

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

December 5, 2018

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande NW, Suite A
Albuquerque, NM 87104

**RE: Tr 2D1, Eagle Ranch Regrading
Eagle Ranch Rd NW
Grading Plan Stamp Date: 10/29/18
Hydrology File: C13D033**

Dear Mr. Lorenz:

Based on the submittal received on 11/21/18, the Grading Plan is approved for Grading Permit.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

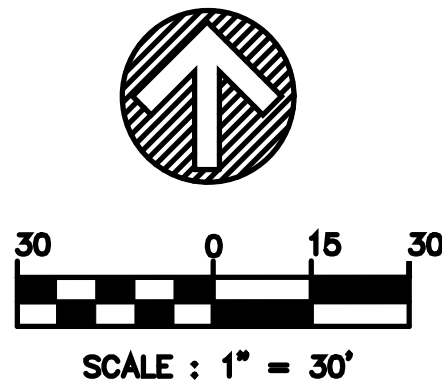
Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



35001C0108G



IDO ZONE ATLAS C-13



POND STORAGE TABLE			
ELEVATION	AREA (sf)	VOL (cf)	VOL (ac-ft)
53.00	1654	0	0.0000
54.00	2365	2009.5	0.0461
55.00	3152	4768	0.1095
56.00	4011	8349.5	0.1917

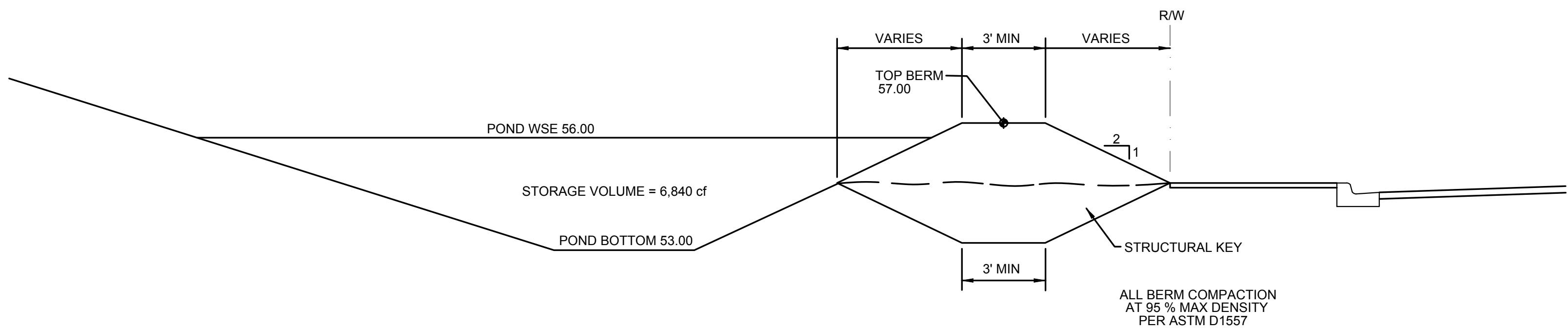
ALL PROJECT SURVEYING BY
CARTESIAN SURVEYS INC
DATE OF SURVEY: MAY 2018

ITEM	EXISTING	PROPOSED
CONCRETE CURB & GUTTER		
PROPERTY LINE		
SPOT ELEVATION		01.5
BACK OF CURB/FLOWLINE		
CONTOUR W/ ELEVATION		
DIRECTION OF FLOW		
STORM DRAIN		
UTILITY POLE		
WIRE FENCE		
CONCRETE		
RIP RAP ROCK		

1. LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.
9. Any fencing must allow cross lot drainage.

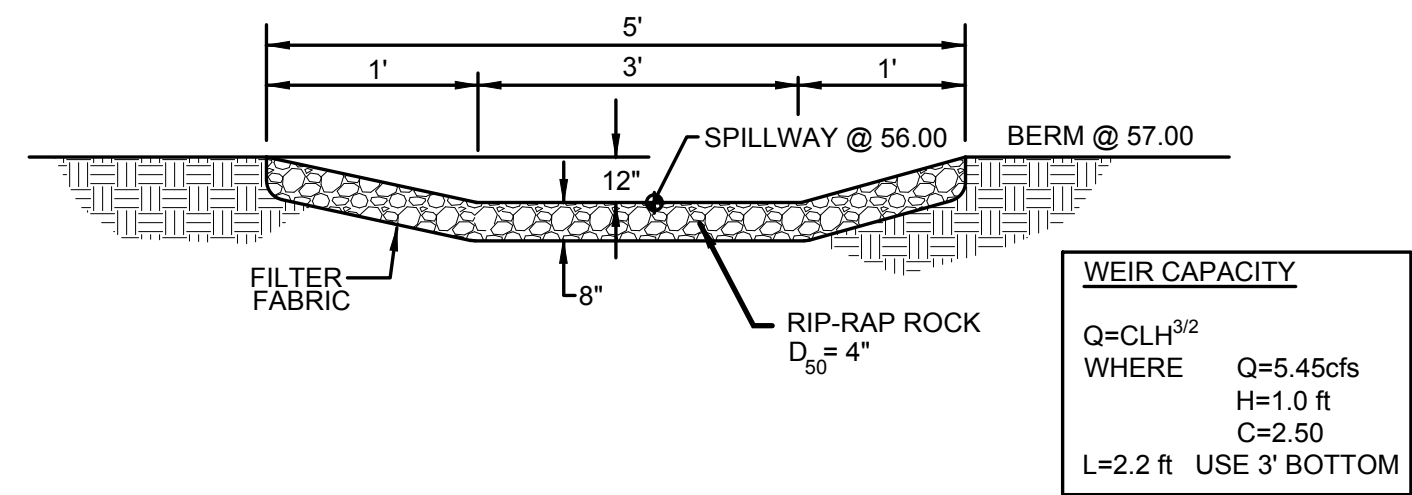
2501 Rio Grande Blvd NW, Suite A
Albuquerque, New Mexico 87104
Ph: 505-888-6088 Fax:
505-242-6655

C.1



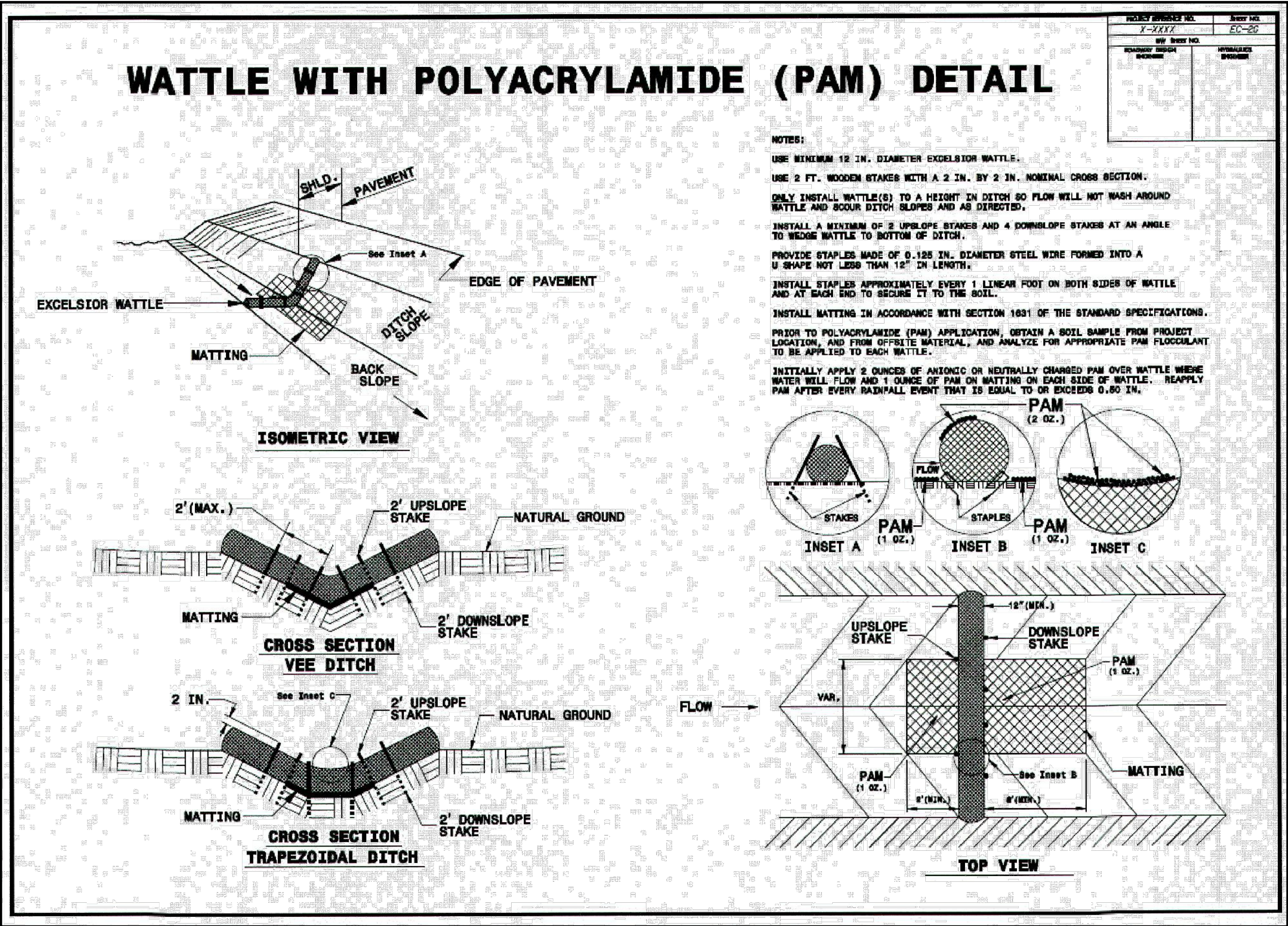
POND BERM SECTION
NTS

A
C.2



OVERFLOW SPILLWAY SECTION
NTS

B
C.2



TRACT 2-D-1 EAGLE RANCH
GRADING AND DRAINAGE DETAILS



LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering | Construction Management

2501 Rio Grande Blvd. NW, Suite A
Albuquerque, New Mexico 87104
Ph: 505-888-6088 Fax: 505-242-6655

DRAWN BY: DAL
CHECKED BY: DAL
FILE: 18-013

DATE: October 2018

C.2

DRAINAGE COVENANT

This Drainage Covenant ("Covenant"), between AQUARIUS, LLC ("Owner"), whose address is 8020 CONSTITUTION PL NE STE 202, ALBUQUERQUE, NM 87109 and whose telephone number is (505) 998-3096 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the current owner of certain real property described as:

Tract 2-D-1, Eagle Ranch, Recorded on August 25, 2006, Book 2006C, Folio 258

in Bernalillo County, New Mexico (the "Property"). (Give legal description and filing information).

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities ("Drainage Facility") on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following "Drainage Facility" within the Property at Owner's sole expense in accordance with the standard plans and specifications approved by the City pursuant to Drainage File No. B-13-D002C:

Temporary sedimentation pond as shown on the Grading and Drainage Plan for Tract 2-D-1, Eagle Ranch, prepared by Lorenz Design & Consulting, LLC, dated 10-29-2018

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at the Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to the Owner requiring the Owner to construct or repair the Drainage Facility within thirty (30) days ("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the



Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages, which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

7. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Owner for any damages resulting from the City's maintenance or repair following Notice to the Owner as required in this Covenant or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City

8. Indemnification. The Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of, or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the Owner or its agents or employees; or (2) the giving of or the failure to give directions or instructions by the Owner, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Covenant may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of giving formal written notice to the Owner, Owner's address is:

8020 CONSTITUTION PL NE, STE 202
ALBUQUERQUE, NM 87110

Notice may be given to the Owner either in person or by mailing the Notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three (3) days after the Notice is mailed if there is no actual evidence of receipt. The Owner may change

Owner's address by giving written notice of the change by Certified Mail-Return Receipt Requested, to City Hydrologist, P.O. Box 1293, Albuquerque, New Mexico 87103.

12. Term. This Covenant shall continue until terminated by the City pursuant to Section 9 above.

13. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running with the Owner's Property until released by the City.

14. Entire Agreement. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Covenant are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Covenant is held to be invalid or unenforceable, the remainder of the Covenant will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Covenant are not part of this Covenant and will not affect the meaning of construction of any of its provisions.

OWNER:

By [signature]: Mark Depper
Name [print]: MARK DEPPER, M.D.
Title: MANAGER
Dated: 11/14/18

CITY OF ALBUQUERQUE:

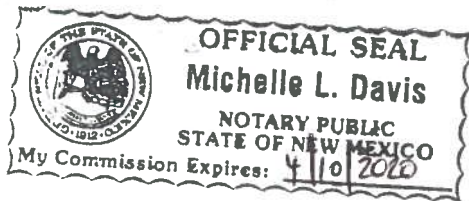
By: Shahab Biazar (AV)
Shahab Biazar, P.E., City engineer
Dated: 12/3/18

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 14 day of November,
2018, by Mark A. Depper, M.D. (name of person signing),
Manager, Aquarius LLC (title of person signing) of
Aquarius LLC (Owner).

(SEAL)



Michelle L. Davis
Notary Public
My Commission Expires: 4/10/2020

CITY'S ACKNOWLEDGMENT

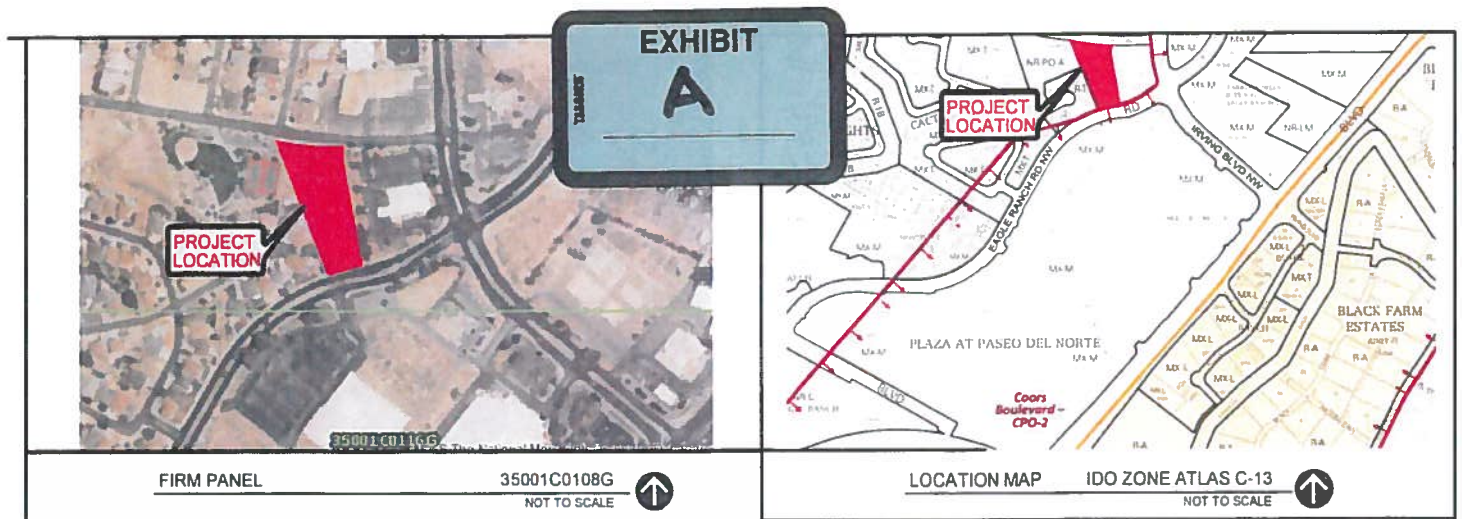
STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 3rd day of
December, 2018, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,
a municipal corporation, on behalf of said corporation.

(SEAL)

Charlotte LaBadie
Notary Public
My Commission Expires: March 15, 2021

(EXHIBIT A ATTACHED)



GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, the Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of site grading and drainage improvements to be constructed on the property located at Eagle Ranch Road NW. The project includes rough grading the property to improve marketability. The purpose of this Plan is to provide details required to support construction, and to provide a detailed drainage study for existing and developed conditions. The scope of this plan is to present grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner.

EXISTING CONDITIONS

The property is located on Eagle Ranch Road NW, just south and west of Irving Blvd NW. The site is presently undeveloped. Site topography slopes to the south and is vegetated by native grasses and shrubs. The site presently drains south into Eagle Ranch Road. Existing public storm drainage improvements collect and convey all runoff east to the Calabacillas Arroyo, located approximately one-half mile from the site.

Properties to the east and west drain to Eagle Ranch Road and the public storm described above. No off-site flows impact the site. As shown by the attached FIRM Panel the site does not lie within a mapped 100-year Flood Zone.

PROPOSED IMPROVEMENTS

As stated above, the site is to be rough graded to improve marketability. Site grades will be normalized, non-native trees will be removed, and the fence that encroaches into the site will be removed. Best management improvements will be implemented to mitigate erosion. A temporary sedimentation pond with an improved overflow spillway will be constructed at the low end of the site to prohibit the discharge of sediment into the public right of way and storm drainage system. The pond will be sized to provide storage for the 100-year 10-day storm.

Construction will disturb an area in excess of 1.0 acres, therefore a Storm Water Pollution Prevention Plan will be required. The SWPPP and an Erosion and Sediment Control Plan will be prepared by others, detailing the erosion control measures required during construction and for the interim period prior to future development of the property.

CALCULATIONS

The calculations shown herein define the 100-year/6-hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

PROJECT HYDROLOGY									
TRACT 2-D-1 EAGLE RANCH									
AHMYO									
ZONE	1								
P ₆ HOUR	2.20								
P ₁₀ DAY	3.67								
EXISTING CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)
SITE	1.90	0.00	1.90	0.00	0.00	0.67	3.86	0.106	0.106
PROPOSED CONDITIONS									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	10 Day VOL (ac ft)
SITE	1.90	0.00	0.00	1.90	0.00	0.99	5.45	0.157	0.157

POND STORAGE TABLE			
ELEVATION	AREA (sf)	VOL (cf)	VOL (ac ft)
53.00	1654	0	0.0000
54.00	2365	2009.5	0.0461
55.00	3152	4768	0.1095
56.00	4011	8349.5	0.1917

NOTES

- EXISTING STANDARD CURB & GUTTER
- EXISTING CONCRETE SIDEWALK
- CONSTRUCT EARTHEN BERM. SEE SHEET C-2
- CONSTRUCT POND OVERFLOW SPILLWAY. SEE SHEET C-2
- CONSTRUCT 3:1 CUT SLOPE
- INSTALL WADDELS AT 50' INTERVALS ALONG SWALE
- RE-SEED ALL DISTURBED AREAS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS AMENDED THROUGH UPDATE 9, SECTION 1012

PROPERTY ADDRESS

EAGLE RANCH ROAD NW

ALBUQUERQUE, NM 87114

LEGAL DESCRIPTION

TRACT 2-D-1, EAGLE RANCH

SURVEY

ALL PROJECT SURVEYING BY

CARTESIAN SURVEYS INC

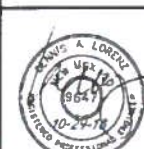
DATE OF SURVEY: MAY 2018

ITEM	EXISTING	PROPOSED
CONCRETE CURB & GUTTER		
PROPERTY LINE		
SPOT ELEVATION	5057.50'	01.5'
BACK OF CURB/FLOWLINE	BC=5057.50' FL=5057.50'	
CONTOUR V8 ELEVATION	5800	5800
DIRECTION OF FLOW		
STORM DRAIN	SD	
UTILITY POLE		
WIRE FENCE	WFE	
CONCRETE		
RIP RAP ROCK		

DRAINAGE PLAN NOTES

- LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
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- All spot elevations are top of pavement unless noted otherwise.
- Any fencing must allow cross lot drainage.

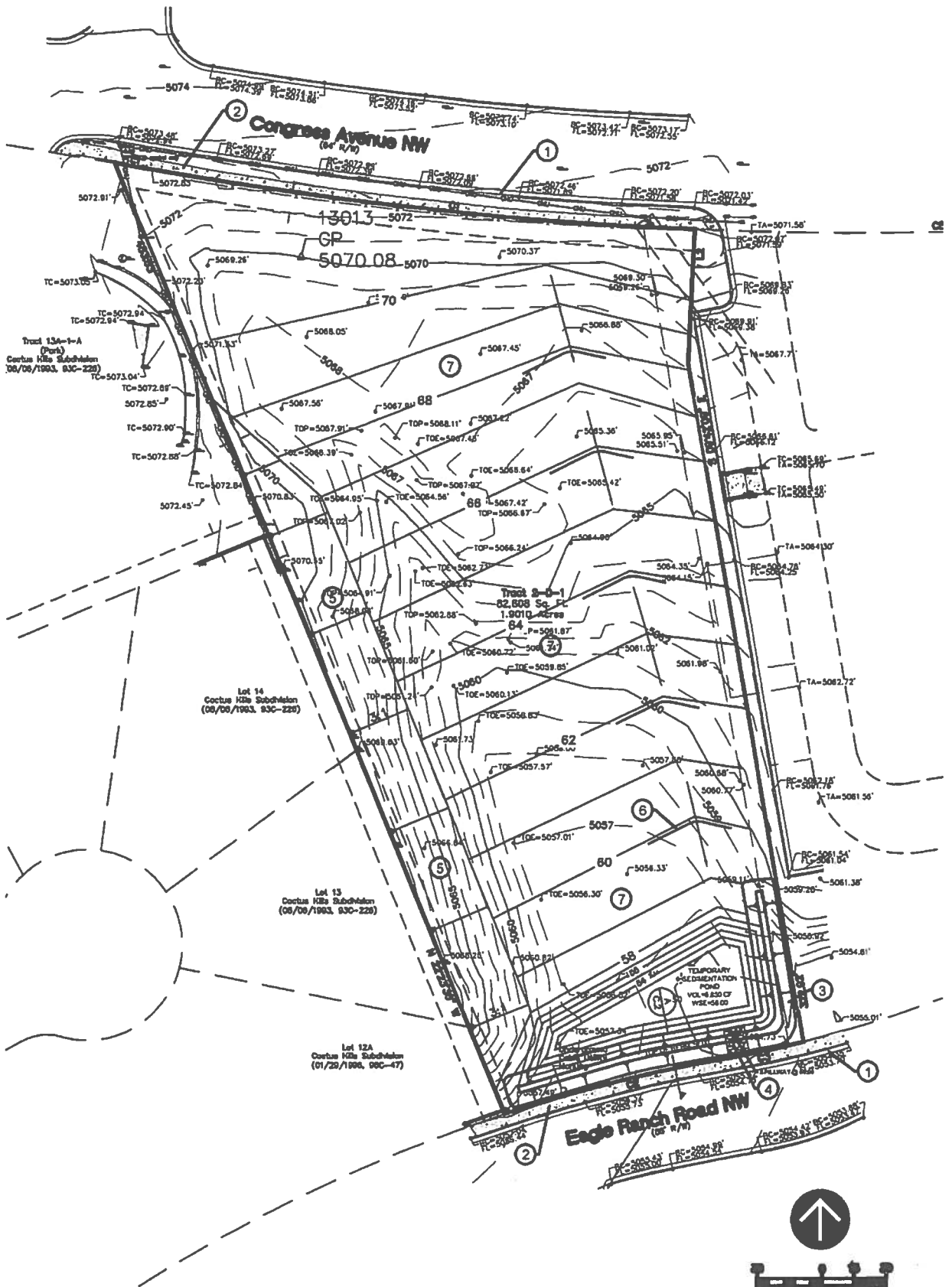
TRACT 2-D-1 EAGLE RANCH GRADING AND DRAINAGE PLAN



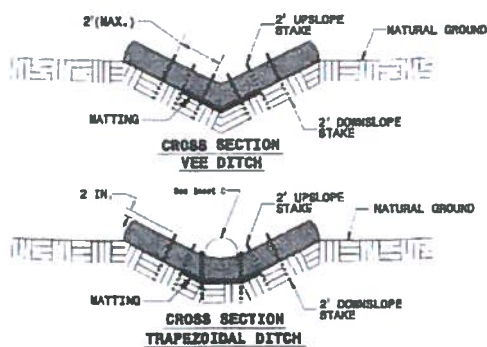
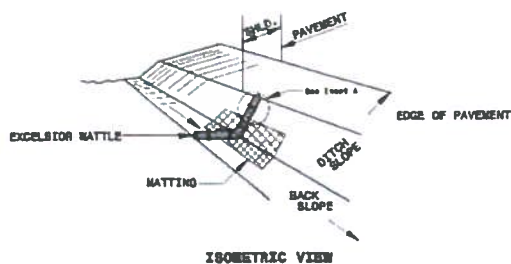
LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering Construction Management

2501 Rio Grande Blvd NW, Suite A
Albuquerque, New Mexico 87104
Ph: 505-858-6085 Fax: 505-242-6635

DRAWN BY: DAL
CHECKED BY: DAL
FILE: 18-013
DATE: October 2018
C.1



WATTLE WITH POLYACRYLAMIDE (PAM) DETAIL



NOTES:

USE WATTLE 10 IN. SLANT-ON SIDE-ON WATTLE.

USE 2 FT. WOODEN STAKES WITH A 2 IN. BY 2 IN. NOMINAL CROSS SECTION.

ONLY INSTALL WATTLE(S) TO A HEIGHT IN DITCH SO FLOW WILL NOT SPILL AROUND WATTLE AND SOIL DITCH SLOPES AND AS DIRECTED.

INSTALL A SYSTEM OF 3 UPLOPE STAKES AND 4 DOWNLOPE STAKES AT AN ANGLE TO WATTLE TO BOTTOM OF DITCH.

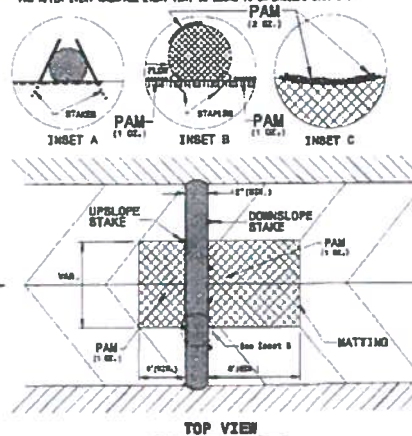
PROVIDE STAPLES MADE OF 9-10 IN. STAINLESS STEEL WIRE FORMED INTO A U SHAPE NOT LESS THAN 12 IN. LENGTH.

INSTALL STAPLES APPROXIMATELY EVERY 1 LINEAR FOOT ON BOTH SIDES OF WATTLE AND AT EACH END TO SECURE IT TO THE SOIL.

INSTALL WATTLE IN ACCORDANCE WITH SECTION 1601 OF THE STANDARD SPECIFICATIONS.

PRIOR TO POLYACRYLAMIDE (PAM) APPLICATION, OBTAIN A SOIL SAMPLE FROM PROJECT LOCATION, AND FROM OFFSITE MATERIAL, AND ANALYZE FOR APPROPRIATE PAM PLACEMENT TO BE APPLIED TO EACH WATTLE.

INITIALLY APPLY 2 GALLONS OF PAM OR EQUIVALENT OVER EACH 10' OF WATTLE WHEN WATTLE IS PLACED AND 1 GALLON OF PAM ON WATTLE ON EACH SIDE OF WATTLE. REAPPLY PAM AFTER EVERY RAINFALL EVENT THAT IS EQUAL TO OR EXCEEDS 0.50 IN.

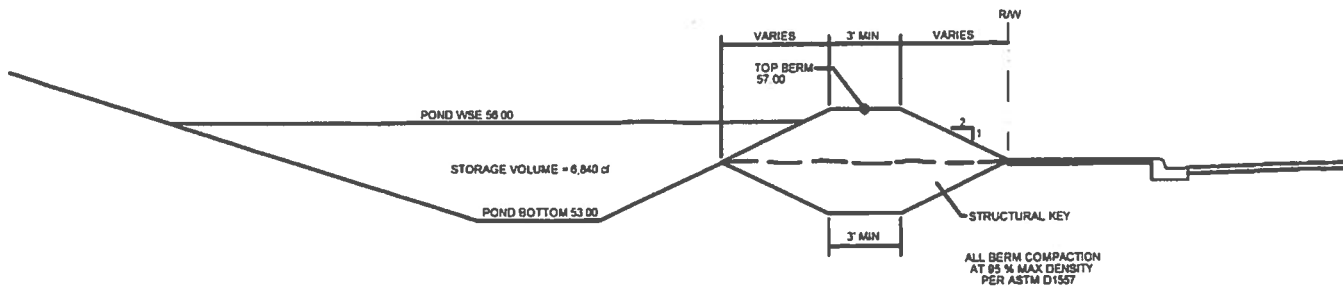


TRACT 2-D-1 EAGLE RANCH GRADING AND DRAINAGE DETAILS



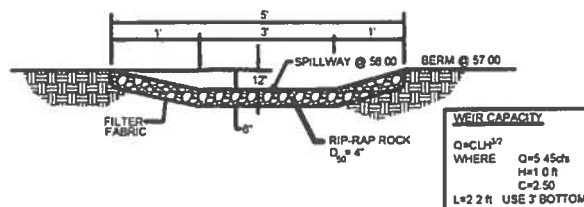
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DRAWN BY: DAL DATE: October 2018
CHECKED BY: DAL
FILE: 18-013 C.2



POND BERM SECTION

NTS



OVERFLOW SPILLWAY SECTION

NTS

