

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 25, 2025

Kevin Lardner  
Matrix Design Group, Inc.  
2435 Research Parkway, Suite 300  
Colorado Springs, CO 80920

**RE: Circle K – 9610 Eagle Ranch Rd. NW**  
**Temporary Certificate of Occupancy**  
**Engineer's Certification Date: 06/24/2025**  
**Engineer's Stamp Date: 12/22/23**  
**Hydrology File: C13D028**  
**Case # HYDR-2025-00224**

Dear Mr. Lardner:

Based on the Engineer's Grading and Drainage Certification received 6/24/2025 and site visit on 6/25/2025, this letter serves as a conditional approval from the Hydrology Section for a 30-day Temporary Certificate of Occupancy for the Circle K located at 9610 Eagle Ranch Rd. NW to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Complete the slope stabilization and erosion control needed for the east side of the lot.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Hydrology. In order to submit the DC, you will need to apply in ABQ-PLAN for a Covenant and upload the Drainage Covenant and Exhibit A (separate attachments). Then the originals and the filing fee are turned in to Hydrology for processing.


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covenant

All Trending BUSINESS REGISTRATION / HEALTH PERMITS BUILDING & FIRE PERMITS PLANS

Show Categories

 **Covenant**  
Category Name: DRC Applications

Description:  
Pond/Drainage Covenant and Agreements and Covenants

Before proceeding to application, please go to Development Review Services at:  
<https://www.cabq.gov/planning/development-review-services/hydrology-section> to download a copy of the agreement. Hydrology and/or Transportation must review all applications prior to submission. Staff contact information found at:  
<https://www.cabq.gov/planning/development-review-services/design-review-construction-section>. DRC will only accept and record fully completed and approved applications.

Apply

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

Please resubmit for a request for permanent release of Certificate of Occupancy once the above items are complete.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,



Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

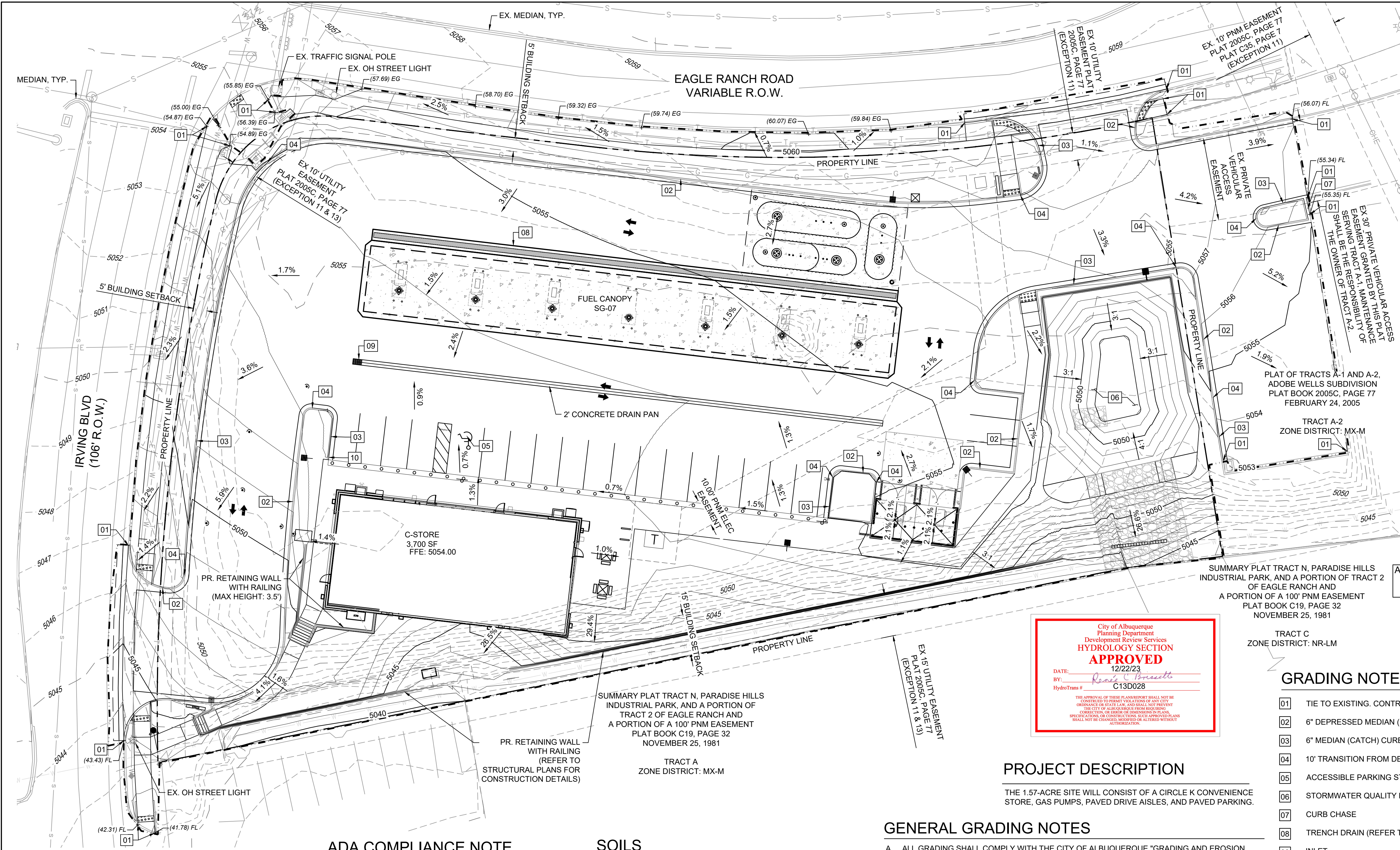
PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)





**811**  
Know what's below.  
Call before you dig.

**GRAPHIC SCALE**  
20' 0" 10' 0" 0' 0" 10' 0" 20' 0"  
( IN FEET )  
1 inch = 20 ft.

**GRADING LEGEND**

- PROPOSED CONTOURS
- EXISTING CONTOURS
- 6" MEDIAN C & G
- 6" MEDIAN DEPRESSED C & G
- LIMITS OF GRADING
- PROPOSED SPOT ELEVATION: XX.XX
- EXISTING SPOT ELEVATION: (XX.XX)
- FG = FINISHED GROUND
- FL = FLOWLINE
- TBC = TOP BACK OF CURB
- FFE = FINISHED FLOOR ELEVATION
- GP = GRADE BREAK
- HP = HIGH POINT
- LP = LOW POINT
- TOW = TOP OF WALL
- BOW = BOTTOM OF WALL

**NOTE:**  
1. TBC TO BE 6" ABOVE FL UNLESS OTHERWISE NOTED.  
2. ADD 5000' TO ALL SPOT GRADE ELEVATIONS.

**ALL WORK (DRIVEWAY, CURB AND GUTTER, SIDEWALK) IN PUBLIC ROW TO FOLLOW CITY OF ALBUQUERQUE STANDARDS**

PROJECT DESCRIPTION

THE 1.57-ACRE SITE WILL CONSIST OF A CIRCLE K CONVENIENCE STORE, GAS PUMPS, PAVED DRIVE AISLES, AND PAVED PARKING.

GENERAL GRADING NOTES

- ALL GRADING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE "GRADING AND EROSION CRITERIA" (REF. CITY OF ALBUQUERQUE, DEVELOPMENT PROCESS MANUAL, ARTICLE 6-4).
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PRIOR TO INSTALLATION OF SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- NO GRADING AND/OR SPILLING BEYOND THE CONSTRUCTION LIMITS. ANY SPILLING THAT CAUSES ADVERSE EFFECTS TO THE SLOPES AND/OR OPEN SPACE AREAS SHOULD BE "IMMEDIATELY RESTORED TO ITS NATURAL STATE."

ADA COMPLIANCE NOTE

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER-FREERAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS

SOILS

THE ON-SITE SOILS INCLUDE BLUEPOINT-KOKAN ASSOCIATION (BKD) PER THE NATIONAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY. BKD IS RATED HYDROLOGIC GROUP A. THE INFILTRATION RATE IS 5 MINUTES PER INCH, ACCORDING TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 21, 2021, PROJECT NUMBER 661215073.

LEGAL DESCRIPTION

TRACT A-1, AS SHOWN ON THE PLAT OF PLAT OF TRACTS A-1 AND A-2, ADODE WELLS SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 24, 2005, IN PLAT BOOK 2005C, PAGE 77, AS DOCUMENT NO. 2005026221; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN NGS BENCHMARK FOR A 3" BRASS CAP MARKED REEVES 2 FOUND AT THE EAST EDGE OF CONCRETE DRAINAGE CHANNEL STRUCTURE, THENCE M.66°28'16"W., 19,058.32 FEET TO A 5/8" IRON ROD FOUND WITH CAP 11184 FOR THE TRUE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF THIS TRACT;

THENCE S.43°18'52"W., 34.74 FEET TO A 5/8" IRON ROD FOUND WITH CAP 11184 FOR A CORNER OF THIS TRACT;

THENCE S.38°37'12"W., 358.97 FEET TO A 5/8" IRON ROD SET CAP 23259 FOR THE SOUTHWEST CORNER OF THIS TRACT AT THE EAST RIGHT-OF-WAY OF IRVING BOULEVARD NW;

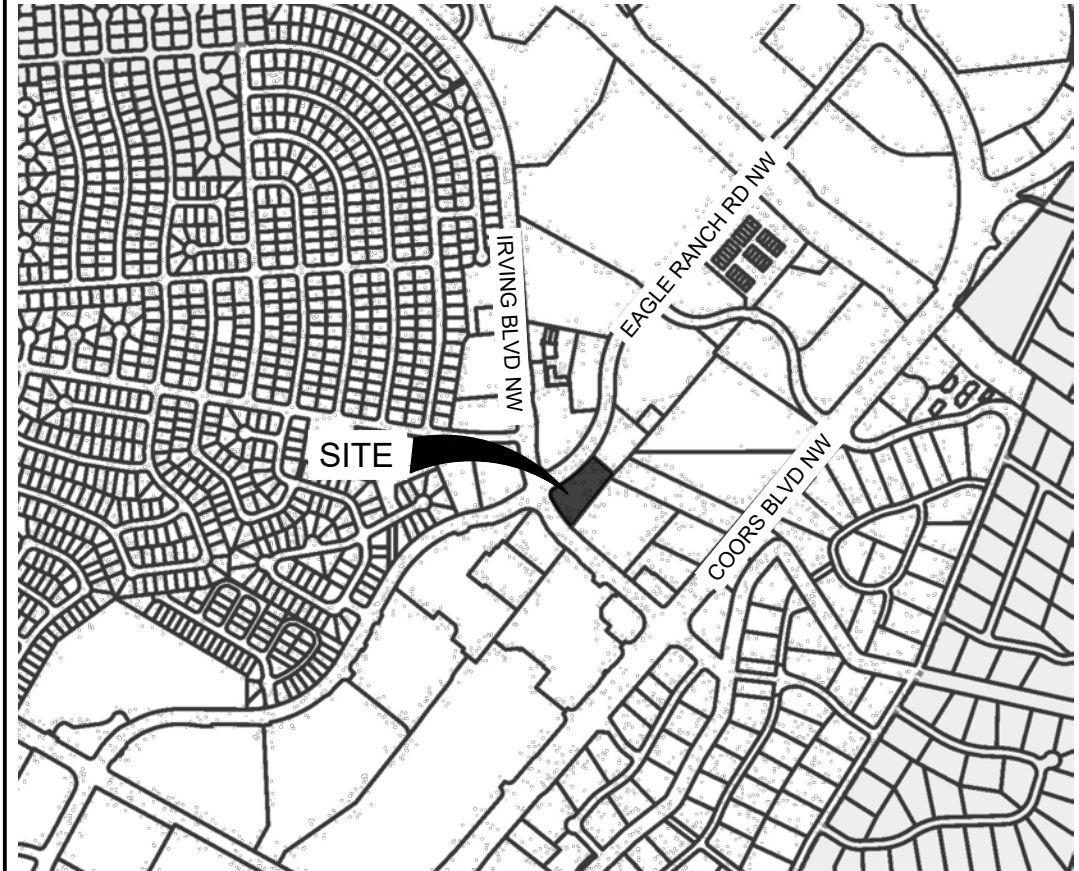
THENCE ALONG THE SAID RIGHT-OF-WAY, AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 786.30 FEET, AN ARC LENGTH OF 205.62 FEET, THROUGH A CENTRAL ANGLE OF 14°58'58" AND WHOSE LONG CHORD BEARS N.34°08'01"W., A DISTANCE OF 205.03 FEET TO A 5/8" IRON ROD SET CAP 23259 FOR THE NORTHWEST CORNER OF THIS TRACT AND THE POINT OF CONTINUOUS CURVATURE;

THENCE AT THE SOUTHERLY RIGHT-OF-WAY OF EAGLE RANCH ROAD NW, AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 40.00 FEET, AN ARC LENGTH OF 58.24 FEET, THROUGH A CENTRAL ANGLE OF 83°25'20" AND WHOSE LONG CHORD BEARS N.14°58'02"E., A DISTANCE OF 53.23 FEET TO A 5/8" IRON ROD SET CAP 23259 FOR THE POINT OF TANGENCY;

THENCE ALONG THE RIGHT-OF-WAY, N.56°40'32"E., 90.11 FEET TO A 5/8" IRON ROD FOUND WITH CAP 11184 FOR A CORNER OF THIS TRACT;

THENCE ALONG THE SAID RIGHT-OF-WAY, AROUND THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 628.00 FEET, AN ARC LENGTH OF 208.05 FEET, THROUGH A CENTRAL ANGLE OF 18°58'55" AND WHOSE LONG CHORD BEARS N.47°11'36"E., A DISTANCE OF 207.10 FEET TO A 5/8" IRON ROD FOUND WITH CAP 11184 FOR A THE NORTHEAST CORNER OF THIS TRACT;

THENCE LEAVING THE SAID RIGHT-OF-WAY, S.49°06'04"E., 161.34 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 1.57 ACRES OF LAND, MORE OR LESS.



BENCHMARK

NGS BENCHMARK REEVES 2  
NORTHING = 1,516,569.77 (NMWSPC)  
EASTING = 1,534,308.56 (NMWSPC)  
ELEVATION = 5076.00  
COMBINED FACTOR = 0.99967343

CONSULTANTS:

**Matrix**  
Excellence by Design  
2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208

**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246  
OWNER/DEVELOPER:

**CIRCLE K**  
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL  
JESSE SULLIVAN  
NEW MEXICO  
27224  
12/22/23  
PROFESSIONAL ENGINEER

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS.  
MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.

VICINITY MAP: NTS

PROJECT:  
**CIRCLE K STORES INC.**

**GRADING & DRAINAGE PLAN**  
9620 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:  
PROJECT NO: 21.1207.001  
DRAWN BY: BL, MR  
DESIGNED BY: RPD  
CHECKED BY: NMS  
SHEET TITLE:

**GRADING PLAN**  
DG01  
SHEET 1 OF 5  
DATE: DECEMBER 2023



FLOOD ZONE:

IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE "X" AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 35001C01086 DATED 09/26/2008



FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\504 CAD\504 PLAN SETS\CONSTRUCTION PLANS\GD\DG02.DWG

## ADA COMPLIANCE NOTE

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ALL WORK (DRIVEWAY, CURB AND GUTTER, SIDEWALK) IN PUBLIC ROW TO FOLLOW CITY OF ALBUQUERQUE STANDARDS

## GRADING NOTES

- |    |  |
|----|--|
| 01 | TIE TO EXISTING. CONTRACTOR TO VERIFY EXISTING LOCATION & ELEVATION.       |
| 02 | 6" DEPRESSED MEDIAN (SPILL) CURB & GUTTER                                  |
| 03 | 6" MEDIAN (CATCH) CURB & GUTTER  |
| 04 | 10' TRANSITION FROM DEPRESSED CURB TO STANDARD CURB                        |
| 05 | ACCESSIBLE PARKING STALL. SLOPE TO BE 2% MAX IN ANY DIRECTION IN THIS AREA |
| 06 | STORMWATER QUALITY POND  |
| 07 | CURB CHASE   |
| 08 | TRENCH DRAIN (REFER TO STORM SHEET-SD01 IN CONSTRUCTION DOCUMENT)          |
| 09 | INLET  |
| 10 | TAPER CURB FROM 6" TO 0" OVER 2'   |

## GRADING LEGEND

- |  |                           |
|--|---------------------------|
|  | PROPOSED CONTOURS         |
|  | EXISTING CONTOURS         |
|  | 6" MEDIAN C & G           |
|  | 6" MEDIAN DEPRESSED C & G |
|  | LIMITS OF GRADING         |
|  | PROPOSED SPOT ELEVATION:  |
|  | EXISTING SPOT ELEVATION:  |

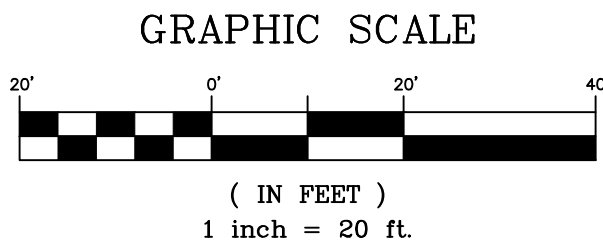
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Know what's below.  
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CONSULTANTS:

**Matrix**  
*Excellence by Design*  
2435 RESEARCH PARKWAY, SUITE  
300 COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208

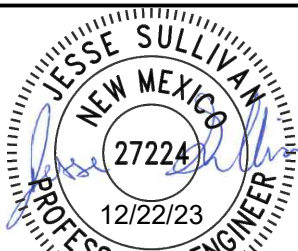
**LAND DEVELOPMENT**  
CONSULTANTS, LLC  
950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:



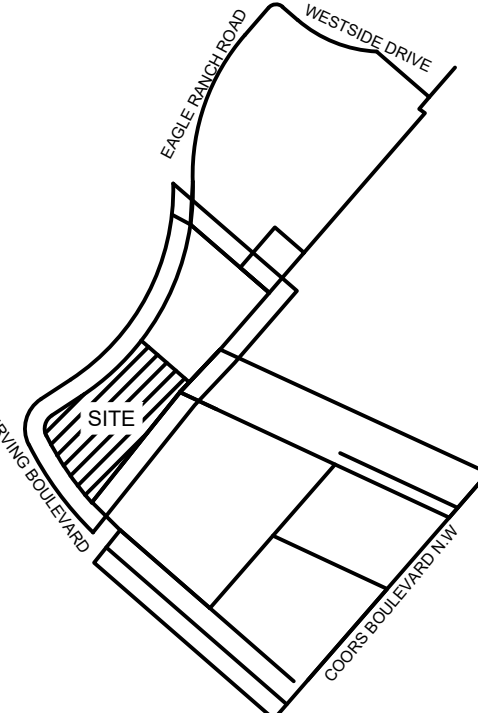
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE  
MOST RECENT PROJECT CONSTRUCTION DOCUMENTS.  
MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR  
CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION  
DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.

VICINITY MAP: NTS



PROJECT:

**CIRCLE K STORES INC.**

**GRADING & DRAINAGE PLAN**

9620 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: BL, MR

DESIGNED BY: RPD

CHECKED BY: NMS

SHEET TITLE:

**DETAILED  
GRADING PLAN**

**DG02**

**SHEET 2 OF 5**

DATE: DECEMBER 2023



FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\500 CADD\504 PLAN SETS\CONSTRUCTION PLANS\DG03.DWG



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Excellence by Design

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PHONE: (719) 575-0100  
FAX: (719) 575-0208



LAND DEVELOPMENT  
CONSULTANTS, LLC

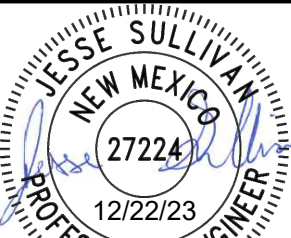
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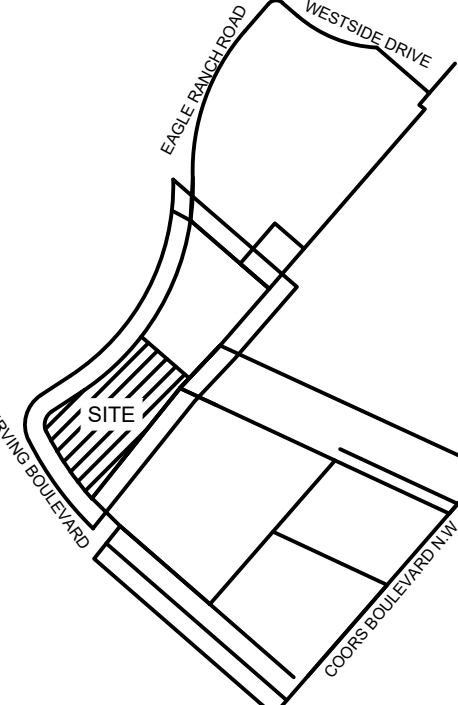
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5500 S. QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL



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CHECKED BY: NMS

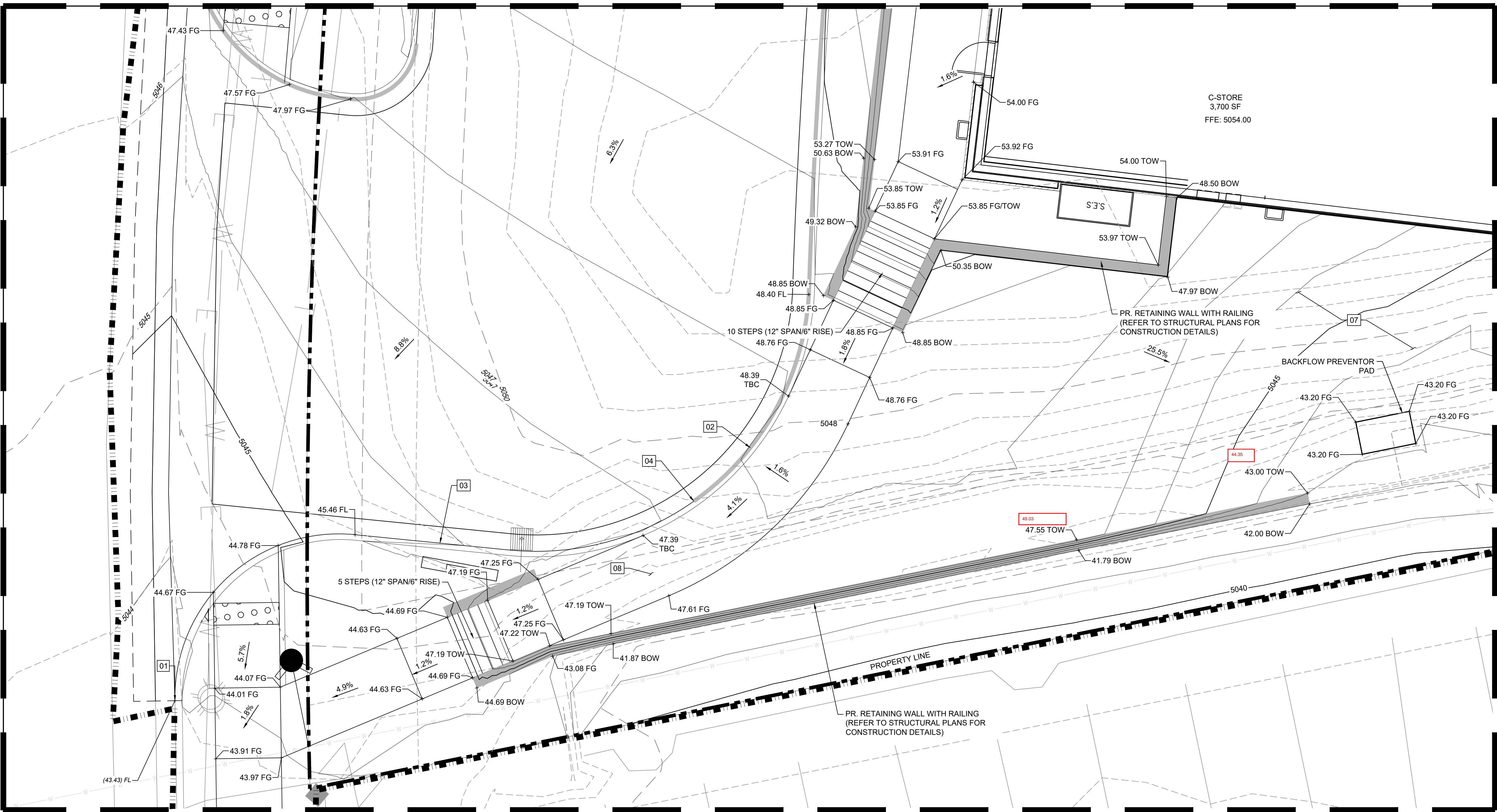
SHEET TITLE:

DETAILED  
GRADING PLAN

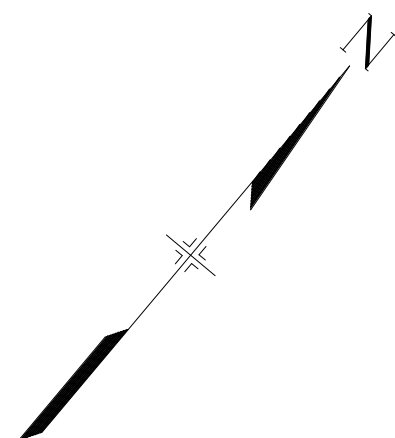
DG03

SHEET 3 OF 5

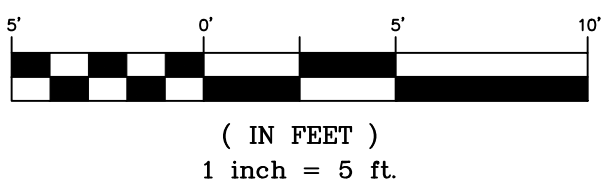
DATE: DECEMBER 2023



INSET A  
SCALE: 1"=5'



GRAPHIC SCALE



DRAINAGE CERTIFICATION

I, KEVIN LARDNER, NMPE 27202, OF THE FIRM MATRIX DESIGN GROUP, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/12/23. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LORENZO E. DOMINGUEZ, NMPS 10461, OF THE FIRM DYNAMIC CONSTRUCTION AND TECHNOLOGY, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 04/29/2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCO.

REVIEW HAS BEEN COMPLETED TO SUBSTANTIATE COMPLIANCE WITH DESIGN INTENT. THIS IS NOT A COMPREHENSIVE AS-BUILT NOR DOES IT CERTIFY ADA COMPLIANCE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

KEVIN LARDNER, NMPE 27202  
06/24/2025

DATE

GRADING NOTES

- TIE TO EXISTING. CONTRACTOR TO VERIFY EXISTING LOCATION & ELEVATION.
- 6" DEPRESSED MEDIAN (SPILL) CURB & GUTTER
- 6" MEDIAN (CATCH) CURB & GUTTER
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- PROPOSED SPOT ELEVATION:
- EXISTING SPOT ELEVATION:

FG = FINISHED GROUND  
FL = FLOWLINE  
TBC = TOP BACK OF CURB  
FFE = FINISHED FLOOR ELEVATION  
GB = GRADE BREAK  
LP = LOW POINT  
TOW = TOP OF WALL  
BOW = BOTTOM OF WALL



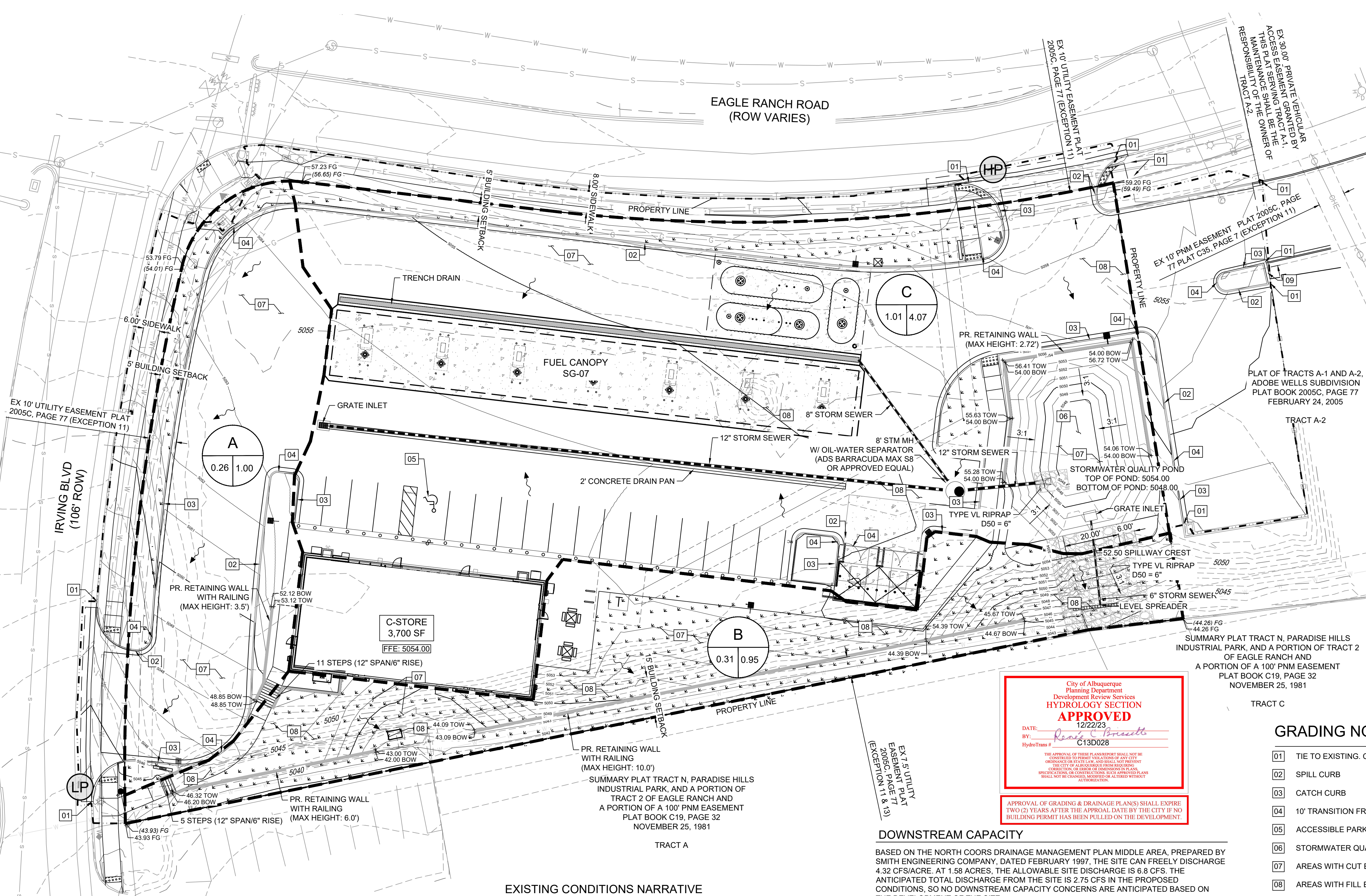
APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

GENERAL GRADING NOTES

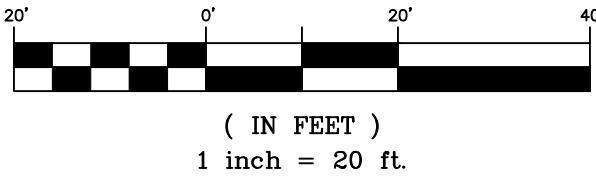
- ALL GRADING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE "GRADING AND EROSION CRITERIA" (REF. CITY OF ALBUQUERQUE, DEVELOPMENT PROCESS MANUAL, ARTICLE 6-4).
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PRIOR TO INSTALLATION OF SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.
- NO GRADING AND/OR SPILLING BEYOND THE CONSTRUCTION LIMITS. ANY SPILLING THAT CAUSES ADVERSE EFFECTS TO THE SLOPES AND/OR OPEN SPACE AREAS SHOULD BE "IMMEDIATELY RESTORED TO ITS NATURAL STATE."



FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\500 CAD\504 PLAN SETS\CONSTRUCTION PLANS\GR02.DWG



GRAPHIC SCALE



### GRADING LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- CONCRETE CATCH CURB
- CONCRETE SPILL CURB
- LIMITS OF GRADING
- PERVIOUS AREA
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION
- PROPOSED SPOT ELEVATION:
- EXISTING SPOT ELEVATION:

BASIN ID  
BASIN AREA [AC]  
100-YR RUNOFF [CFS]

### GRADING NOTES

- TIE TO EXISTING. CONTRACTOR TO VERIFY EXISTING LOCATION & ELEVATION.
- SPILL CURB
- CATCH CURB
- 10' TRANSITION FROM SPILL CURB TO CATCH CURB
- ACCESSIBLE PARKING STALL. SLOPE TO BE 2% MAX IN ANY DIRECTION IN THIS AREA
- STORMWATER QUALITY POND
- AREAS WITH CUT EXCEEDING 1'
- AREAS WITH FILL EXCEEDING 1'
- CURB CHASE

### PONDING AND OUTLET DESIGN

THE WATER QUALITY POND WILL CAPTURE FLOWS FROM THE MAJORITY OF THE SITE AND MANAGE THE STORMWATER QUALITY VOLUME (SWQV). THE REQUIRED SWQV IS 0.042 AC-FT. THE DESIGNED POND VOLUME IS 0.124 AC-FT. SEE SWQV CALCULATION BELOW:

STORMWATER QUALITY VOLUME	
1.20	impervious area [ac]
0.42	inches (for new development site)
1,829.5	SWQV [cf]
0.042	SWQV [ac-ft]

THE SWQV IS ANTICIPATED TO INFILTRATE THROUGH THE POND BOTTOM DUE TO THE SANDY SOILS. BASED ON THE INFILTRATION RATE (5 MINUTES PER INCH) DETERMINED IN THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 21, 2021, THE SWQV DRAINS IN 2.31 HOURS. TO BE CONSERVATIVE, A DRAIN TIME OF 7 HOURS IS ASSUMED.

THE POND INCLUDES A GRATE INLET SET AT 5051.9, ABOVE THE MAXIMUM SWQV WATER SURFACE ELEVATION (5050.40). THE GRATE INLET ROUTES FLOWS, VIA A 6" STORM SEWER AND LEVEL SPREADER, TO THE SOUTHEASTERN PROPERTY LINE.

IN THE EVENT THAT THE POND OVERTOPS, THE FLOW WILL BE ROUTED VIA AN EMERGENCY SPILLWAY AND SOIL RIPRAP RUNDOWN TO THE SOUTHEASTERN PROPERTY LINE. THE SPILLWAY CREST ELEVATION IS SET AT 5052.5.

### EXISTING CONDITIONS NARRATIVE

THE EXISTING SITE IS PREDOMINATELY UNDISTURBED SANDY SOIL, MODERATELY VEGETATED WITH VARIOUS SHRUBS AND GRASSES. GENERAL EXISTING TOPOGRAPHY OF THE SITE, AND WITHIN 100 FEET OF THE PROPERTY LINE, SLOPES TO THE SOUTHEAST AT ABOUT 5-8%. AN EXISTING EARTHEN WALL RUNS NEAR AND PARALLEL TO THE SOUTHEAST PROPERTY LINE.

THE MAJORITY OF THE SITE (BASIN EX-B) DRAINS TO THE SOUTHEAST PROPERTY LINE AND ONTO THE ADJACENT PROPERTY. THE REMAINDER OF THE SITE (BASIN EX-A) DRAINS TO IRVING BOULEVARD AND IS ROUTED TO THE SOUTHEAST VIA EXISTING CURB AND GUTTER.

### DOWNSTREAM CAPACITY

BASED ON THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA, PREPARED BY SMITH ENGINEERING COMPANY, DATED FEBRUARY 1997, THE SITE CAN FREELY DISCHARGE 4.32 CFS/ACRE. AT 1.58 ACRES, THE ALLOWABLE SITE DISCHARGE IS 6.8 CFS. THE ANTICIPATED TOTAL DISCHARGE FROM THE SITE IS 2.75 CFS IN THE PROPOSED CONDITIONS, SO NO DOWNSTREAM CAPACITY CONCERNS ARE ANTICIPATED BASED ON THE DEVELOPMENT OF THE SITE.

FURTHERMORE, AS SHOWN IN THE EXISTING CONDITIONS GRADING PLAN, MOST OF THE EXISTING SITE RUNOFF (Q100 = 3.88 CFS) FLOWS ONTO THE ADJACENT SITE TO THE SOUTHEAST. BASED ON STREET VIEW AND SATELLITE IMAGERY, IT APPEARS THE ADJACENT PROPERTY CAN HANDLE THE OFFSITE FLOW WITHOUT EXPERIENCING PROPERTY DAMAGE. THE ANTICIPATED RUNOFF FROM THE SITE IN THE PROPOSED CONDITIONS IS SIGNIFICANTLY LOWER, THEREFORE, NO DOWNSTREAM CAPACITY CONCERNS ARE ANTICIPATED BASED ON THE DEVELOPMENT OF THIS SITE.

### PROPOSED CONDITIONS NARRATIVE

THE PROPOSED SITE WILL TYPICALLY DRAIN FROM NORTHWEST TO SOUTHEAST. THE MAJORITY OF SITE RUNOFF (FROM BASIN C) WILL BE ROUTED, VIA CONCRETE PANS AND STORM SEWER, TO THE PROPOSED WATER QUALITY POND IN THE NORTHEAST PORTION OF THE SITE.

RUNOFF FROM BASIN A (Q100 = 1.00 CFS) WILL FLOW SOUTH/SOUTHEAST TO IRVING BOULEVARD. THE ANTICIPATED 100-YEAR FLOW IS SIGNIFICANTLY LESS THAN THE ALLOWABLE DISCHARGE (6.8 CFS), THEREFORE, NO DOWNSTREAM IMPACTS ARE ANTICIPATED.

RUNOFF FROM BASIN B (Q100 = 0.95 CFS) WILL FLOW SOUTHEAST TO THE SOUTHEASTERN PROPERTY LINE, WHERE IT ENTERS THE ADJACENT PROPERTY. THE ANTICIPATED 100-YEAR FLOW IS SIGNIFICANTLY LESS THAN THE EXISTING RUNOFF (EXQ100 = 3.88 CFS) TO THE SOUTHEASTERN PROPERTY LINE, THEREFORE NO DOWNSTREAM IMPACTS ARE ANTICIPATED.

RUNOFF FROM BASIN C (Q100 = 4.07 CFS, POND DISCHARGE Q100 = 0.80 CFS) IS ROUTED VIA CONCRETE PANS AND STORM SEWER TO THE WATER QUALITY POND LOCATED IN THE NORTHEAST PORTION OF THE SITE. THE POND IS DESIGNED TO INFILTRATE THE STORMWATER QUALITY VOLUME (SWQV), TAKING ADVANTAGE OF THE EXISTING SANDY SOILS FOUND ON-SITE. THE POND INCLUDES A GRATE INLET SET AT AN ELEVATION ABOVE THE SWQV WATER SURFACE ELEVATION. THE GRATE INLET WILL DISCHARGE (Q100 = 0.80 CFS) VIA A 6" STORM SEWER, TO THE SOUTHEASTERN PROPERTY LINE. A LEVEL-SPREADER WILL DISSIPATE THE FLOW FROM THE STORM SEWER IN ORDER TO MITIGATE THE EROSION EFFECT OF CONCENTRATED FLOWS. IN THE EVENT THAT THE POND OVERTOPS, THE STORMWATER WILL BE ROUTED VIA AN EMERGENCY SPILLWAY AND SOIL RIPRAP RUNDOWN TO THE SOUTHEASTERN PROPERTY LINE. THE ANTICIPATED 100-YEAR FLOW ROUTED THROUGH THE POND IS SIGNIFICANTLY LESS THAN THE EXISTING 100-YEAR RUNOFF THAT FLOWS ONTO THE SOUTHEASTERN PROPERTY LINE (EXQ100 = 3.88 CFS). THEREFORE, NO DOWNSTREAM IMPACTS ARE ANTICIPATED. NOTE THAT THE RUNOFF FROM BASINS B AND C ARE NOT COMBINED BECAUSE THE PEAK FLOWS FROM EACH BASIN WILL EXIT THE SITE AT DIFFERENT TIMES DUE TO THE TIME THE POND TAKES TO FILL UP TO THE LEVEL OF THE GRATE INLET.

EXISTING CONDITIONS RUNOFF SUMMARY (RATIONAL METHOD)									
BASIN ID	Area [ac]			100 yr, 6-hr Excess Precipitation, E*		100-yr-Prak Discharge [cfs/ac]**		Peak Discharge	
	Land Treat. C	Land Treat. D	Total	Land Treat. C	E [in]	Land Treat. C	Land Treat. D	[cfs]	Notes
EX-A	0.22	0.00	0.22	0.95	2.24	0.95	2.87	0.64	Flows overland to Irving Blvd curb & gutter
EX-B	1.35	0.00	1.35	0.95	2.24	0.95	2.87	3.88	Flows overland to Southern Property line
Total	1.58	0	1.58		1.90			4.52	

\*Values per DPM Table 6.2.13.

\*\*Values per DPM Table 6.2.14.

PROPOSED CONDITIONS RUNOFF SUMMARY (RATIONAL METHOD)									
Basin ID	Area [ac]			100-yr, 6-hr Excess Precipitation, E*		100-yr Peak Discharge [cfs/ac]**		Peak Discharge	
	Land Treat. C	Land Treat. D	Total	Land Treat. C	E [in]	Land Treat. C	Land Treat. D	[cfs]	Notes
A	0.05	0.21	0.26	0.95	2.24	1.98	2.87	1.00	Flows routed via onsite curb and gutter to Irving Blvd. curb and gutter.
B	0.25	0.06	0.31	0.95	2.24	1.18	2.87	0.95	Flows overland to southern property line.
C	0.08	0.94	1.01	0.95	2.24	2.14	2.87	4.12	Flows routed via concrete pans and storm sewer to WQ infiltration pond.
Total	0.38	1.20	1.58		5.31			0.80	Flows routed through grate inlet in pond and 6" storm sewer discharges to southeastern property line through level spreader.

\*Values per DPM Table 6.2.13.

\*\*Values per DPM Table 6.2.14.

CONSULTANTS:



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950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:



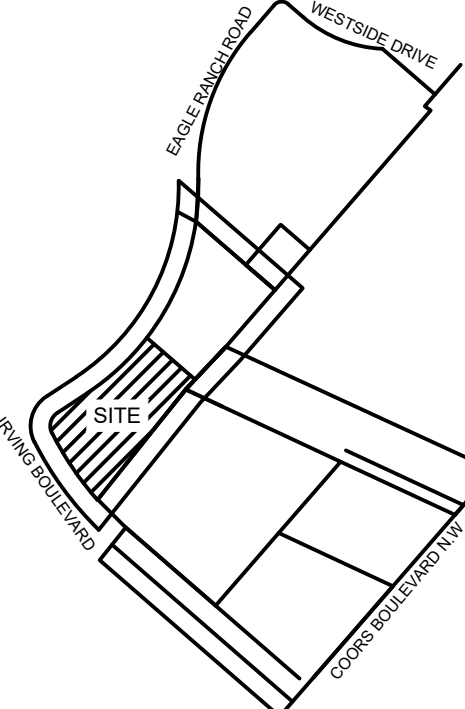
ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

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VICINITY MAP: NTS



PROJECT:

CIRCLE K STORES INC.

### GRADING & DRAINAGE PLAN

9620 EAGLE RANCH ROAD NW  
GRADING & DRAINAGE PLAN

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO: 21.1207.001

DRAWN BY: RPD

DESIGNED BY: NMS

CHECKED BY:

SHEET TITLE:

## DRAINAGE PLAN

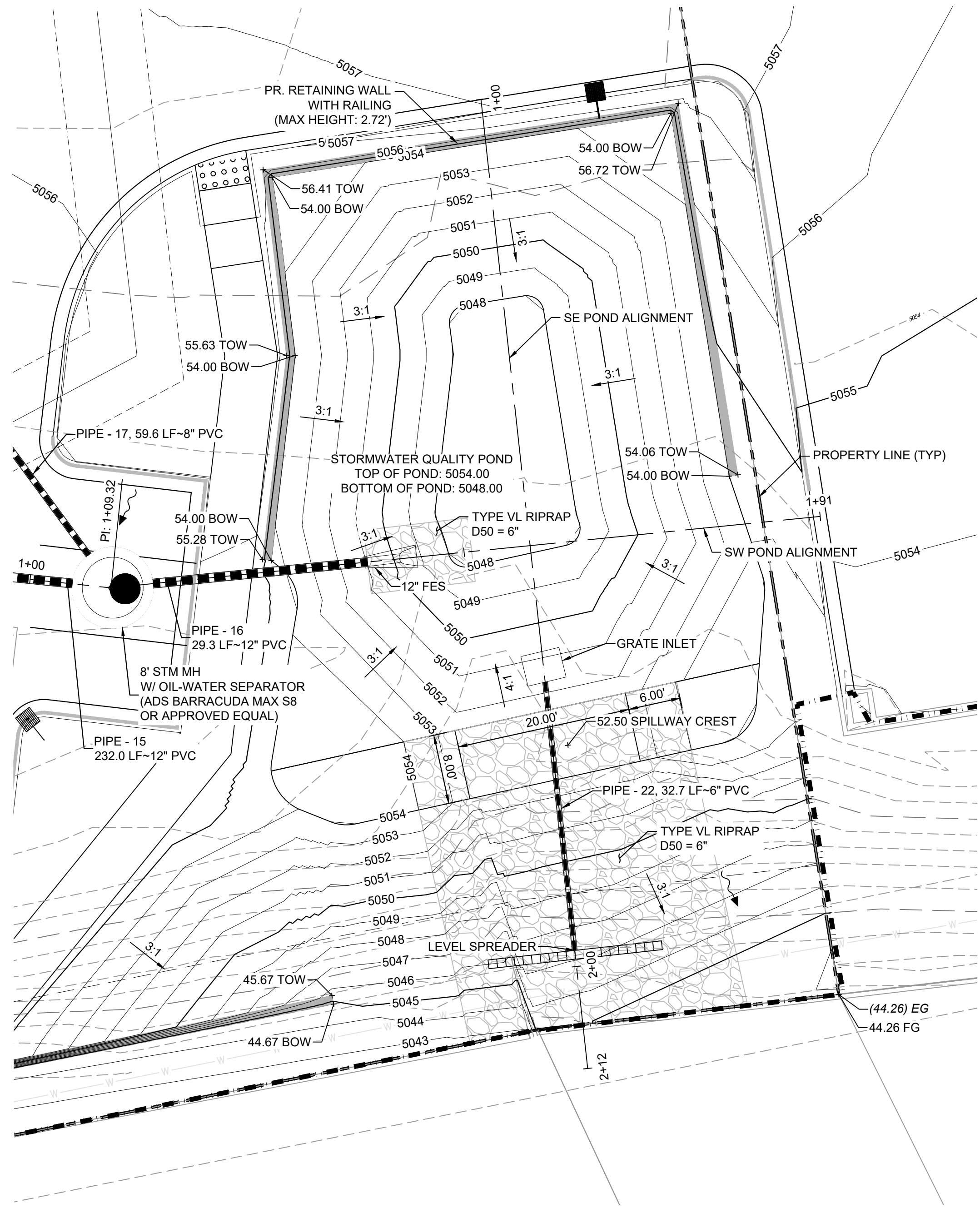
GR02

SHEET 4 OF 5

DATE: DECEMBER 2023

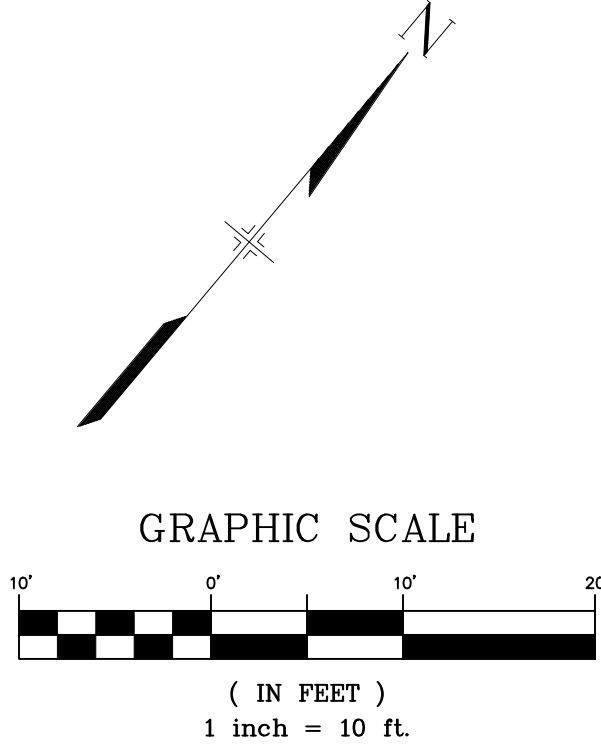


FILE LOCATION: S:\CIRCLE K\IRVING & EAGLE RANCH\500 CADD\504 PLANS\CONSTRUCTION PLANS\GR03.DWG

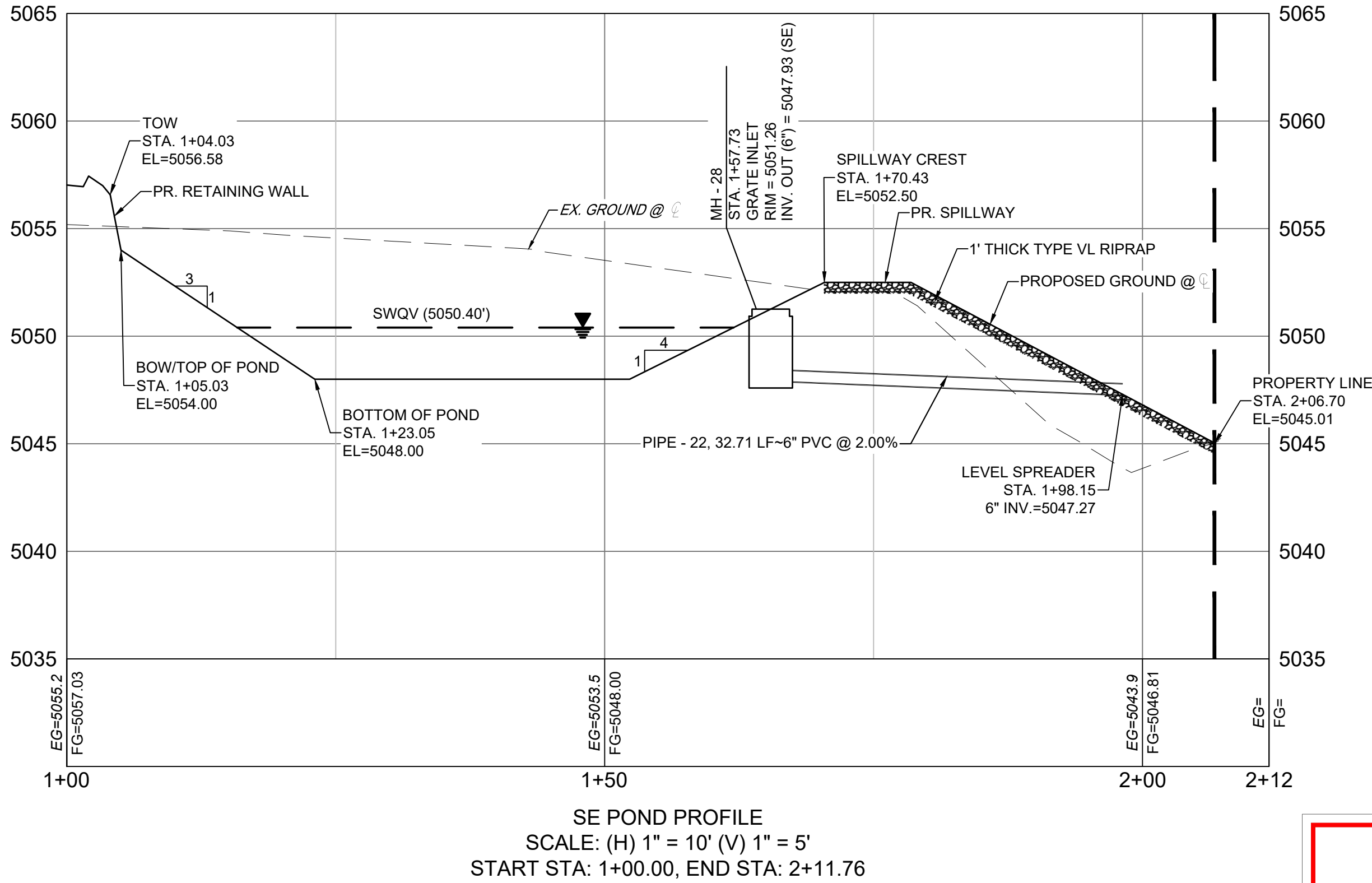


### GRADING LEGEND

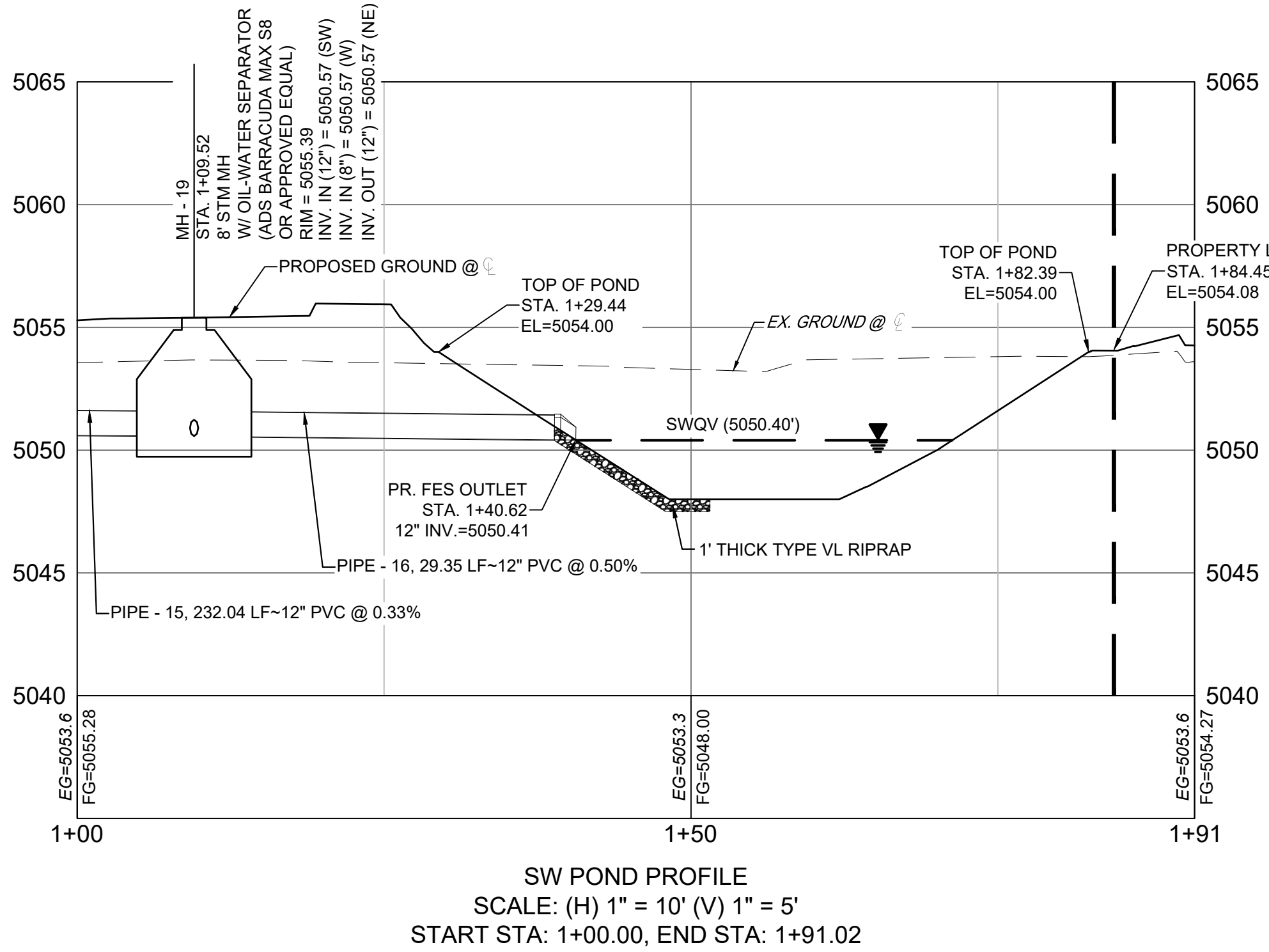
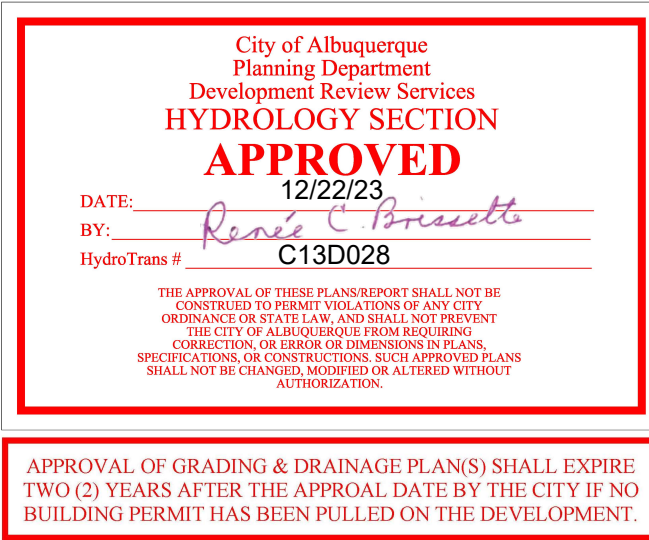
- PROPOSED CONTOURS
- EXISTING CONTOURS
- CONCRETE CATCH CURB
- CONCRETE SPILL CURB
- LIMITS OF GRADING
- FLOW DIRECTION
- PROPOSED SPOT ELEVATION: XX.XX



NOTE:  
1. REFERENCE CONSTRUCTION DOCUMENTS SHEET SD01 AND DT03 FOR STORM INFORMATION



SE POND PROFILE  
SCALE: (H) 1" = 10' (V) 1" = 5'  
START STA: 1+00.00, END STA: 2+11.76



SW POND PROFILE  
SCALE: (H) 1" = 10' (V) 1" = 5'  
START STA: 1+00.00, END STA: 1+91.02



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LAND DEVELOPMENT  
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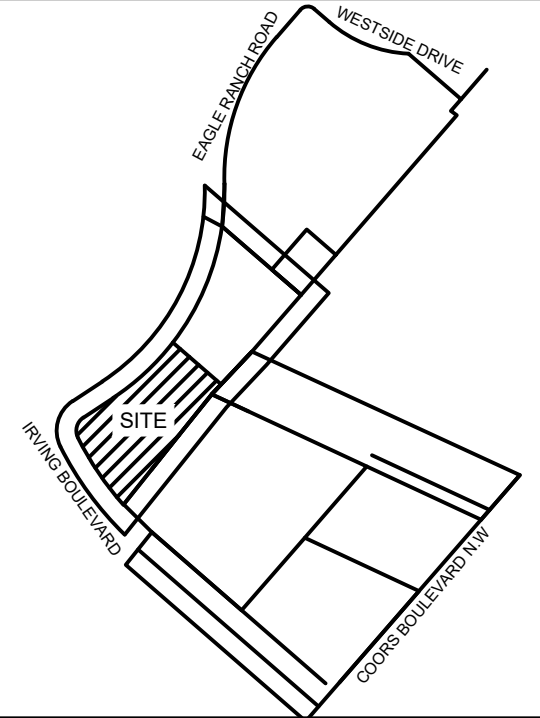
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VICINITY MAP: NTS



PROJECT:

CIRCLE K STORES INC.

GRADING & DRAINAGE PLAN

9620 EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO:	21.1207.001
DRAWN BY:	RPD
DESIGNED BY:	NMS
CHECKED BY:	

SHEET TITLE:

STORMWATER  
QUALITY POND  
PLAN & PROFILE

GR03

SHEET 5 OF 5

DATE: DECEMBER 2023