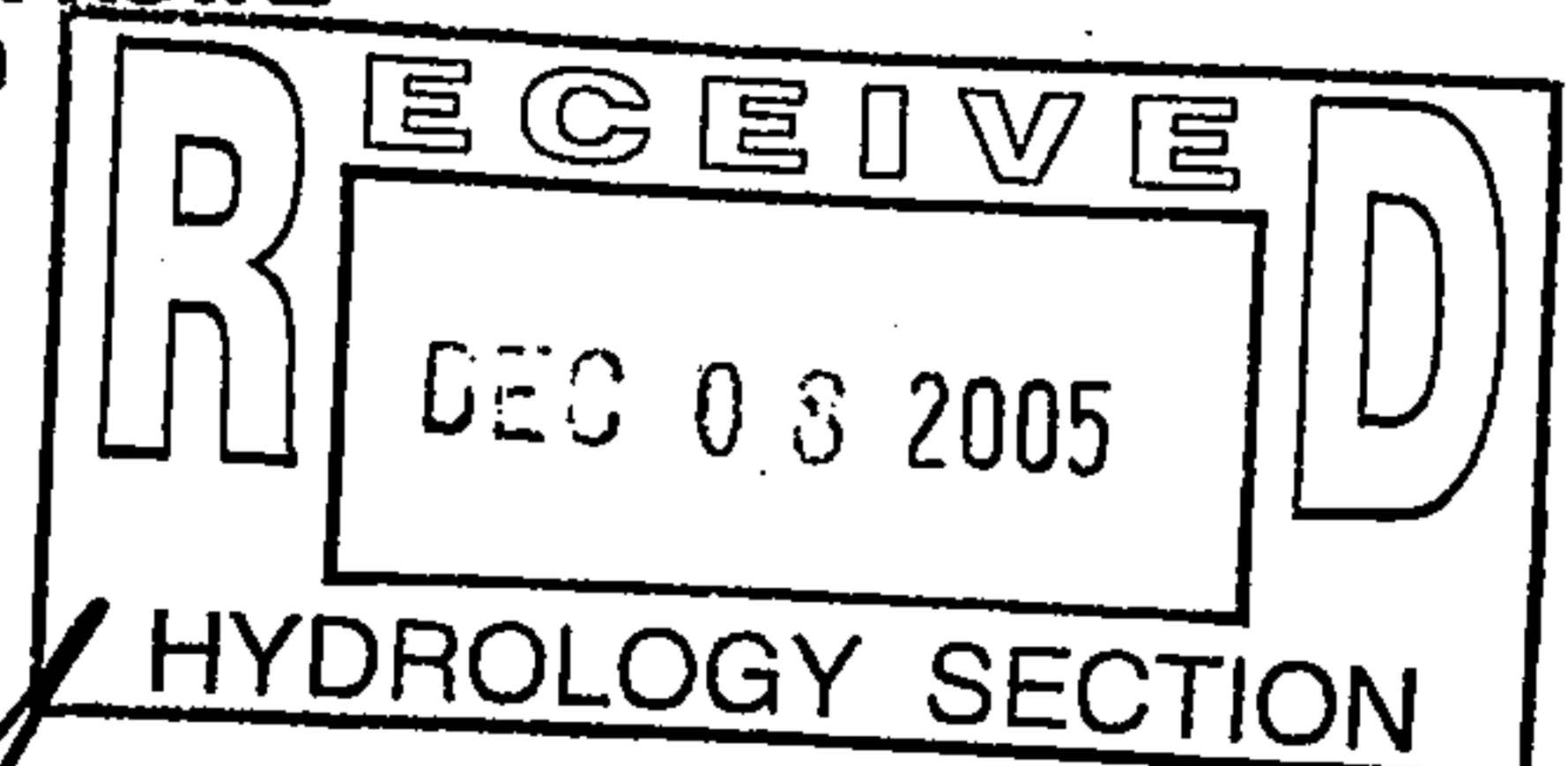
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12-08-05

BY: J. Woodruff

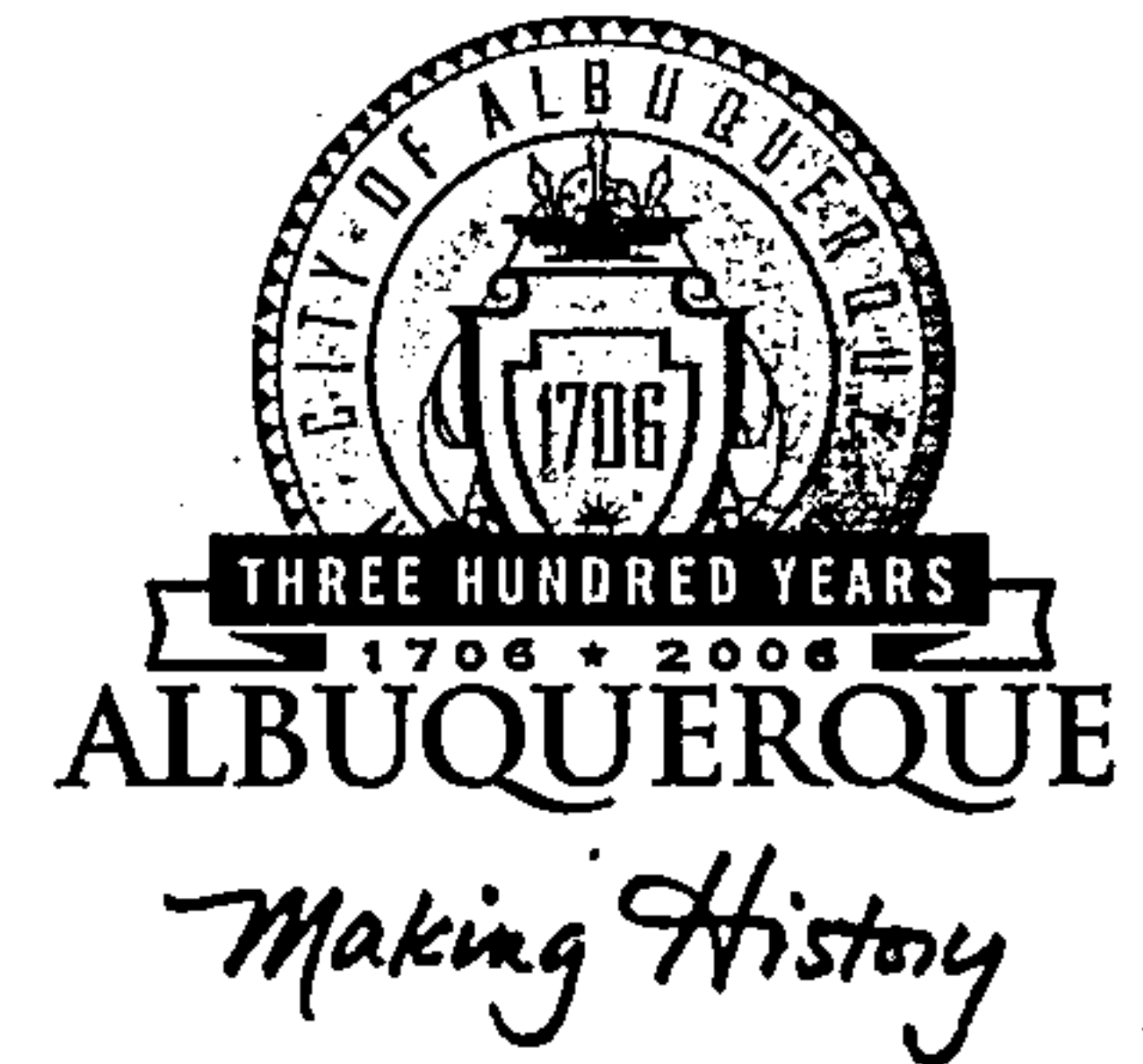


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002

CITY OF ALBUQUERQUE



November 29, 2005

James C. Lewis
Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque, NM 87106

**Re: Quality Jeep Chrysler, 9610 Eagle Ranch Rd. NW
Traffic Circulation Layout-Architect's Stamp dated 9-12-05 (C13-D28)**

Dear Mr. Lewis,

The TCL submittal received 9-21-05 is approved for Grading and Paving Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the grading and paving permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services
C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Quality Jeep Chrysler ZONE MAP/DRG. FILE # C-13/D28
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot A-1 Adobe Wells Subdivisions
 CITY ADDRESS: 9618 Eagle Ranch Rd NW

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: Quality Jeep Chrysler
 ADDRESS: 7901 Loma 5 Blvd NE
 CITY, STATE: ARIZONA

CONTACT: Vince DiLorenzo
 PHONE: 348-1411
 ZIP CODE: 87110

ARCHITECT: Schlegel Lewis Arch
 ADDRESS: 1020 Central Ave SE
 CITY, STATE: ARIZONA

CONTACT: Phil Lightle
 PHONE: 247-1529
 ZIP CODE: 87106

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

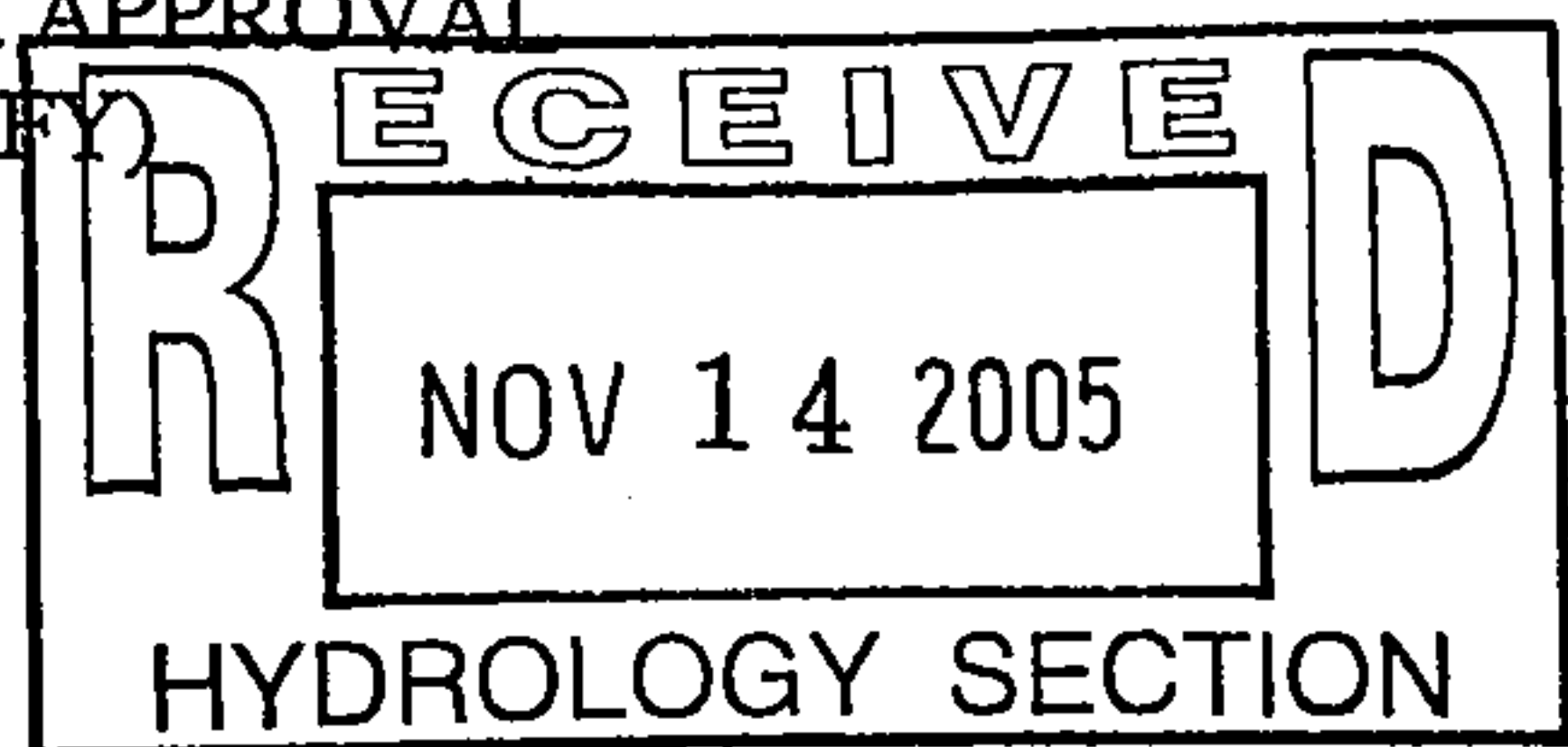
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

APPROVED
11/18/05

WAS A PRE-DESIGN CONFERENCE ATTENDED:

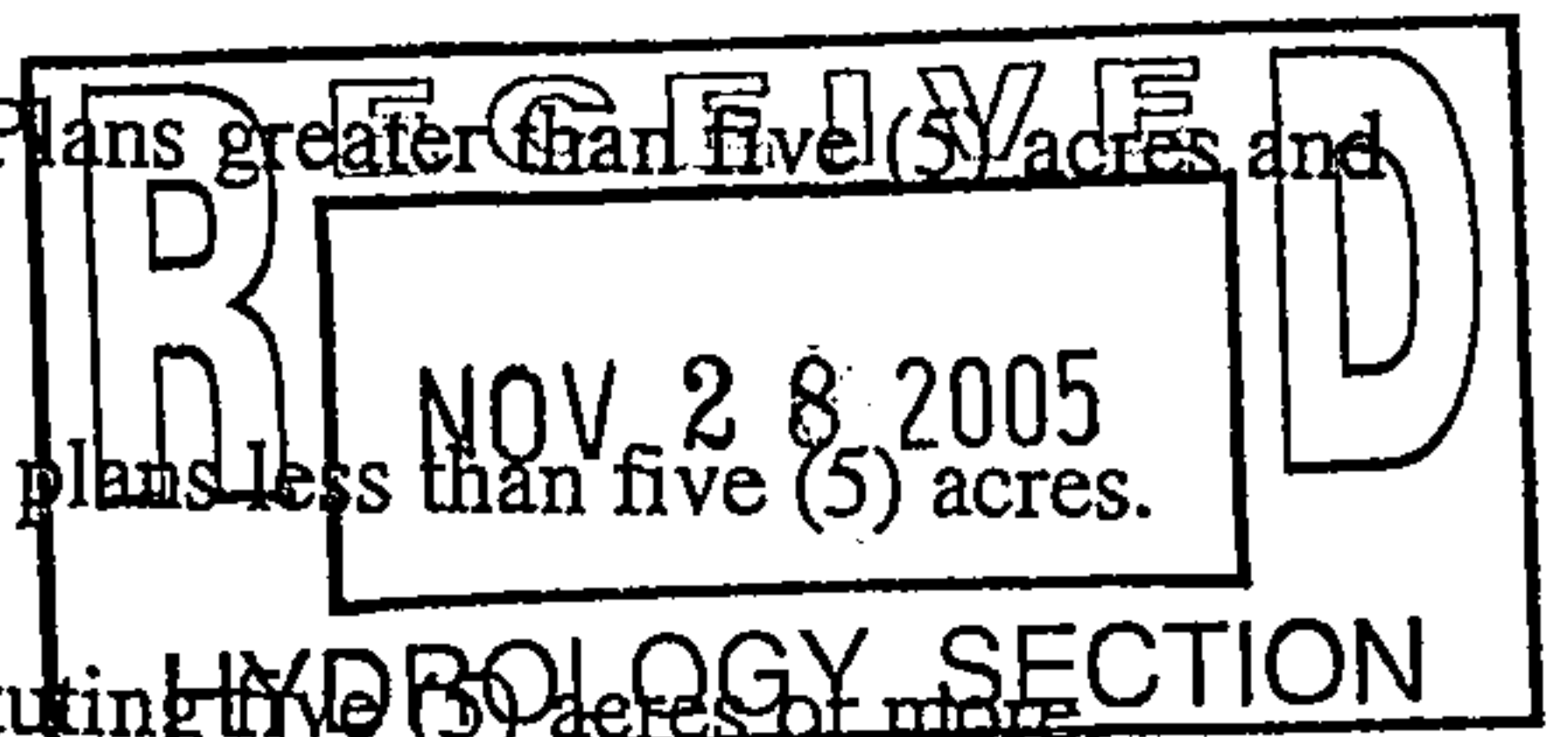
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



SUBMITTED BY: [Signature] DATE: 11/14/05

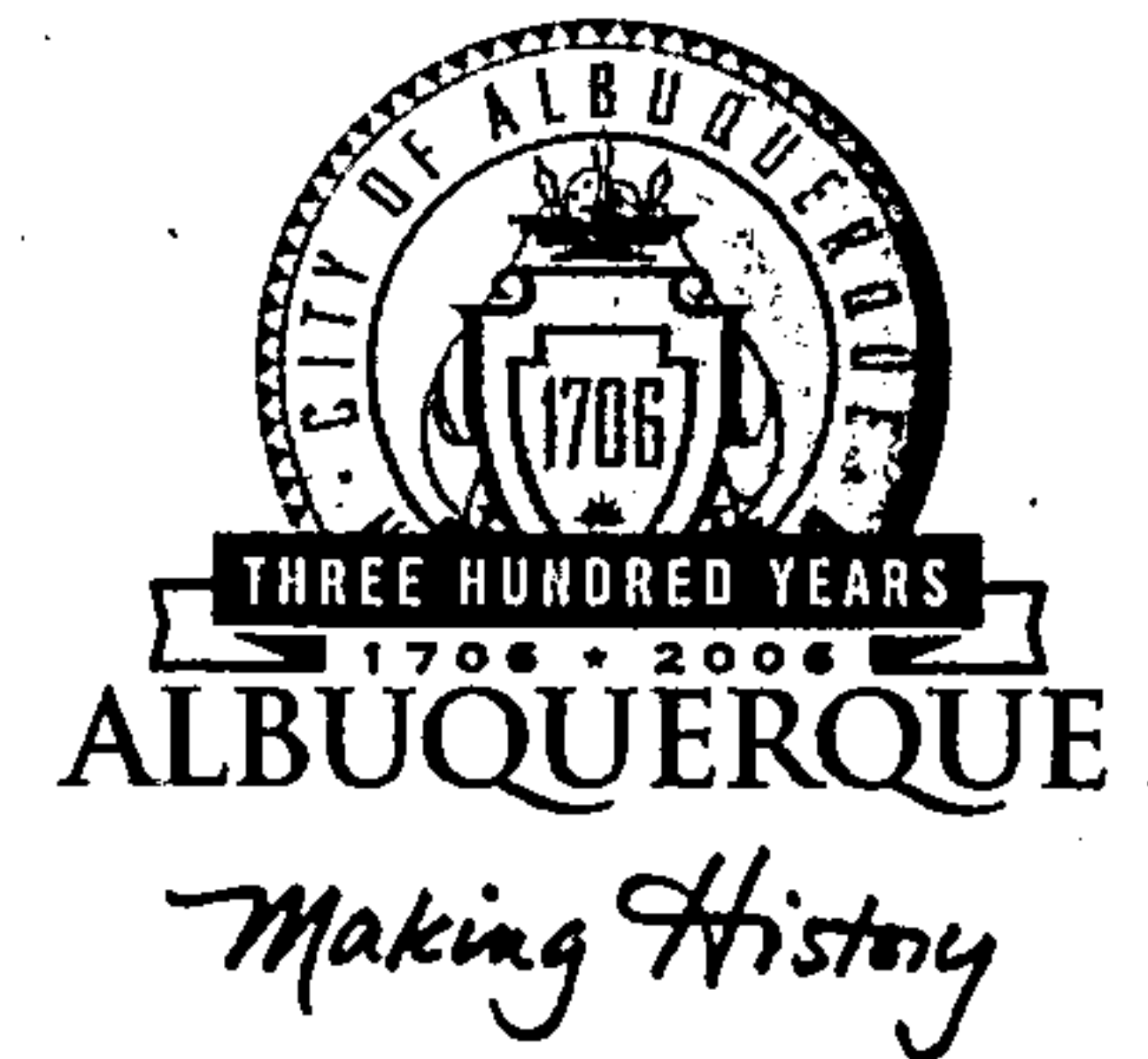
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CALL FOR
Signature
on 11/14/05

CITY OF ALBUQUERQUE



November 7, 2005

James C. Lewis
Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque, NM 87106

Re: Quality Jeep Chrysler, 9610 Eagle Ranch Rd. NW
Traffic Circulation Layout-Architect's Stamp dated 9-12-05 (C13-D28)

Dear Mr. Lewis,

Based upon the information provided in your submittal received 10-28-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- ✓• Provide a vicinity map on the Traffic Circulation Plan.
- ✓• Provide parking calculations designating the number of parking spaces required by zoning as well as the number of parking spaces proposed.
- ✓• Provide a minimum radius of 30' for the proposed curb cuts along Irving and Eagle Ranch.
25 PER WILFRED
- ✓• Provide a minimum width of 30' for the proposed curb cut along Eagle Ranch.
- ✓• Provide a minimum width of 24' for all two-way aisles.
- ✓• What is the purpose of the curb cut along the east property boundary?
- ✓• Call out the City of Albuquerque standard drawings numbers for the proposed curb cuts and ADA ramps.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Quality Jeep Chrysler ZONE MAP/DRG. FILE #: C-13/D28
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot A-1 Adobe Wells Subdivision
 CITY ADDRESS: 9800 Eagle Ranch Rd NW.

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: Quality Jeep Chrysler
 ADDRESS: 7901 Thomas Blvd NE
 CITY, STATE: ARIZONA

CONTACT: Vince DiLorenzo
 PHONE: 348-1411
 ZIP CODE: 87110

ARCHITECT: Schlegel Lewis Arch.
 ADDRESS: 162nd Central Ave SE
 CITY, STATE: ARIZONA

CONTACT: Phil Lightle
 PHONE: 247-15290
 ZIP CODE: 87108

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

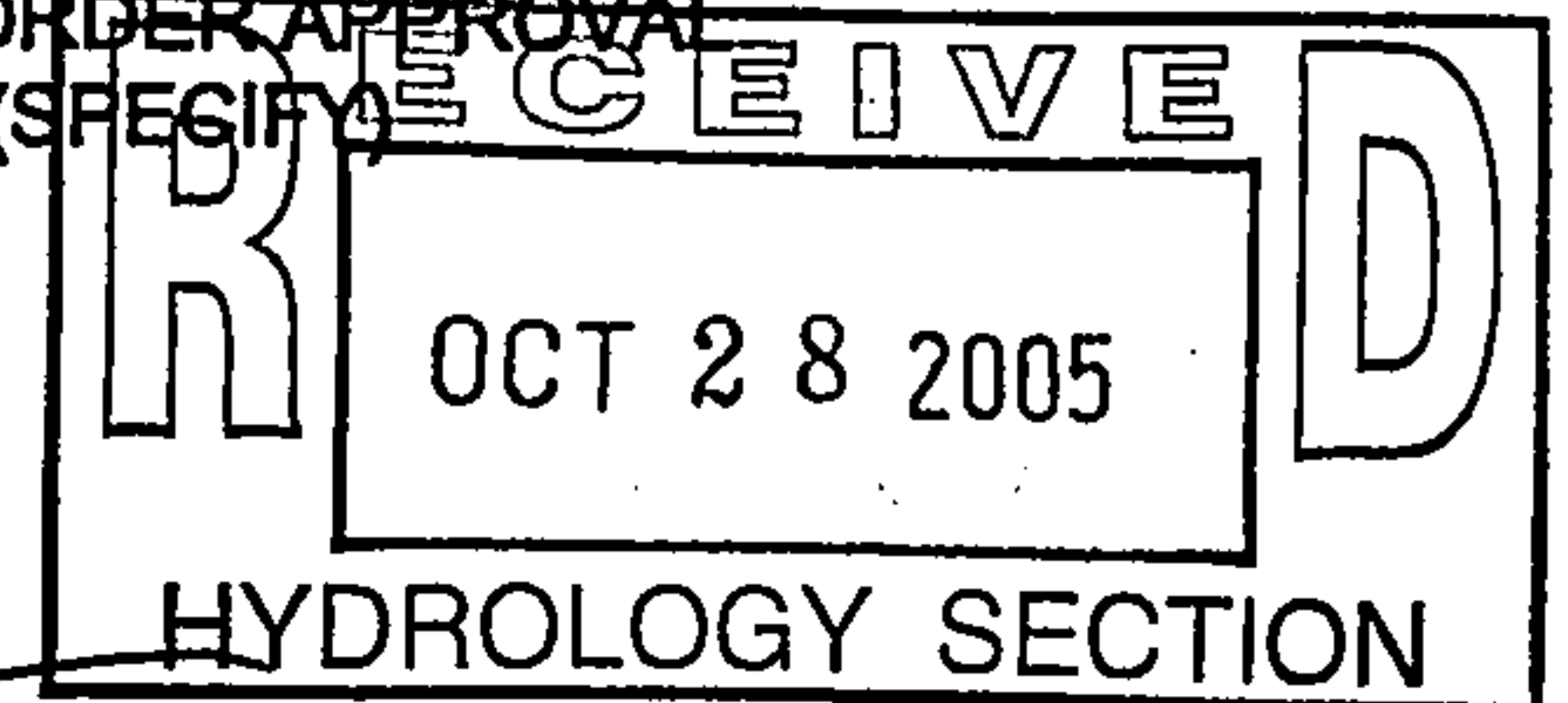
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

Need Vicinity Map

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 10/28/05 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

- VICINTY MAP ✓
- IRVING & EAGLE RANCH RETURN
RADIUS OF MIN 30' ✓
- EAGLE RANCH CURB CUT 30' MIN. ✓
- PARKING CALCS ✓
- DRIVE 2 SOUTH ^{EAST} PROPERTY LINE
- DRAWING #'S FOR ADA RAMPS -
ALONG IRVING
- CURB CUT DRAWING #'S ✓
- AISLES 24' MIN. ✓