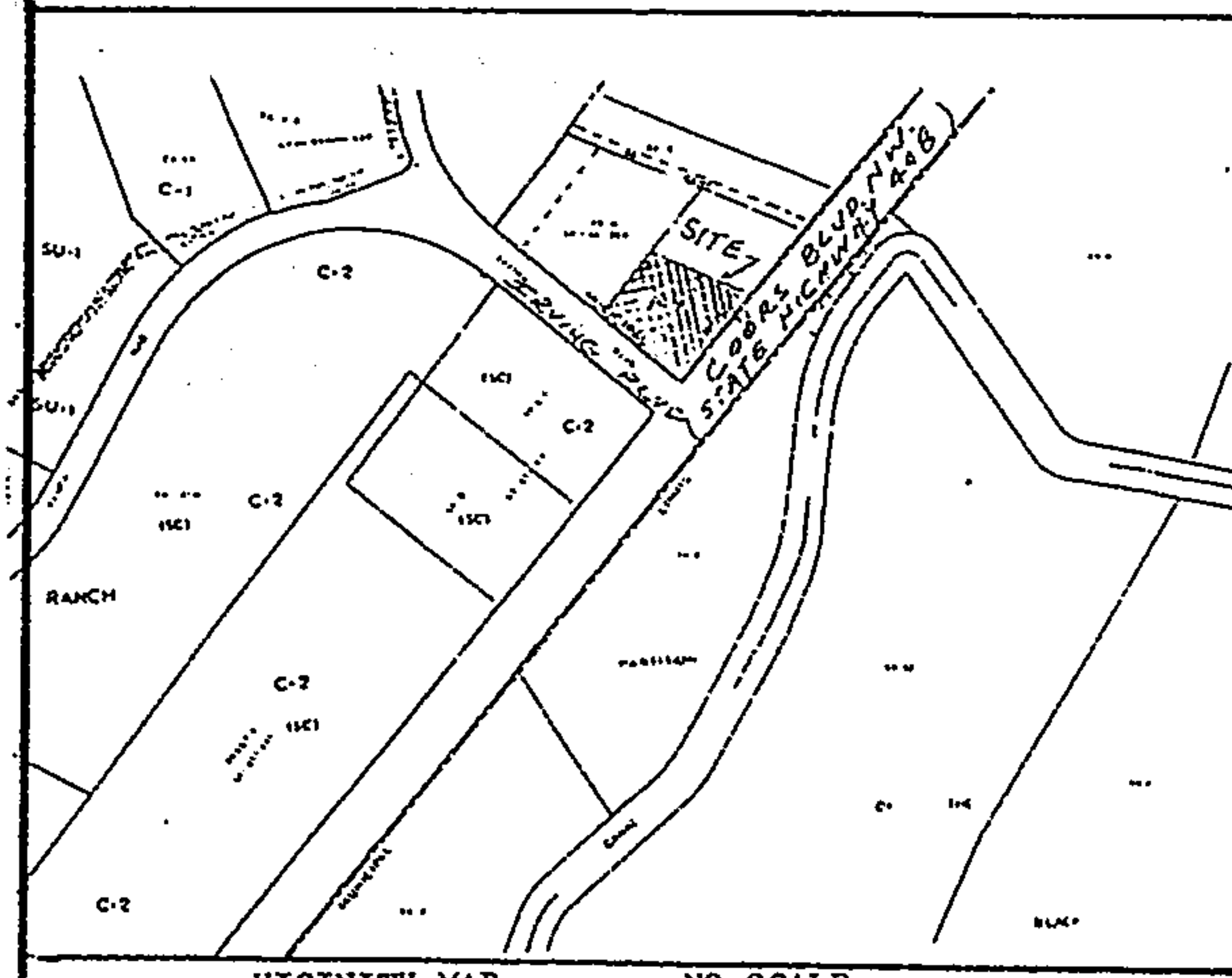


90C-243

90C-243



VICINITY MAP NO SCALE

SUBDIVISION DATA:

D.R.B. Case No. 90-46

Zone Atlas No. C-13-2

Gross Subdivision Acreage 2.0317 Ac.

NOTES:

Bearings are referenced to the Recorded Plat of TRACT N, PARADISE HILLS INDUSTRIAL PARK, AND A PORTION OF TRACT 2 OF EAGLE RANCH AND A PORTION OF A 100' PNM EASEMENT, Recorded on November 25, 1981, as Document No. 81-62010 in Vol. C19, folio 32.

Rotation of Bearings from Plat to Grid is 00° 12' 54" Right.

o = Found Rebars and Caps set in concrete.

• = Concrete Nails and Shiners Set.

0 = Rebar and Cap Set.

PURPOSE OF PLAT:

The purpose of this Plat is to divide TRACT B into 2 tracts BENEFICIARY OF 30' ACCESS EASEMENT IS TRACT B-2 MAINTENANCE OF 30' ACCESS EASEMENT IS THE RESPONSIBILITY OF TRACT B-1 AND TRACT B-2

LEGAL DESCRIPTION:

Tract "B" of the Summary Plat of TRACT N, PARADISE HILLS INDUSTRIAL PARK, AND A PORTION OF TRACT 2 OF EAGLE RANCH AND A PORTION OF A 100' PNM EASEMENT, Paradise Hills, Bernalillo County, New Mexico, as the same is shown and designated on the Plat filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 25, 1981, as Document Number 81-62010, recorded in Vol. C19, Folio 32, records of Bernalillo County, New Mexico.

NOTE:

These properties are within the New Mexico Utilities, Inc. (NMU, INC.) franchise area. Water and Sanitary Sewer System capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque. Water and Sanitary Sewer infrastructure improvements must, however, be approved by both the City of Albuquerque and NMU, Inc.

New Mexico Utilities, Inc.

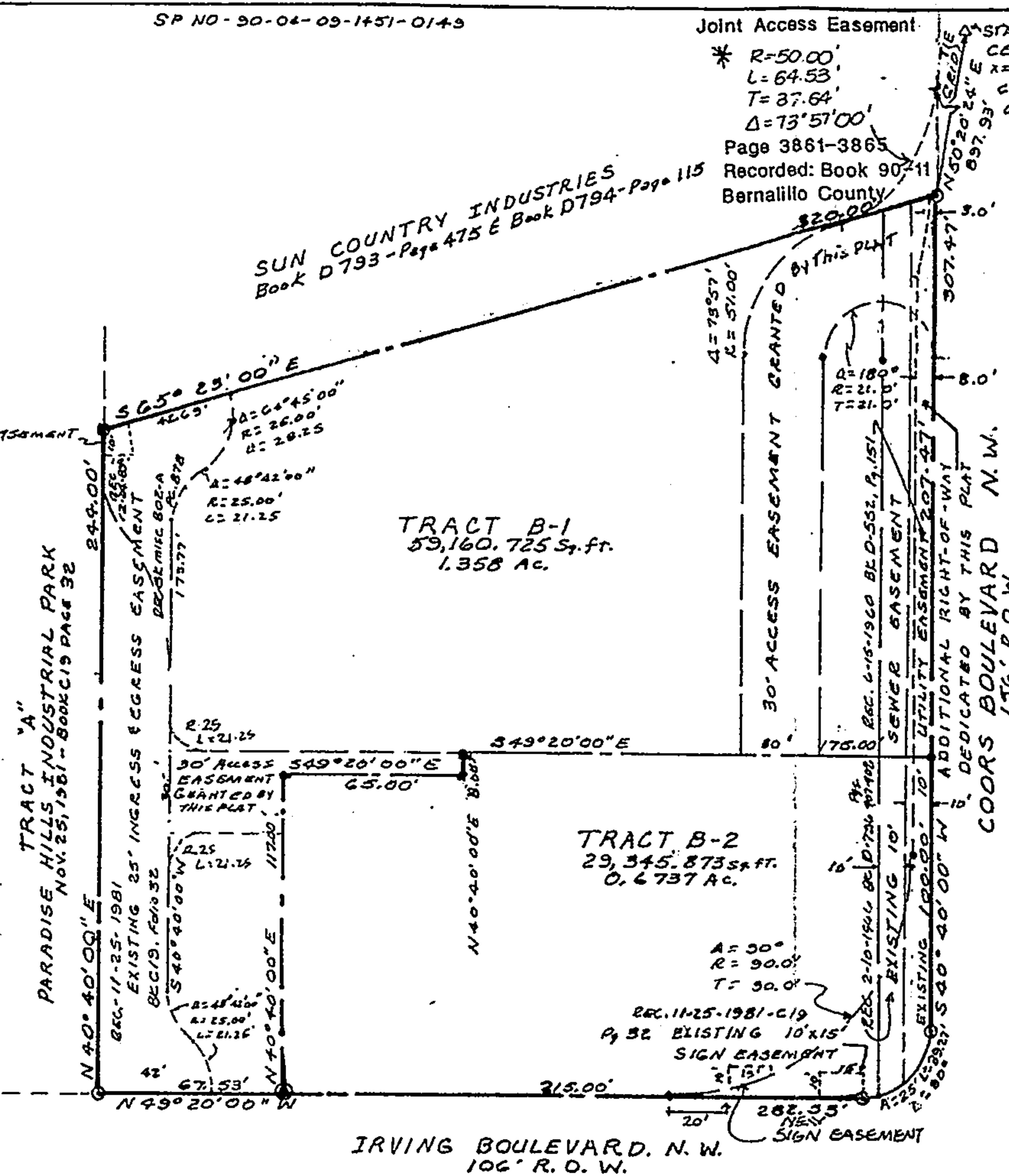
5/23/94 Date

SIGN EASEMENT. The City agrees to accept the dedication of the dedicated right-of-way subject to the "Existing 10' x 15' Sign Easement" as shown on the Plat. The Owner grants to the City of Albuquerque, an easement as identified on this Plat as the "New Sign Easement" for the sole purpose of relocating the sign, as reconstructing a sign of similar size, and design, from the "Existing 10' x 15' Sign Easement".

COORS ACCESS. The City reserves the right, without compensation to the owner of the property, to close the Coors Driveway serving the property further north on Coors Boulevard, upon the conditions that (1) the access to the property is directly from the new driveway to the property, which accessway is adjacent to Coors Boulevard, and (2) the relocation is done at the City's expense.

* **JOINT ACCESS.** An access easement providing joint access from Coors Boulevard to this property is recorded in the Bernalillo County, New Mexico, real estate records in Book 90-11, page 3861-3865

EXISTING 10' x 15' TRANSFORMER EASEMENT
REC-11-25-1981
B.C. C19, P. 32



FREE CONSENT:

The Replat of Tract "B" of the Summary Plat of TRACT N, PARADISE HILLS INDUSTRIAL PARK, AND A PORTION OF TRACT 2 OF EAGLE RANCH AND A PORTION OF A 100' PNM EASEMENT, (NOW BEING TRACT B-1 and B-2) Bernalillo County, New Mexico and dedication of Additional Right of Way on Coors Boulevard as shown and the granting of Access Easements as shown is with the free consent and in accordance with the desires of the undersigned owner:

TONY LOUCHIOS, PRESIDENT

CHICAGO PRIME HOUSE LTD, INC.
A NEW MEXICO CORPORATIONSTATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 10 day of April, 1990 by TONY LOUCHIOS, PRESIDENT, CHICAGO PRIME HOUSE LTD, INC, A NEW MEXICO CORP.

My Commission expires 2/19/94

NOTARY PUBLIC

OFFICIAL SEAL
MARY M. BIRKEL
NOTARY PUBLIC
STATE OF NEW MEXICO
2-19-94

REPLAT
TRACT "B"
TRACT N, PARADISE HILLS INDUSTRIAL PARK
AND A PORTION OF TRACT 2 EAGLE
RANCH AND A PORTION OF A 100' PNM
EASEMENT
BERNALILLO COUNTY
NEW MEXICO
APRIL, 1990

State of New Mexico } SS
County of Bernalillo
This instrument was filed for record on

APR 10 1990
AL 12:34 P.M. Recorded in Vol. 90C
of records of said County folio 243
County Clerk B. Recorder
Deputy Clerk

APPROVALS as specified by the Albuquerque Subdivision Ordinance.

SUBDIVISION CASE NO. 90-0046 (DEB)

DATE	DATE
7-11-90	DATE
DATE	DATE
DATE	DATE
5-29-90	DATE
5-29-90	DATE
4/10/90	DATE
6/29/90	DATE
7/9/90	DATE
5-29-90	DATE
6/26/90	DATE

NOTE: Approval of and filing with the County Clerk of Bernalillo County of this Plat does not vacate or in any way affect public or private easements.

SURVEYORS CERTIFICATE:

I, Wayne E. Johnston, licensed under the law of the State of New Mexico, do hereby certify that this Plat was prepared by me, shows all easements on the Recorded Plat and made known to me by the Utility Companies or by the Owner of Record, meets the minimum standards for Land Surveying in New Mexico and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Wayne E. Johnston, N.M.P.S. NO. 6540

RECEIVED
AUG 19 2011
HYDROLOGY
SECTION

PROPERTY THAT TAXES ARE CURRENT AND
2011-04-28 14:11:11
CHICAGO PRIME HOUSE LTD
COUNTY TREASURER'S OFFICE
2/10/90

THE WAYJOHN SURVEYING CO.

All Types Land Surveying
N.M. Registered Land Surveyor

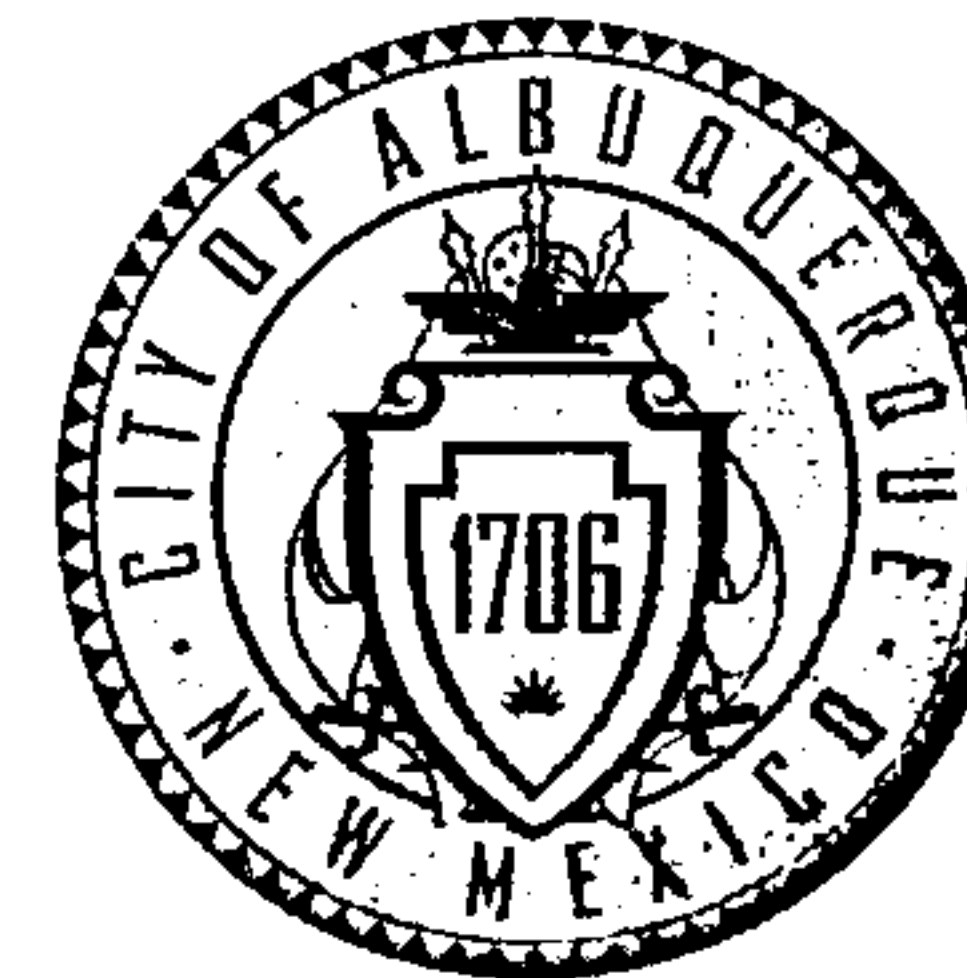
Wayne E. Johnston Phone 293-1205
Office
145 Eubank N.E.
Albuquerque, N.M. 87112

90C-243

9401 COORS

90C-243

CITY OF ALBUQUERQUE



July 26, 2011

Devin B. Cannady, R.A.
Devin Cannady Architect Studio
3332 Adams St. SE
Albuquerque, NM 87193

**Re: Comfort Dental Westside, 9401 Coors Blvd NW, Traffic Circulation
Layout**

Architect's Stamp dated 07-12-11 (C-13/D030)

Dear Mr. Cannady,

Based upon the information provided in your submittal received 07-12-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please provide all recording information on the access easements. Are easements platted or completed with a paper easement? The beneficiary information will also need to be included.
2. Within the north access, there appears to be a sign encroaching within the right-of-way as well as the parking on site. Parking shall not interfere with the 30' access easement or the "Additional Right-of-Way."
3. What is the status of "Additional Right-of-Way?" How was this determined via platting action? What and where is the recording information?
4. Define width of the existing sidewalk, if there is currently no sidewalk then a six-foot wide sidewalk will be required with a pedestrian connection to the building. Please place the proposed sidewalk at the property line, not the back of curb.
5. Please refer to all applicable city standards.
6. Please ensure all ramps are ADA compliant.
7. List the width of the existing drivepad.
8. Please include a copy of your shared access agreement with the adjacent property owner.
9. Per the Development Process Manual, Chapter 27, Section 7, Part F.II, a scale of 1"=20' is recommended for sites of less than 5 acres.

CITY OF ALBUQUERQUE



10. A scale must be shown on the plan. Per the Development Process Manual, Chapter 27, Section 2, Part B.1, only the following scales may be used:

- 1" = 50'
- 1" = 40'
- 1" = 20'
- 1" = 10'
- 1" = 100' (for overall layouts only)

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

C: File

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

C13/DO30

PROJECT TITLE: COMFORT DENTAL - WEST SIDE ZONE MAP: C-13
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT B-1 OF REPL TR B TR N PARADISE HILLS INDUSTRIAL PARK & A PORT OF TR 2
 CITY ADDRESS: EAGLE RANCH PORT OF A 100' PNM EASEMENT CONT. 59159 SQ FT +
9401 COORS BLVD NW, ALBUQUERQUE NM 87114

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: COMFORT DENTAL CONTACT: ANNETTE IRICK
 ADDRESS: 16752 W. 70TH AVENUE PHONE: 303.517.4490
 CITY, STATE: ARVADA, CO. ZIP CODE: 80007

ARCHITECT: DG ARCHITECT STUDIO CONTACT: DEVIN CANNADY
 ADDRESS: 300 ADAMS ST. SE PHONE: 299.1111
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

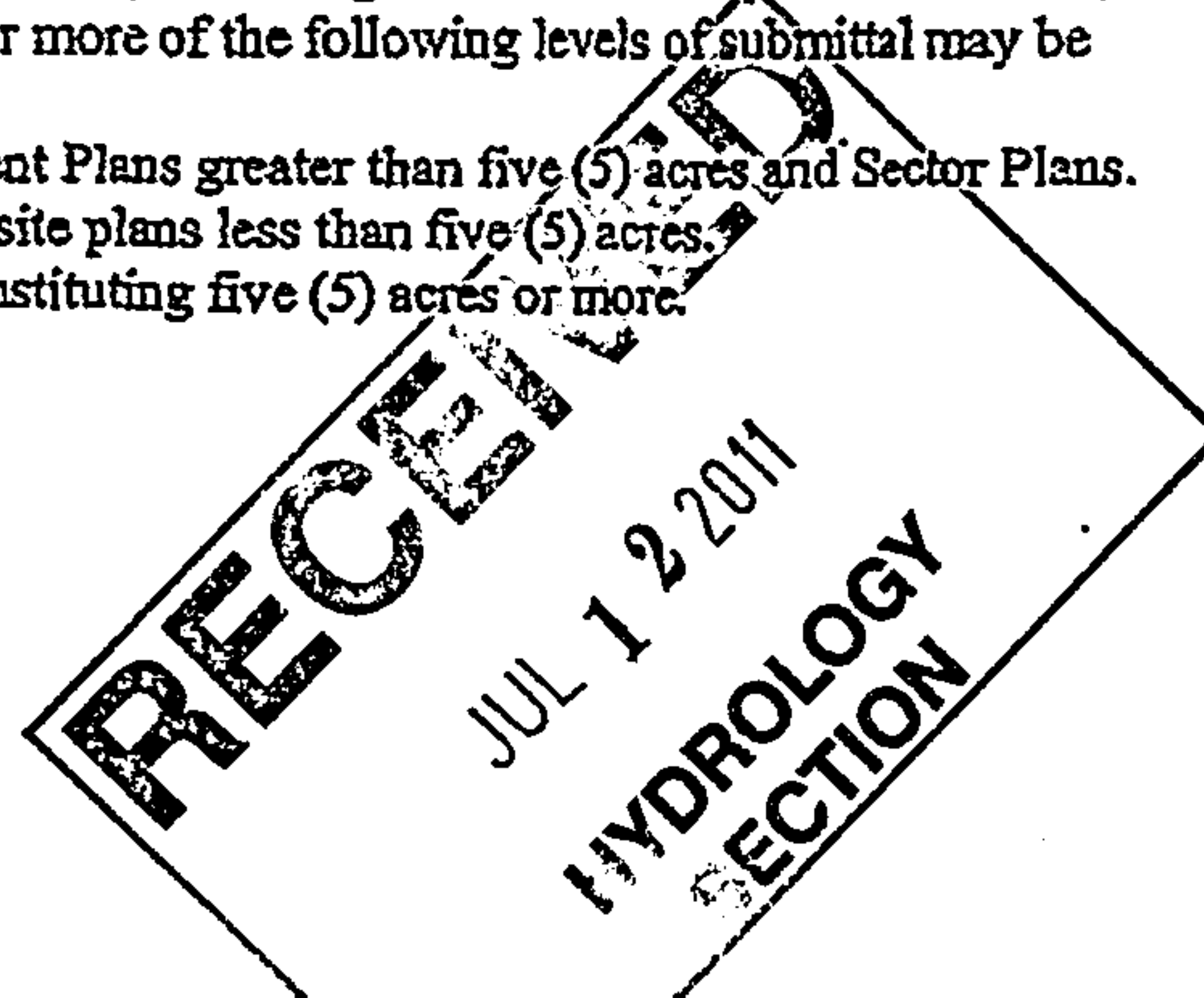
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 7.12.11 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



- Recording info for EASEMENTS / PLATTED? / BENEFICIARY INFO?
- ADA Aisle - flush w/ pavement is RAMP REQUIRED.
- Pedestrian connection.
- SIDEWALK ALONG COORS. - ~~6' SW~~ 6' SW
- SIGN @ NORTH ENTRANCE encroaches into R.O.W.
- Engineer's ~~set~~ SCALE in lieu of Architect
- PARKING & access EASEMENT.