

CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

April 2, 2018

Jonathan Niski, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Primrose School
Grading Plan
Engineer's Stamp Date: No Date
Hydrology File: C13D029**

Based upon the information provided in your submittal received 03/21/2018, the Grading Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please provide an engineer's stamp with a signature and date.
2. Please provide a drainage report that supports the proposed design with street capacity and all supporting drainage calculations. This report should reflect my comments instead of a regurgitated report from the previous design.
3. Since the site drains into an AMAFCA facility, approval by AMAFCA will be need prior to Hydrology approval. Please contact Nicole Friedt, PE at (505) 884-2215 or nfriedt@amafca.org.
4. Proposed drainage swale within Paseo Del Norte Right-of-Way requires an approval from New Mexico Department of Transportation prior to the City's approval.
5. Please add a note, "Prior to any work within Paseo Del Norte Right-of-Way, a New Mexico Department of Transportation (NMDOT) permit will be required."
6. Please check the angle of repose for the proposed retaining wall with respect to the adjacent property. Per DPM Ch. 22.5.B, grading and construction of retaining walls at or near the property line must demonstrate that the adjacent property is not damaged or its use constrained. Any such encroachment by the wall or grading must be accompanied by written permission of both landowners.

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7. Please show existing top of curb information along Paseo Del Norte at least at 50 feet apart.
8. Please show the existing drop inlet drainage information within Paseo Del Norte.
9. Please provide proposed elevations at both edges of the 10 ft asphalt trail, top of bank, flow line, and top of bank at 50 feet intervals along the southern property line.
10. There are missing grades within the proposed parking areas. Please provide them.
11. Please indicate if the proposed spot elevations within the proposed parking area are the top of curb or flow line information.
12. What is the purpose of the 20' Drivable grass? If it is for fire protection, then the firetrucks can only drive on a 2% max slope. Please fix.
13. Please correct the first flush calculation to 2,234 CF instead of 2.234 CF.
14. Please provide the weir calculation for the 3 ft curb cut.
15. Please provide a typical section of the 3 ft cobble swale.
16. Please provide proposed top of curb along Paradise Blvd.
17. When providing for the street capacity calculations, please emulation existing conditions just upstream of the site. The church gave 20 ft to the R.O.W. so at this location it is 106 ft then at the site becomes 86 ft. How is this transition of drainage being handled?

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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18.

The church site has a point discharge into Paradise Blvd which I do not think that you have taken into account.

19.

The proposed drainage swale and culverts within the 20 ft drainage easement collects public water, so therefore this needs to meet City Standards. Currently this does not meet them. The correct drainage solution for the street capacity overflow is to add public inlets and pipe that can handle the 54.11 cfs needed and have this pipe discharge into the existing detention pond. By having inlets and a storm pipe system will also alleviate the limited capacity of the existing concrete rundown.

20.

Please provide a section from Paradise Blvd through the LID pond to Paseo Del Norte.

21.

Please fix the outfall spillway for the LID pond. This should outfall into the street of Paradise at a proper angle so that the drainage is directed to the existing concrete rundown.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Primrose School **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract A-1 of Tract A, Unit 2, Albuquerque West
City Address: 4550 Paradise Blvd. NW Albuquerque NM 87114

Applicant: Tierra West, LLC **Contact:** Jonathan Niski
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** jniski@tierrawestllc.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

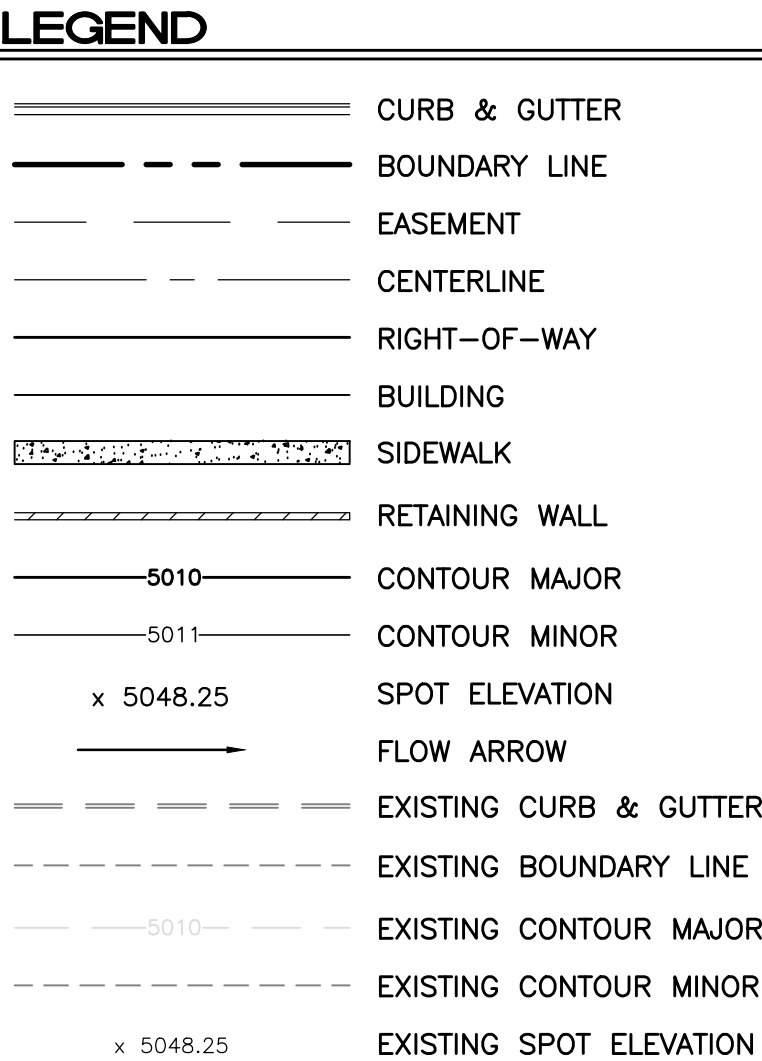
PRE-DESIGN MEETING?

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 3-21-18 **By:** Jonathan Niski

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE WEST TO EAST. IT IS BOUND BY PASEO DEL NORTE ON THE SOUTH AND EAST, PARADISE BOULEVARD ON THE NORTH AND AN EXISTING BUILDING ON THE WEST AND CONTAINS APPROXIMATELY 3.48 ACRES. THE STORM WATER FROM THIS SITE FLOWS INTO PARADISE BOULEVARD AND CONTINUES EAST TO A POND LOCATED BEHIND THE MOVIE THEATER. FROM THERE THE WATER IS CONVEYED TO AN AMAFCA POND LOCATED ON THE EAST SIDE OF COORS BOULEVARD. THE SITE FALLS WITHIN THE NORTH COORS DRAINAGE MANAGEMENT PLAN MIDDLE AREA AND THE EXISTING AMAFCA POND IS SIZED TO ACCEPT DEVELOPED FLOWS FROM THIS SITE.

THE SITE IS DIVIDED UP INTO THREE ON-SITE BASINS AND WILL CONTINUE TO FLOW TO THE EAST. STORM WATER WILL BE DIRECTED TO DRAIN THROUGH LANDSCAPE ISLANDS AND INTO LOW IMPACT DEVELOPMENT PONDS LOCATED THROUGHOUT THE SITE TO COMPLY WITH THE WATER HARVESTING REQUIREMENTS. EXCESS STORM WATER WILL CONTINUE TO FLOW TO THE EXISTING POND BEHIND THE MOVIE THEATER AT THE END OF PARADISE BOULEVARD AND EVENTUALLY DRAIN TO THE AMAFA POND THAT IS SIZED TO ACCEPT THE DEVELOPED FLOWS FROM THIS SITE.

BASIN 1 WILL DISCHARGE 2.18 CFS INTO PARADISE BLVD THROUGH THE WEST ENTRANCE. BASIN 2 WILL DISCHARGE 0.76 CFS AT THE END OF PARADISE BLVD THROUGH A LID POND AND A PROPOSED THREE FOOT CURB OPENING. BASIN 3 WILL DISCHARGE 8.57 CFS INTO PARADISE BLVD THROUGH LID PONDS AND THE EAST ENTRANCE.

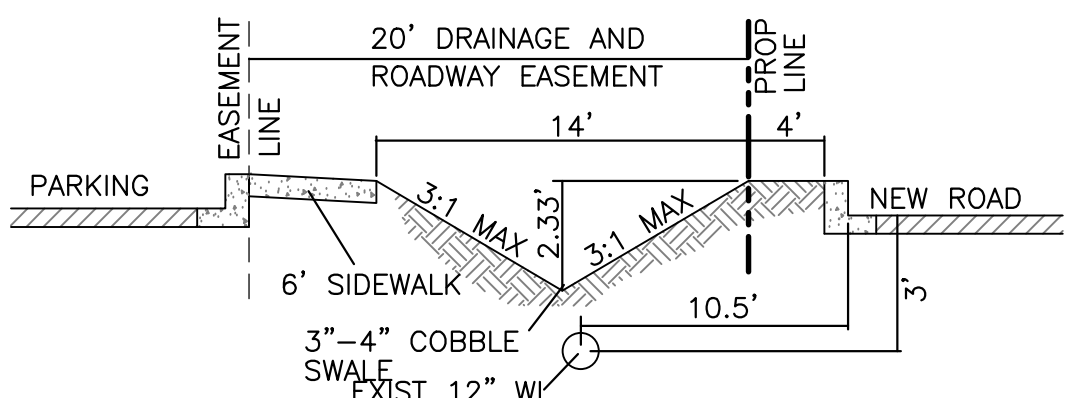
THE SITE IS SET UP TO RETAIN THE "FIRST FLUSH" VOLUME WHICH TOTALS 0.051 AC-FT FOR THE SITE. A TOTAL OF 0.179 AC-FT OF PONDING IN THE LID PONDS IS PROVIDED.

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS

SECTION B-B

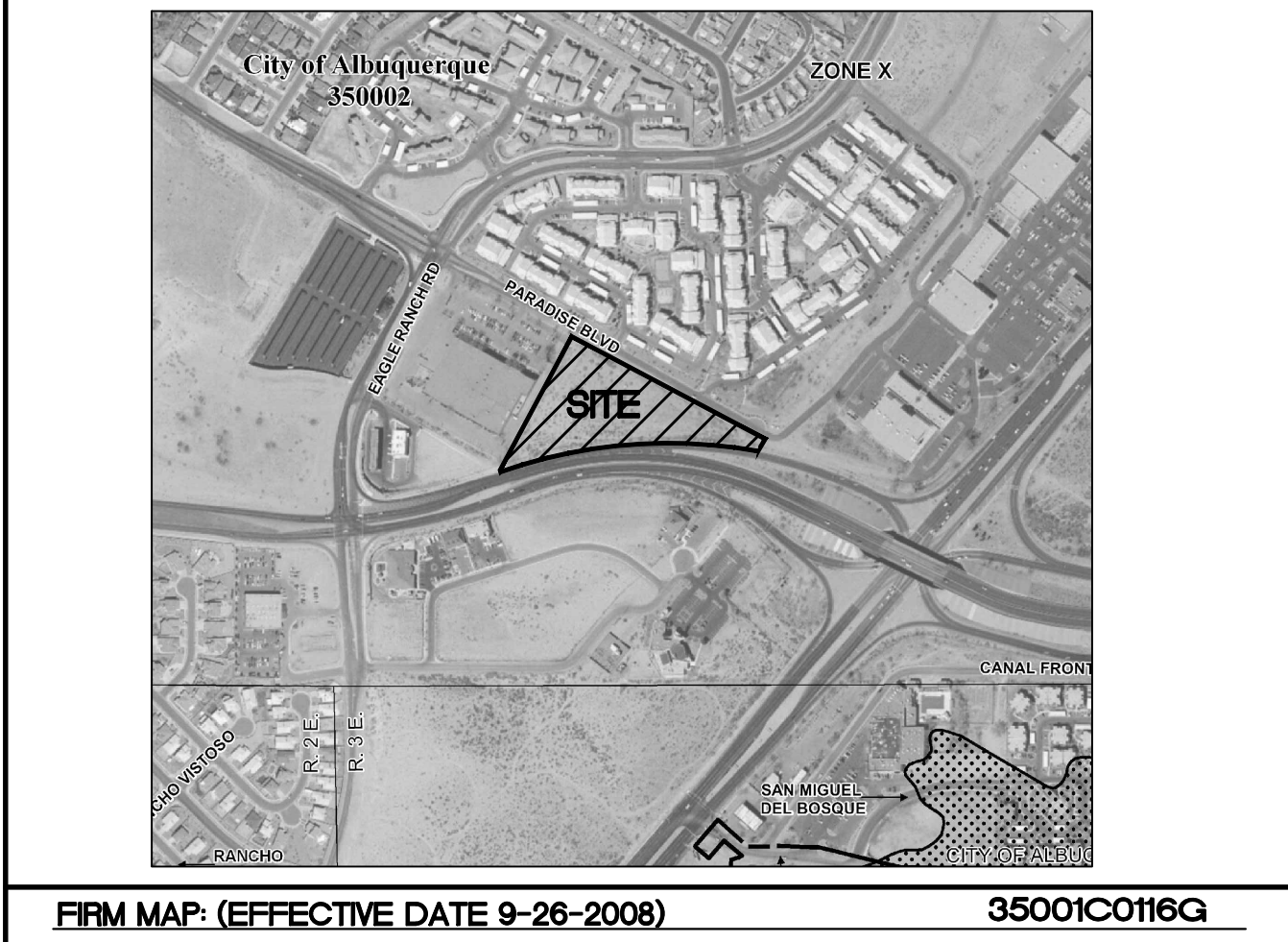
SECTION C-C

SECTION D-D




FIRST FLUSH CALCULATION
 $78844 \text{ SF} \times 0.34"/12" = 2.234 \text{ CF}$
 $= 0.051 \text{ AC-FT}$

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



PROPOSED BASIN MAP

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION AT ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ENGINEER'S SEAL	PRIMROSE SCHOOL OF NW ALBUQUERQUE	DRAWN BY pm
		DATE 3-20-18
	GRADING PLAN	DRAWING
		 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com
RONALD R. BOHANIVAN P.E. #7868		SHEET # 4 JOB # 2017092