

EXISTING CONDITIONS

THE EXISTING SITE IS PREDOMINATELY UNDISTURBED SANDY SOIL MODERATELY VEGETATED WITH VARIOUS SHRUBS AND GRASSES. ONSITE SLOPES RANGE FROM 1.0% TO 45.0% AND GENERALLY DRAIN IN AN NORTHEASTERLY DIRECTION INTO TRACT A-2. A SMALL SUB-BASIN MARKED BY EXTREME GRADES ALONG THE EASTERN PROPERTY BOUNDARY DISCHARGES ONTO AN ADJACENT PROPERTY.

PROPOSED CONDITIONS

THE PROPOSED DEVELOPMENT CONSISTS OF TWO BUILDINGS, PARKING, AND LANDSCAPE AREAS MEANT TO SUPPORT A CAR DEALERSHIP. BASED ON THE APPROVED MASTER DRAINAGE PLAN (ENGINEER: THE WESTSIDE FACILITY, CITY FILE NUMBER B13/D2, APPROVED 1/19/05), TRACT A-1 HAS FREE DISCHARGE INTO THE IRVING BLVD RIGHT-OF-WAY. ALLOWABLE DISCHARGE TO IRVING IS 6.8 CFS PER THE APPROVED MASTER DRAINAGE PLAN. THEREFORE, THE SITE WILL DRAIN VIA SHEET FLOW AND THE PROPOSED SWALES TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY. ONSITE FLOWS WILL DISCHARGE INTO IRVING BLVD ALONG THE FLOWLINE OF THE PROPOSED IRVING ACCESS DRIVE.

LEGAL DESCRIPTION

TRACT A-1, ADOBE WELLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO AS THE SAME AS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 30, 1987, BOOK C35, PAGE 7.

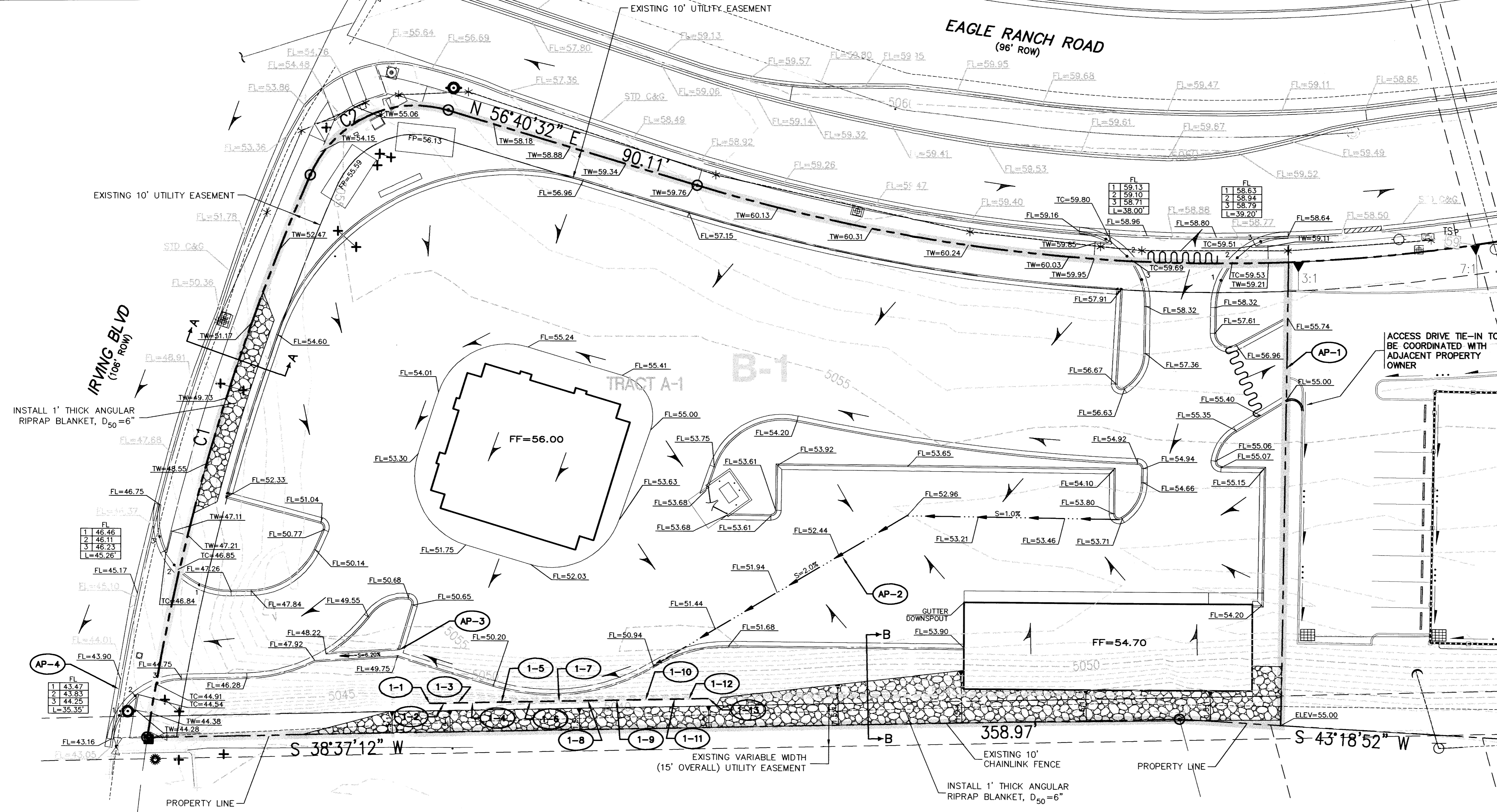
LEGEND

- FLOW ARROW
- AP-1 HYDRAULIC ANALYSIS POINT
- PROPOSED RETAINING WALL
- PROPOSED SWALE
- PROPOSED BASIN
- FL=33.65 FLOWLINE ELEVATION
- TW=33.65 TOP OF SIDEWALK ELEVATION
- TC=33.65 TOP OF CURB ELEVATION
- ~ FLOWLINE ELEVATION
- 1-1 RETAINING WALL POINT
- RIP RAP

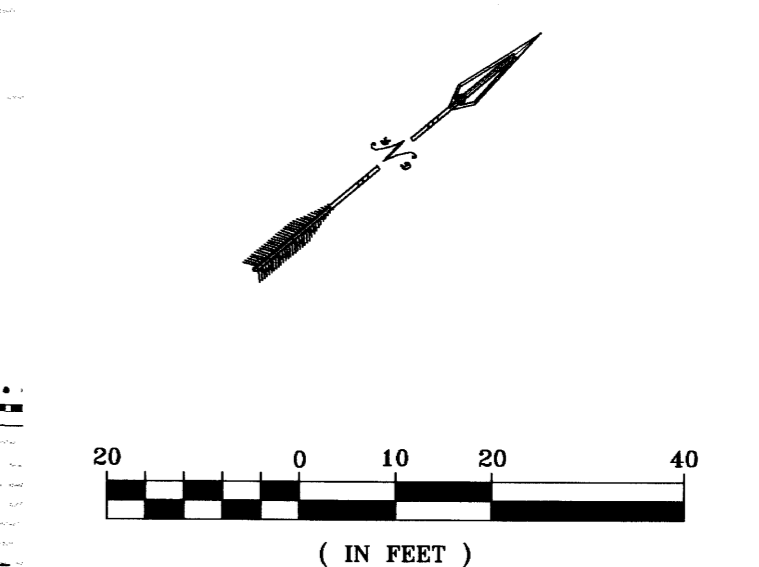
HYDRAULIC SUMMARY

AP	DESCRIPTION	SLOPE (%)	Q ¹⁰⁰ (cfs)
AP-1	SHEET FLOW	6.04	0.05
AP-2	SWALE	2.00	1.50
AP-3	RUNDOWN	-	4.60
AP-4	SITE DISCHARGE	-	6.53

NOTE: CONCEPT BASED ON THE ASSUMPTION OF FREE DISCHARGE FROM THE SITE INTO THE IRVING BLVD RIGHT-OF-WAY.



ACCESS DRIVE TIE-IN TO BE COORDINATED WITH ADJACENT PROPERTY OWNER



RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEVATION	TOP OF FTG. ELEVATION	WALL HEIGHT (FT.)	APPROX. DIST. (FT.)
1-1	46.67	44.00	2.67	5
1-2	46.67/47.33	44.00/44.00	3.33	5
1-3	47.33/47.33	44.00/44.00	3.33	5
1-4	47.33/48.00	44.00/44.00	4.00-4.67	10
1-5	48.67/49.33	44.00/44.00	5.33	10
1-6	49.33/50.00	44.00/44.00	6.00	10
1-7	50.00/50.00	44.00/44.00	6.00	10
1-8	50.00/50.00	44.00/44.00	6.00	10

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEVATION	TOP OF FTG. ELEVATION	WALL HEIGHT (FT.)	APPROX. DIST. (FT.)
1-9	50.00/49.33	44.00/44.00	5.33	10
1-10	49.33/48.00	44.00/44.00	4.00	10
1-11	48.00/46.67	44.00/44.00	2.67	5
1-12	46.67/46.00	44.00/44.00	2.67	5
1-13	46.00/	44.00/	2.00	7

HYDROLOGIC DATA - DEVELOPED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/oc)	Q ¹⁰ (cfs)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (ocft)
		A	B	C	D				
B-1	1.58	0	10	0	90	4.14	4.20	6.53*	0.29

*PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS

NOTES:
 SITE HYDROLOGIC ANALYSIS PERFORMED USING AHYMO (1997).
 UPON REVIEW OF THE FIRM MAP 35001C0108E, IT WAS DETERMINED THAT THE PROJECT SITE DID NOT FALL WITHIN A FLOOD PLAIN.

PROJECT BENCHMARK

ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM,6-B13, EPOXIED TO TOP OF THE CONCRETE SLEEPER SLAB AT THE SOUTHEASTERLY QUADRANT OF EAGLE RANCH RD. N.W. AND THE CALABACILLAS ARROYO ELEVATION=5065.64 (NGVD 1929)

T.B.M.

A REBAR WITH RED CAP STAMPED "CONTROL PT. NMPS 11184 "LOCATED APPROX. 12' SOUTH OF THE SOUTH BACK OF CURB OF EAGLE RANCH ROAD AND 230' NORTH OF THE NORTH BACK OF CURB OF IRVING BLVD. N.W., AS SHOWN ON THIS SHEET ELEVATION=5059.86

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 CONSULTING ENGINEERS
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 Albuquerque, NM 87114
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CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
TRACT A-1
GRADING AND DRAINAGE PLAN
 HYDROLOGY SECTION

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

AS BUILT INFORMATION

CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD CHECK BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

BENCH MARKS

NO.	DATE

SURVEY INFORMATION

FIELD NOTES	DATE

ENGINEER'S SEAL

NO. DATE REMARKS BY

REVISIONS DESIGN

DESIGNED BY: JRW DATE: 12/15/05
 DRAWN BY: JRW DATE: 12/15/05
 CHECKED BY: JRW DATE: 12/15/05

RECEIVED DEC 16 2005

OCCUPANCY CLASSIFICATION: SALES OFFICE
 (TABLE 601):
 Type B - Office

OCCUPANCY CLASSIFICATION: SERVICE BUILDING
 (TABLE 601):
 Type S-1 - Motor Vehicle repair: No Flammable finishes or welding. Cleaning and exchange of parts.

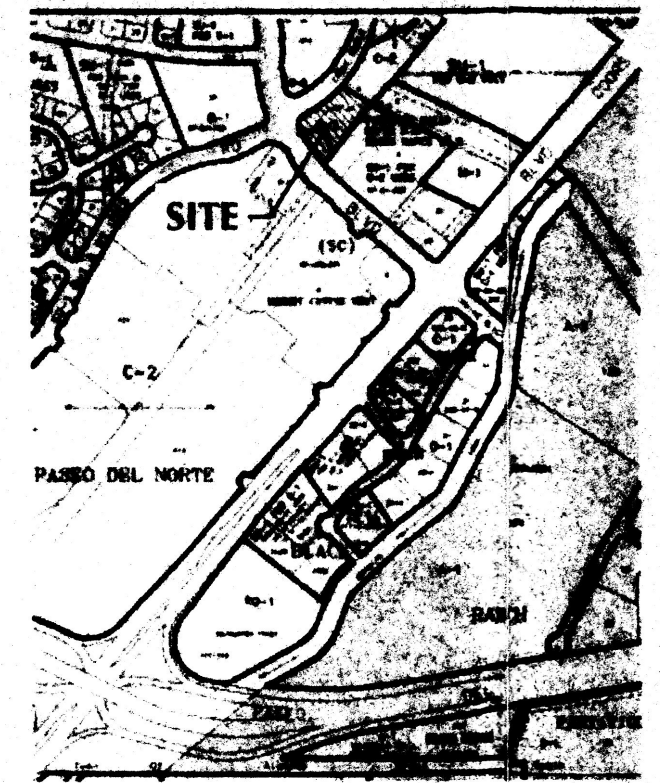
BUILDING AREA: SALES OFFICE
 Heated Area: 3,048 SF
 Covered Area: 169 SF
 Total Area: 3217 SF

BUILDING AREA: SERVICE BUILDING
 Heated Area: 3,000 SF (Total)

PARKING:
 Office: (1 space per 200 SF) 3,048/200= 16.00 Spaces
 M.V.R.: (1 space per 200 SF) 3,000/200= 15.00 Spaces
 Total = 31.00 Spaces

Provided:
 Standard Spaces 36 Spaces
 HC Space 2 Spaces
 Total 37 Spaces

BICYCLE PARKING:
 Required: 1 space/20 parking spaces
 37 parking/20 = 2 spaces



SITE REMEDIATION
 Remove and dispose of any hazardous and toxic materials encountered in accordance with all codes and regulations

SITE CLEARING
 Protect and maintain benchmarks and planting that are to remain. Remove all obstructions, trash and vegetation including stumps and grubbing roots. Remove and legally dispose of excess soils.

GRADING
 Grade the site per the grading plans. Grades not shown the plans shall be uniform levels or slopes between points where elevations are given. Abrupt changes shall be well rounded. The contractor is responsible for positive site drainage.

EXCAVATION AND FILL
 Fills shall be clean & free of organic matter soils compacted in 6" - 8" lifts
 Grade to contours shown on plans
 Minimum 1% grade @ landscaping

EARTHWORK COMPACTION
 95% (minimum) density under foundations
 90% (minimum) density under slabs
 90% (minimum) density @ paving areas

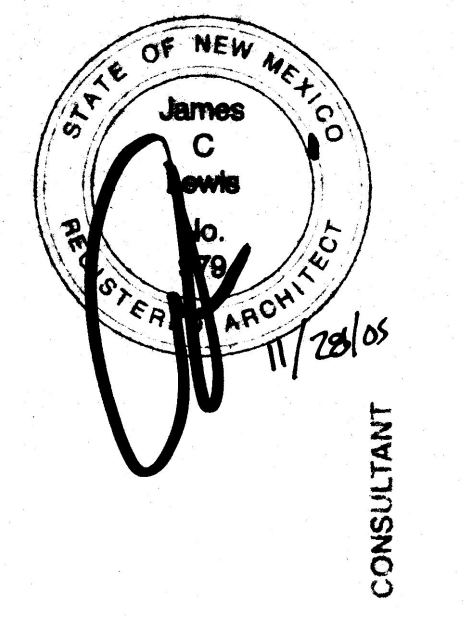
UTILITIES
 Contractor shall furnish and install or coordinate the installation of all utilities shown on the drawings. Extend utilities in accordance with municipal ordinances (water & sewer) or regulations of private utility companies

ASPHALTIC PAVING
 2" Asphaltic concrete at parking spaces
 3" Asphaltic concrete at drive aisles
 Roller compacted and sealed minimum 1/2% slope to drainage.
 Paving sub-base scarify to 6" (minimum) compact to 90% (minimum) density or per the recommendations of the geotechnical investigation

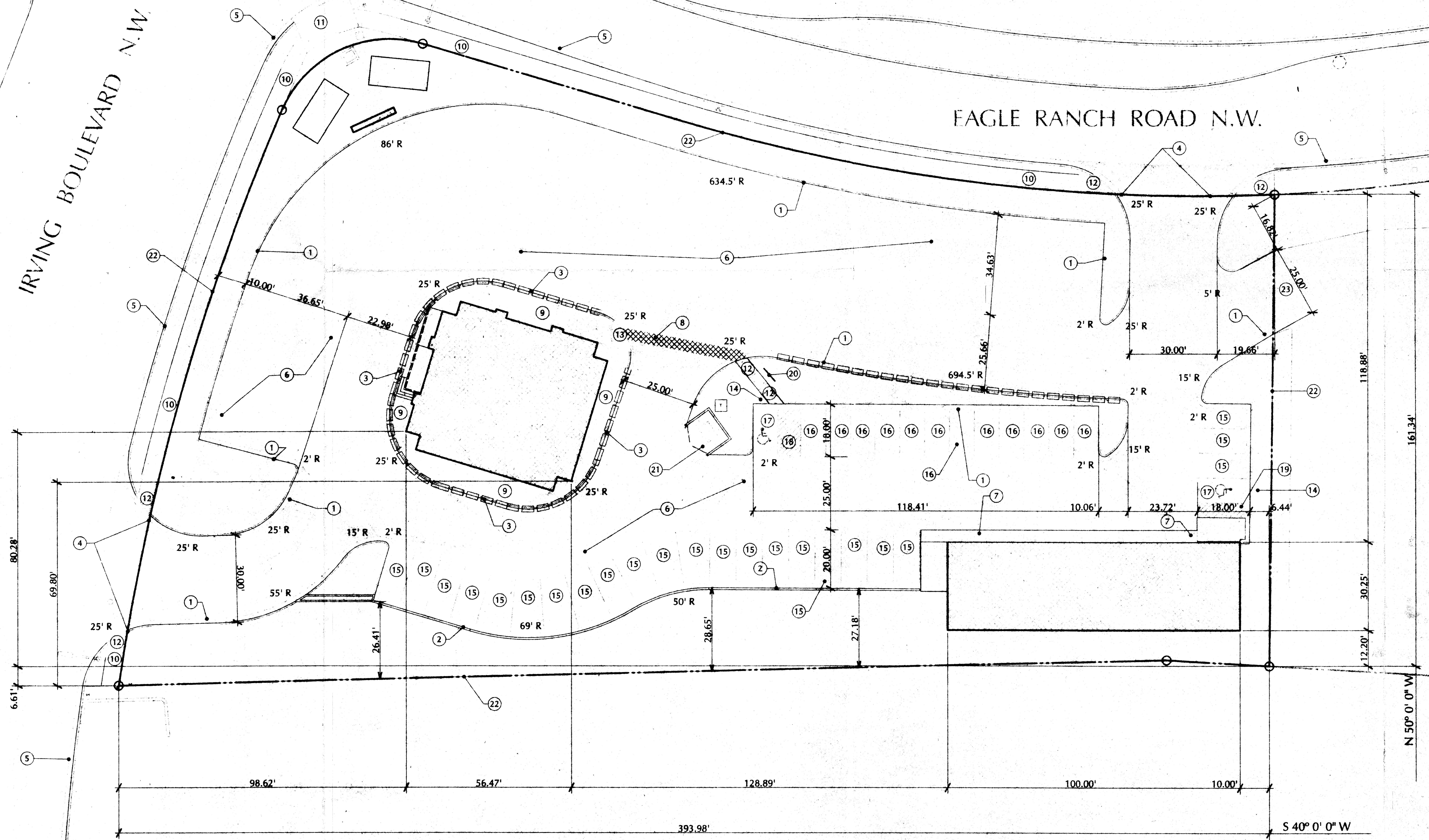
PAVEMENT MARKING
 Paint: Alkid-resin, white or yellow 4" wide stripes unless noted otherwise.

CURB AND GUTTER
 Cast in place or extruded concrete (3000 PSI minimum). Sizes and reinforcing per drawings. Provide control joints at 5'-0" on center (minimum) and expansion joints at 50'-0" on center (minimum).

SIDEWALKS
 See drawings for sizes and locations. Light broom finish and slope walks/patios 1/8" per foot away from buildings. Provide control joints at 5'-0" on center (minimum) and expansion joints at 50'-0" on center (minimum).



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- Specification Notes**
- Standard concrete curb and gutter. See detail on sheet C-103.
 - Stand up concrete curb. See detail 'D' sheet C-502.
 - Concrete sidewalk curb. See detail 'G' sheet C-502.
 - New curb cut- see detail 'T' sheet C-502. Per COA standard drawing 2426.
 - Existing curb and gutter. Repair all damaged sections.
 - Asphalt paving.
 - 4' wide concrete apron. See detail 'H' sheet C-502.
 - Painted crosswalk (4" wide strips).
 - 4" thick concrete sidewalk
 - 6' concrete sidewalk in right of way. Construct per COA drawing 24301.
 - Existing curb ramp.
 - New curb ramp, slope 1:12 maximum- see detail 'T' sheet C-502. Per COA standard drawing 2426.
 - Accessible ramp. See detail 'W' sheet C-502.
 - Accessible parking sign. See detail 'X' sheet C-502.
 - 9'-0" x 20'-0" parking space.
 - 8'-6" x 20'-0" (18' with 2' overhang) parking space.
 - 8'-6" x 20'-0" (18' with 2' overhang) handicapped parking space.
 - 8'-0" handicapped (van) parking aisle (painted striping).
 - 5'-0" handicapped parking aisle (4" wide painted striping).
 - Bicycle rack (3 spaces minimum). See detail 'F' sheet C-502.
 - Refuse enclosure. See detail 'S' sheet C-502.
 - Property line.
 - Private vehicular access easement serving tract A-1. Maintenance shall be the responsibility of the owner of tract A-2.

TRAFFIC CIRCULATION LAYOUT APPROVED

PDJ
 Signed _____ 11/18/05
 Date

TRAFFIC CIRCULATION LAYOUT NOTE
 The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

TCL Note/ Keyed Notes

Quality West Side
 9610 Eagle Ranch Rd. NW
 Albuquerque, NM 87124

ISSUE DATE:
 12 September 2005

REVISIONS:

1	Owner Changes	9/19/05
2	Revisions	9/19/05
3	City Revisions	11/14/05
	TCL Resubmittal	11/14/05

TCL Plan

PROJECT 0501 SHEET **C-102** OF 36
 NOV 28 2005
 HYDROLOGY SECTION

TCL & Dimensioning Plan

Scale: 1" = 20'-0"