

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

October 17, 2018

Dennis Lorenz, P.E.  
Lorenz Design & Consulting  
2501 Rio Grande NW, Suite A  
Albuquerque, NM 87104

**RE: Tr 2D1, Eagle Ranch Regrading  
Eagle Ranch Rd NW  
Grading Plan Stamp Date: 10/2/18  
Hydrology File: B13D002C**

Dear Mr. Lorenz:

Based on the submittal received on 10/10/18, the Grading Plan cannot be approved until the following are corrected and a complete resubmittal is made:

PO Box 1293

Prior to Grading Permit:

Albuquerque

NM 87103

www.cabq.gov

1. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for grading.
2. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
3. Callout the spillway elevation (56.00') on both the plan view and typical section.
4. Include reseeded for the disturbed area, per CoA Std Specification 1012.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

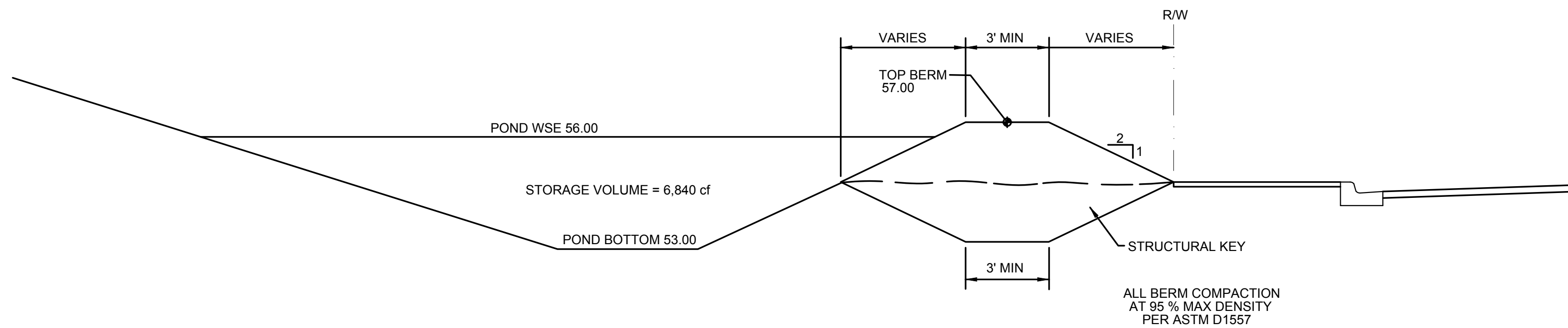
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

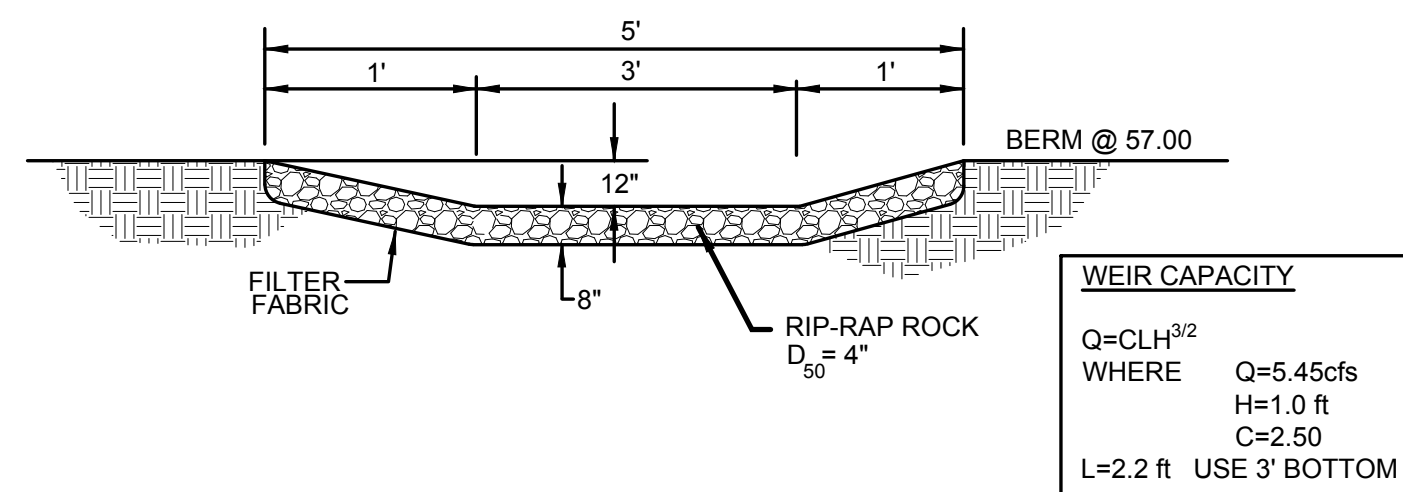
COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





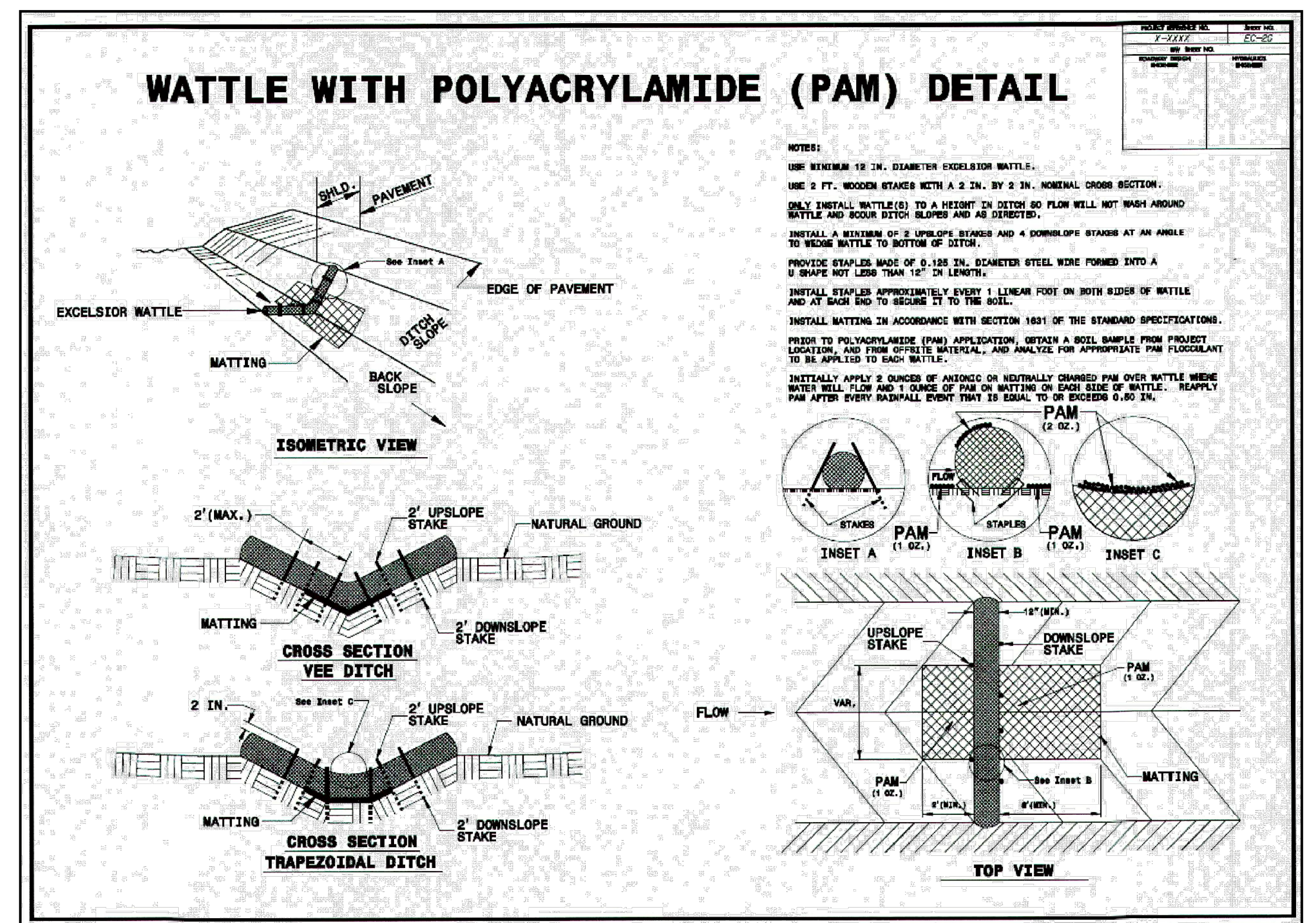
POND BERM SECTION  
NTS

A  
C.2



OVERFLOW SPILLWAY SECTION  
NTS

B  
C.2



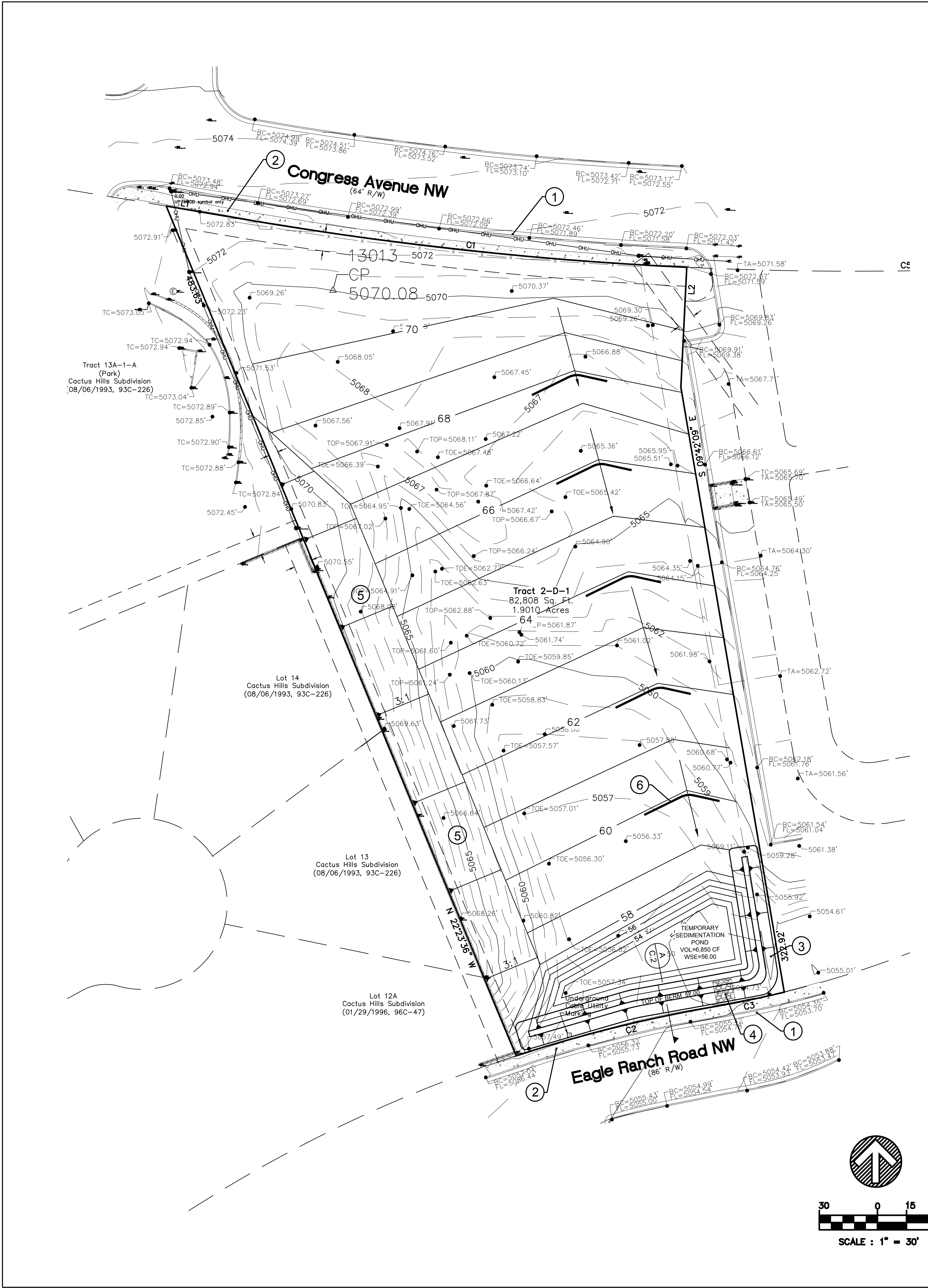
TRACT 2-D-1 EAGLE RANCH  
GRADING AND DRAINAGE DETAILS



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DRAWN BY: DAL DATE: October 2018  
CHECKED BY: DAL  
FILE: 18-013 C.2

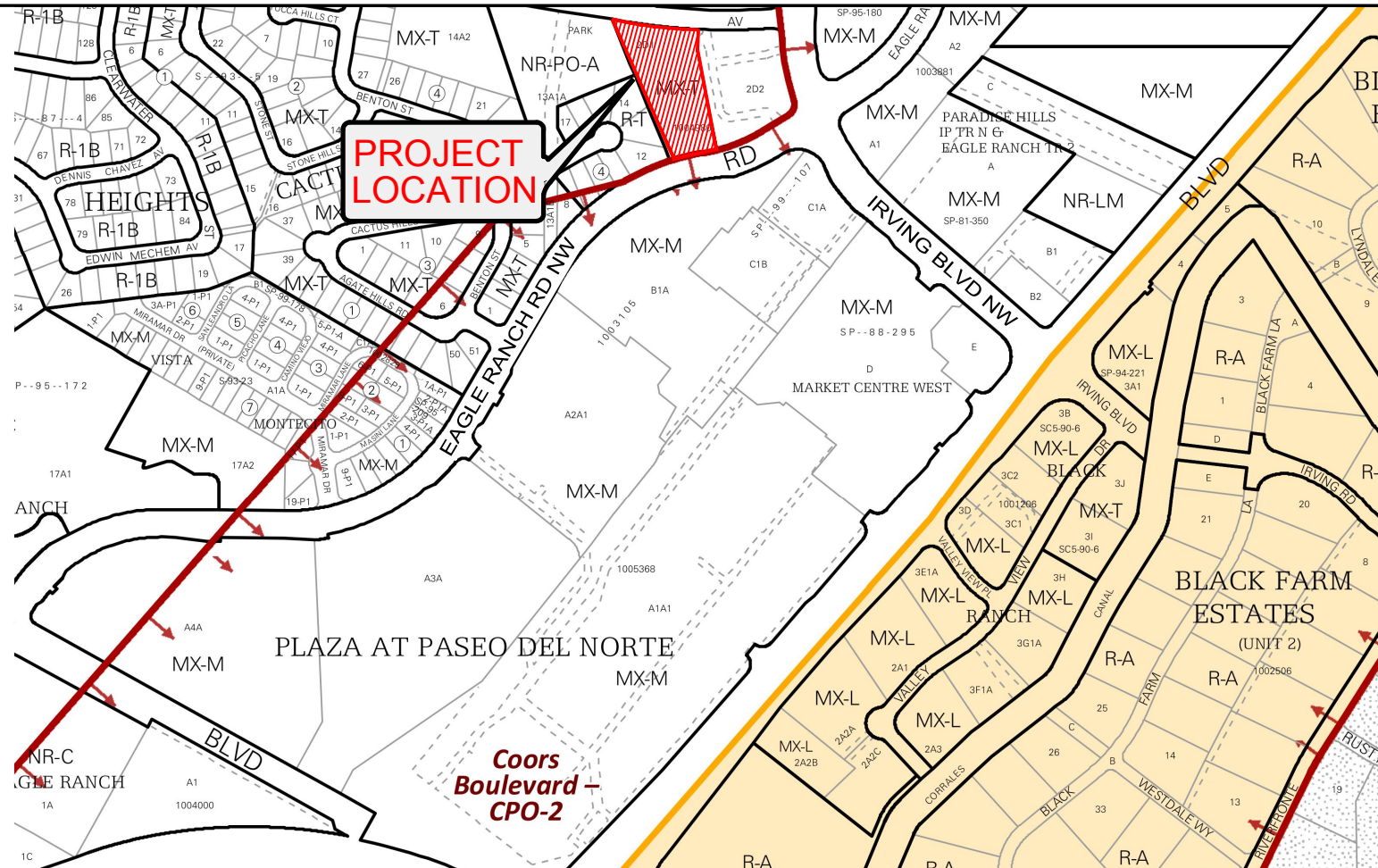




FIRM PANEL

35001C0108G

NOT TO SCALE



LOCATION MAP

IDO ZONE ATLAS C-13

NOT TO SCALE



GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of interim grading and drainage improvements to be constructed on the property, located at Eagle Ranch Road NW. The project includes rough grading the property to improve marketability. The purpose of this Plan is to provide details required to support construction, and to provide a detailed drainage study for existing and developed conditions. The scope of this plan is to present grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner.

EXISTING CONDITIONS

The property is located on Eagle Ranch Road NW, just south and west of Irving Blvd NW. The site is presently undeveloped. Site topography slopes to the south and is vegetated by native grasses and shrubs. The site presently drains south into Eagle Ranch Road. Existing public storm drainage improvements collect and convey all runoff east to the Calabacillas Arroyo, located approximately one-half mile from the site.

Properties to the east and west drain to Eagle Ranch Road and the public storm described above. No off site flows impact the site. As shown by the attached FIRM Panel the site does not lie within a mapped 100 year Flood Zone.

PROPOSED IMPROVEMENTS

As stated above, the site is to be rough graded to improve marketability. Site grades will be normalized, non-native trees will be removed, and the fence that encroaches into the site will be removed. Best management improvements will be implemented to mitigate erosion. A temporary sedimentation pond with an improved overflow spillway will be constructed at the low end of the site to prohibit the discharge of sediment into the public right of way and storm drainage system. The pond will be sized to provide storage for the 100 year 10 day storm.

Construction will disturb an area in excess of 1.0 acres; therefore a Storm Water Pollution Prevention Plan will be required. The SWPPP and an Erosion and Sediment Control Plan will be prepared by others, detailing the erosion control measures required during construction and for the interim period prior to future development of the property.

CALCULATIONS

The calculations shown hereon define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

PROJECT HYDROLOGY										
TRACT 2-D-1, EAGLE RANCH										
AHYMO										
ZONE:	1									
P <sub>6</sub> HOUR	2.20									
P <sub>10</sub> DAY	3.67									
EXISTING CONDITIONS										
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)	
SITE	1.90	0.00	1.90	0.00	0.00	0.67	3.86	0.106	0.106	
PROPOSED CONDITIONS										
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)	
SITE	1.90	0.00	0.00	1.90	0.00	0.99	5.45	0.157	0.157	

POND STORAGE TABLE			
ELEVATION	AREA (sf)	VOL (cf)	VOL (ac-ft)
53.00	1654	0	0.0000
54.00	2365	2009.5	0.0461
55.00	3152	4768	0.1095
56.00	4011	8349.5	0.1917

KEYED NOTES

- EXISTING STANDARD CURB & GUTTER.
- EXISTING CONCRETE SIDEWALK.
- CONSTRUCT EARTHEN BERM. SEE SHEET C.2.
- CONSTRUCT POND OVERFLOW SPILLWAY. SEE SHEET C.2.
- CONSTRUCT 3:1 CUT SLOPE.
- INSTALL WADDELS AT 50' INTERVALS ALONG SWALE.

PROJECT DATA

PROPERTY ADDRESS:

EAGLE RANCH ROAD NW  
ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION:

TRACT 2-D-1, EAGLE RANCH

SURVEY:

ALL PROJECT SURVEYING BY  
CARTESIAN SURVEYS INC  
DATE OF SURVEY: MAY 2018

LEGEND

ITEM	EXISTING	PROPOSED
CONCRETE CURB & GUTTER		
PROPERTY LINE		
SPOT ELEVATION		01.5
BACK OF CURB/FLOWLINE		
CONTOUR W/ ELEVATION		
DIRECTION OF FLOW		
STORM DRAIN		
UTILITY POLE		
WIRE FENCE		
CONCRETE		
RIP RAP ROCK		

DRAINAGE PLAN NOTES

- LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
- LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.
- Any fencing must allow cross lot drainage.

TRACT 2-D-1 EAGLE RANCH  
GRADING AND DRAINAGE PLAN



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