

From: [Richard Dobbs](#)
To: [Georgia Kofoed](#); [web@cornerpostal.com](#)
Cc: [Sofia Hernandez](#); [Nick Barber](#); [richard@sunCountryPlaza.com](#)
Subject: Re: Circle K - 9610 Eagle Ranch Rd NW
Date: Wednesday, April 24, 2024 2:13:04 PM
Attachments: [image001.png](#)

Project Circle-K at : 9610 Eagle Ranch Rd. Albuquerque, NM 87114

Subject: If your project at: 9610 Eagle Ranch road does not work out, I would be interested in buying the property.

I approve of your project... but if it does not work out, I would be interested in buying the land.

I own the property east of it and it would expand my investment

Richard Dobbs

Managing member, QMD LLC

Owner of 4349 Irving Blvd. NW, Alb. NM 87114

On 4/23/2024 4:47 PM, Georgia Kofoed wrote:

Hello Mr. Dobbs-

Thank you so much for your time on the phone just now.

As discussed, CABQ is requesting that Circle K receive your permission to regarding the proposed construction of a sidewalk and ramp that will be done in front of your property.

This work will be taking place along Irving Boulevard, in the northwest corner of your property just to the south of the Circle K site.

I have attached a Site Plan showing the approximate area in front of your property clouded in green.

Also attached is an adjacent owner map which shows the approximate area in front of your property, clouded in green.

Please call with any questions.

If you agree that Circle K can perform this work in front of your property, please reply in the affirmative to this email.

Thank you!



Georgia Kofoed | Land Development Consultants

Cell | 720.810.3516 Office | 303.717.3305

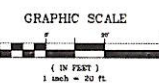


Matrix
Excellence by Design
2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80909
PHONE: (719) 575-0100
FAX: (719) 575-0098

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LAND DEVELOPMENT
CONSULTANTS LLC
800 S. CHERRY STREET, SUITE 512
DENVER, CO 80245
OWNER/DEVELOPER

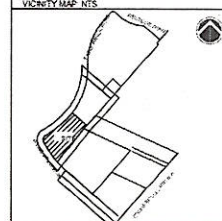


ROCKY MOUNTAINS DIVISION
5500 S. QUEVEDO STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111



SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE
MOST RECENT PROJECT CONSTRUCTION DOCUMENTS FOR
CHANGES, ALTERNATIVES OR USE OF CONSTRUCTION
DOCUMENTS PRIOR TO CONSTRUCTION APPROVAL.



PROJECT
CIRCLE K STORES INC

CONSTRUCTION DOCUMENTS
CIRCLE K

9620 EAGLE RANCH ROAD NW
ALBUQUERQUE, NM 87114

REVISION HISTORY		
NO.	DATE	DESCRIPTION

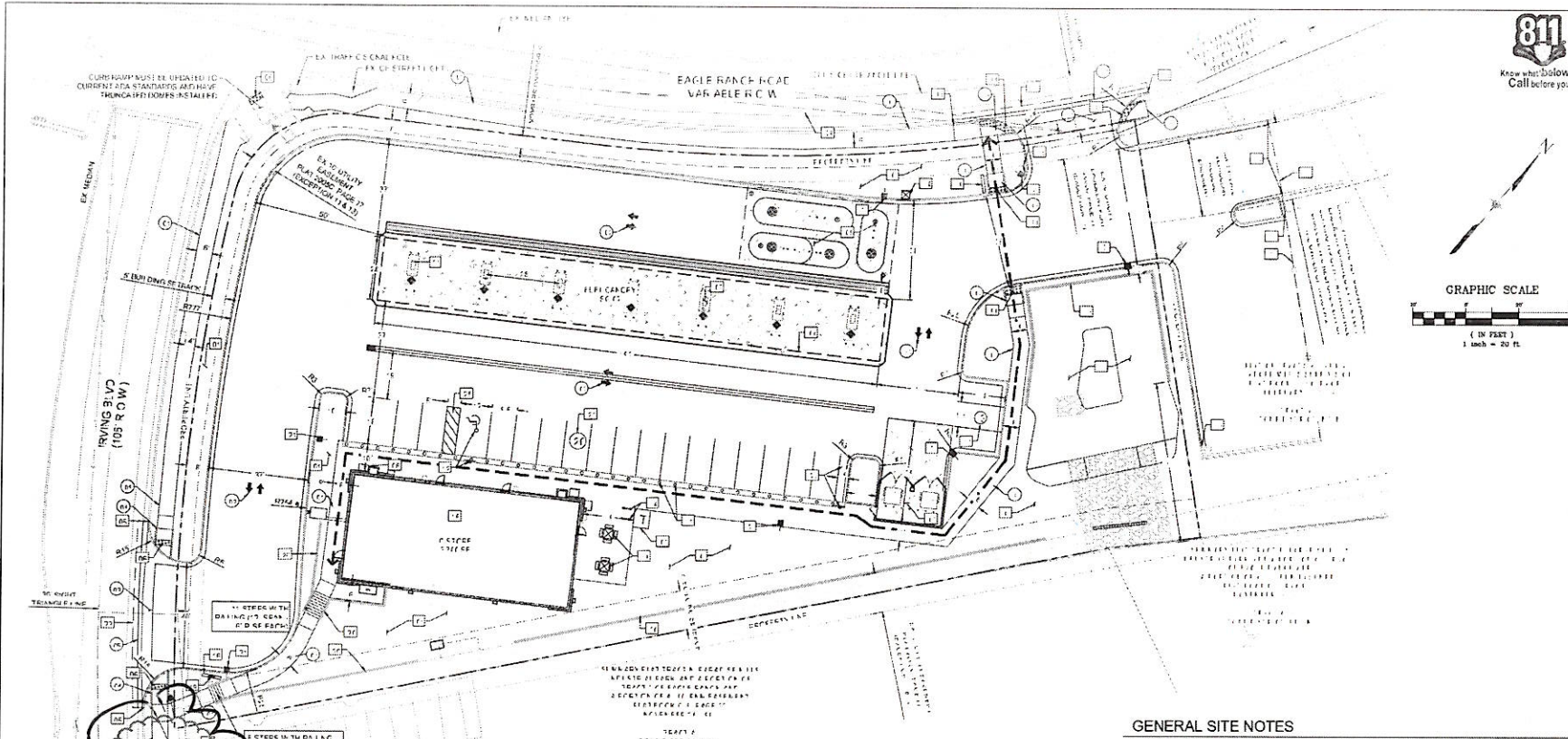
DESIGN INFORMATION
PROJECT NO.: 21197 RM
DRAWN BY: JR
DESIGNED BY: RPD
CHECKED BY: NMS
SHEET TITLE

SITE PLAN

SP01

SHEET 5 OF 30

DATE: JULY 2022



LEGAL DESCRIPTION

TRACT A-1 AS SHOWN ON THE PLAT OF PLAT OF TRACTS A-1 AND A-2
ADORE WELLS SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY
CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 24, 2005
IN PLAT BOOK 2055C, PAGE 17, AS DOCUMENT NO. 200500221

PROPOSED LEGEND

- PROPERTY LINE
- 6" MEDIAN CONCRETE CURB & GUTTER (CATCH)
- 6" DEEPRESSED MEDIAN CONCRETE CURB & GUTTER (SPILL)
- PROPOSED PARKING SPACES
- ADA ACCESSIBLE PEDESTRIAN PATHWAY

ADA COMPLIANCE NOTE

ALL EXISTING AND PROPOSED SIDEWALKS,
BARRIER FREE RAMPS, HANDICAP PARKING, DRIVEWAY
CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL
COMPLY WITH A.D.A. AND CITY OF ALBUQUERQUE
REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING
SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

SITE DETAILS

- CONCRETE SIDEWALK (REF DETAIL 2430, SHEET 18)
- TRAFFIC FLOW ARROW (REF SHEET 20)
- DRIVEWAY APPROACH PER COA
DETAILS (REF DETAIL 2425, SHEET 18)
- PEDESTRIAN RAMP PER COA DRAWINGS
(REF DETAIL 2240, SHEET 18 & DETAIL 2443, SHEET 19)
- CONCRETE VALLEY GUTTER (REF DETAIL 2420, SHEET 18)

PARKING REQUIREMENTS	
PARKING REQUIRED:	CONVENIENCE STORE (3,000 SF), 72 PARKING SPACES ACCESSIBLE PARKING SPACE: 1.00 ACCESSIBLE PARKING SPACE TOTAL PARKING REQUIRED: 73 PARKING SPACES (STANDARD: 2116.54/581)
PARKING PROVIDED:	207 SQUARE FEET W/ ACCESSIBILITY MULTIPLE LEVELS TOTAL PARKING PROVIDED: 73 BUILT-IN PARKING PROVIDED: 31 (72% FOR EACH LEVEL SPACE) BUILT-IN PARKING PROVIDED: 31 (72% FOR EACH LEVEL SPACE)

SITE NOTES

- LANDSCAPE AREA (PER LANDSCAPE PLANS)
- TRANSFORMER PAD (PER ELEC CO AND/OR ARCH PLANS)
- TRASH ENCLOSURE (PER ARCH PLANS)
- OVERHEAD CANOPY (TYP PER ARCH PLANS)
- TAPER CURB TO MATCH EXISTING
- 2" WIDE DE TESTABLE VARIING MEETING COA REQUIREMENTS (REF DETAIL 2444, SHEET 19)
- FUEL PUMP (PER ARCH PLANS)
- CO2 ENCLOSURE (PER ARCH PLANS)
- UNDERGROUND FUEL TANKS (PER ARCH PLANS)
- AIR & WATER UNIT (PER ARCH PLANS)
- VENT FRIES (PER ARCH PLANS)
- ACCESSIBLE PARKING STALL (ISA SYMBOL AND SIGNAGE) (PER ARCH PLANS)
- PIKE BOLLARDS (PER ARCH PLANS)
- BICYCLE RACKS (EACH UNIT ACCOMMODATES 2 BICYCLES OR CYCLE SAFE URBAN OR APPROVED EQUIV) (PER ARCH PLANS)
- CONVENIENCE STORE (3,750 SF)
- MONUMENT SIGN
- STORMWATER QUALITY POND
- SEATING AREA WITH TWO SQUARE PAVEMENT TABLES
- FUEL DISPENSER DIRECTIONAL SIGN
- RETAINING WALL
- PROPOSED LIGHT POLE (PER ARCH PLANS)
- PAVEMENT SAVOUT LINE
- PARKING SPACES
- MOTORCYCLE PARKING SPACES "NO" PAVEMENT MARKING AND SIGNAGE (REF ARCH PLANS)
- "NO PARKING" PAVEMENT MARKING PER 90-14.1, 8/1/2016
- CLEAR SIGHT TRIANGLE

I APPROVE EXTENDING New Side walk To west curb of
4349 Irving Drive
Richard Dobb, President, QMD, LLC APR 1.24, 2024.