

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 25, 2024

Nick Barber
D Land Development, LLC
11811 N. Tatum Blvd.
Phoenix, AZ 85028

Re: Circle K
9620 Eagle Ranch Rd. NW
Traffic Circulation Layout
Engineer's Stamp 08-14-23 (C13-D028)

Dear Mr. Barber,

The TCL submittal received 04-22-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **AN APPROVED/ ACCEPTED WORK ORDER IS A CONDITION OF RELEASING THE FINAL CO.**

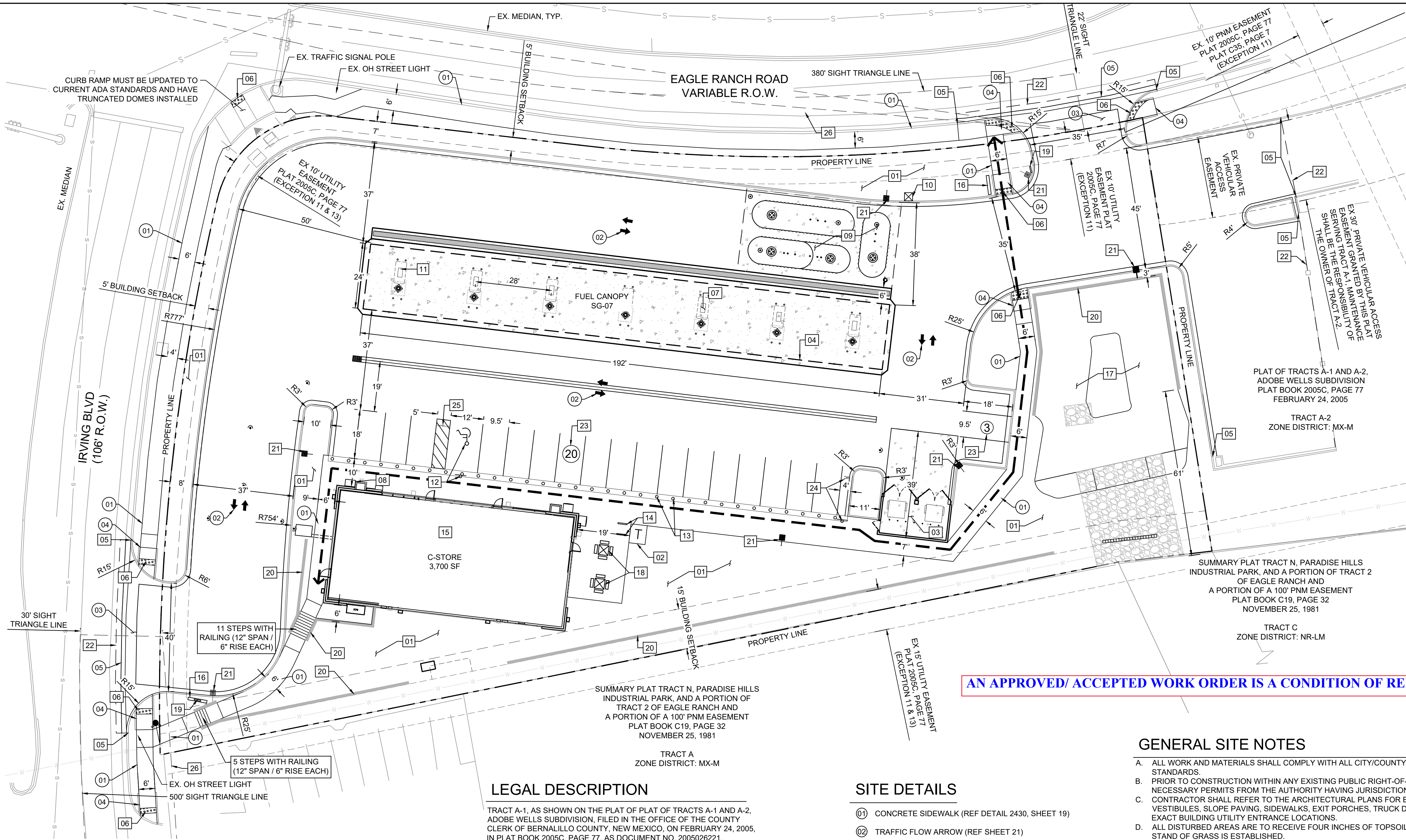
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\500 CAD\504 PLAN SETS\CONSTRUCTION PLANS\SP01.DWG



SITE NOTES

- | | | | |
|----|--|----|---|
| 01 | LANDSCAPE AREA (PER LANDSCAPE PLANS) | 16 | MONUMENT SIGN |
| 02 | TRANSFORMER PAD (PER ELEC CO AND / OR ARCH PLANS) | 17 | STORMWATER QUALITY POND |
| 03 | TRASH ENCLOSURE (PER ARCH PLANS) | 18 | SEATING AREA WITH TWO SQUARE PICNIC TABLES |
| 04 | OVERHEAD CANOPY (TYP PER ARCH PLANS) | 19 | FUEL DISPENSER DIRECTIONAL SIGN |
| 05 | TAPER CURB TO MATCH EXISTING | 20 | RETAINING WALL |
| 06 | 2'-WIDE DETECTABLE WARNING MEETING COA REQUIREMENTS (REF DETAIL 2446, SHEET 20) | 21 | PROPOSED LIGHT POLE (PER ARCH PLANS) |
| 07 | FUEL PUMPS (PER ARCH PLANS) | 22 | PAVEMENT SAWCUT LINE |
| 08 | CO2 ENCLOSURE (PER ARCH PLANS) | 23 | PARKING SPACES |
| 09 | UNDERGROUND FUEL TANKS (PER ARCH PLANS) | 24 | MOTORCYCLE PARKING SPACE, "MC" PAVEMENT MARKING, AND SIGNAGE (REF ARCH PLANS) |
| 10 | AIR & WATER UNIT (PER ARCH PLANS) | 25 | "NO PARKING" PAVEMENT MARKING PER 66-1-4.1. B NMSA 1978 |
| 11 | VENT PIPES (PER ARCH PLANS) | 26 | CLEAR SIGHT TRIANGLE |
| 12 | ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCH PLANS) | | |
| 13 | PIPE BOLLARDS (PER ARCH PLANS) | | |
| 14 | BICYCLE RACKS (EACH UNIT ACCOMMODATES 2 BICYCLES) (CYCLE-SAFE "U-RACK" OR APPROVED EQUAL) (REF ARCH PLANS) | | |
| 15 | CONVENIENCE STORE (3,700 SF) | | |

LEGAL DESCRIPTION

TRACT A-1, AS SHOWN ON THE PLAT OF PLAT OF TRACTS A-1 AND A-2, ADOBE WELLS SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 24, 2005, IN PLAT BOOK 2005C, PAGE 77, AS DOCUMENT NO. 2005026221.

PROPOSED LEGEND

- | | |
|---------------|--|
| --- | PROPERTY LINE |
| ===== | 6" MEDIAN CONCRETE CURB & GUTTER (CATCH) |
| ===== | 6" DEPRESSED MEDIAN CONCRETE CURB & GUTTER (SPILL) |
| # | PROPOSED PARKING SPACES |
| ← - - - - - → | ADA ACCESSIBLE PEDESTRIAN PATHWAY |

ADA COMPLIANCE NOTE

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER-FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS



SITE DETAILS

- | | |
|----|--|
| 01 | CONCRETE SIDEWALK (REF DETAIL 2430, SHEET 19) |
| 02 | TRAFFIC FLOW ARROW (REF SHEET 21) |
| 03 | DRIVEWAY APPROACH PER COA DETAILS (REF DETAIL 2426, SHEET 19) |
| 04 | PEDESTRIAN RAMP PER COA DRAWINGS (REF DETAIL 2240, SHEET 19 & DETAIL 2443, SHEET 20) |
| 05 | CONCRETE VALLEY GUTTER (REF DETAIL 2420, SHEET 19) |

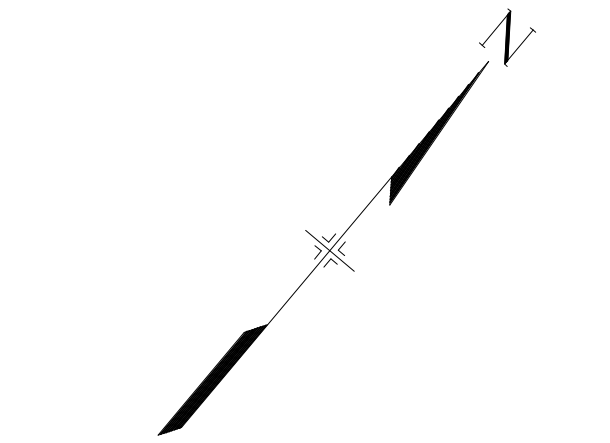
PARKING REQUIREMENTS	
PARKING REQUIRED:	CONVENIENCE STORE (3,700 SF): 23 PARKING SPACES
	ACCESSIBLE: 1 PARKING SPACE
	MOTORCYCLE: 1 PARKING SPACE
PARKING PROVIDED:	TOTAL PARKING REQUIRED: 15 PARKING SPACES
	STANDARD: 21 (9.5'x18')
	ACCESSIBLE: 1 (12'x18" W/ 5' ACCESS AISLE)
BICYCLE PARKING REQUIRED:	MOTORCYCLE: 1 (4'x8')
	TOTAL PARKING PROVIDED: 23
	3 (75"x24" FOR EACH BICYCLE SPACE)
BICYCLE PARKING PROVIDED: 4 (2 RACKS, 2 BICYCLES PER RACK)	

GENERAL SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB/FLOWLINE UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED/ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT CONTRACT REQUIREMENTS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKE FROM A SURVEY BY A LAND SURVEYOR.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT CONTRACT REQUIREMENTS.
- REFER TO ARCH. PLANS FOR PYLON AND/OR MONUMENT SIGNS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE PROJECT CONTRACT REQUIREMENTS:
 - ALL CURB AND GUTTER IN THE CITY RIGHT-OF-WAY SHALL BE INSTALLED PER CITY OF ALBUQUERQUE, NM (COA) DESIGN STANDARDS FOR CONSTRUCTION WHICH CAN BE FOUND [HTTPS://WWW.CABQ.GOV/PLANNING/DEVELOPMENT-REVIEW-SERVICES/DESIGN-REVIEW-CONSTRUCTION-FORMS](https://www.cabq.gov/planning/development-review-services/design-review-construction-forms)
 - ALL RAMP IN THE CITY RIGHT-OF-WAY SHALL BE INSTALLED PER COA DESIGN STANDARDS FOR CONSTRUCTION DRAWINGS 2440 THROUGH 2448 (REF SHEET 19).
 - ALL CURB ON-SITE SHALL BE INSTALLED PER DETAILS ON SHEET 19.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH "GEOTECHNICAL ENGINEERING REPORT CIRCLE K CONVENIENCE STORE NEC OF IRVING BOULEVARD NW AND EAGLE RANCH ROAD NW ALBUQUERQUE, NEW MEXICO" (TERRACON PROJECT No. 661215073) DATED APRIL 12, 2021 OVER THE ENTIRE PARKING LOT AREA.
 - ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER DETAIL ON SHEET 18).
- ALL HANDICAP ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE LOCAL MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL HANDICAP ACCESSIBLE PARKING STALL SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS AND RAMPS.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ANY FACILITIES THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED PER CURRENT PROJECT CONTRACT REQUIREMENTS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



Know what's below.
Call before you dig.



CONSULTANTS:



2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208



LAND DEVELOPMENT
CONSULTANTS, LLC

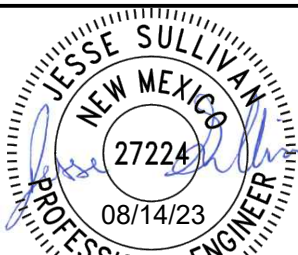
950 S. CHERRY STREET, SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:



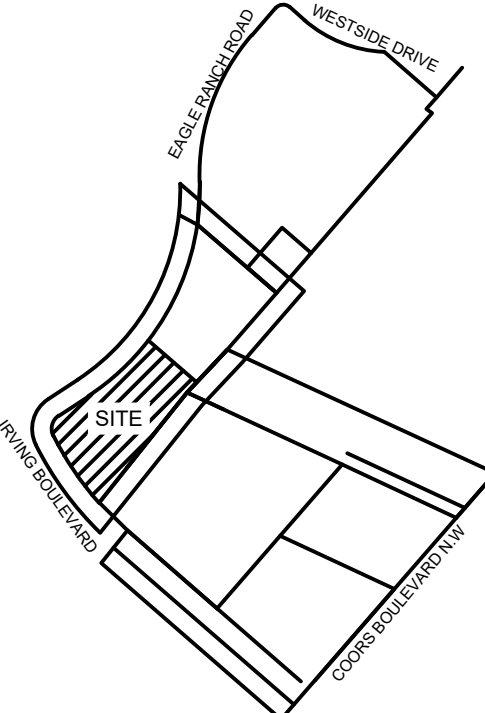
ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE
MOST RECENT PROJECT CONSTRUCTION DOCUMENTS.
MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR
CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION
DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.

VICINITY MAP: NTS



PROJECT:

CIRCLE K STORES INC

CONSTRUCTION DOCUMENTS
CIRCLE K

9620 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: BL, MR

DESIGNED BY: RPD

CHECKED BY: NMS

SHEET TITLE:

SITE PLAN

SP01

SHEET 5 OF 31

DATE: AUGUST 2023

