

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

March 18, 2021

Paul Cragun, P.E.  
Cumulus Design  
2080 N. Highway 360, Suite 240  
Grand Prairie, TX 75050

**RE: Chase Bank – Coors Blvd.  
9261 Coors Blvd. NW  
Grading and Drainage Plans  
Engineer's Stamp Date: 03/02/21  
Hydrology File: C13D035**

Dear Mr. Cragun:

Based upon the information provided in your submittal received 03/02/2021, the Grading and Drainage Plans are approved for Building Permit and action by the DRB on Site Plan for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

The Payment in Lieu payment of **\$3,699.28** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form. Once the Owner paid the fee, please provide Hydrology with a copy of the receipt.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Chase Bank -Coors Blvd **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract A1A1 Plaza at Paseo del Norte  
**City Address:** 9261 Coors Blvd NW Albuquerque, NM 87114

**Applicant:** Cumulus Design **Contact:** Carlos Iglesias  
**Address:** 2080 N. Highway 360 #240, Grand Prairie, Texas 75050  
**Phone#:** 214-235-0367 **Fax#:** \_\_\_\_\_ **E-mail:** carlos@cumulusdesign.net  
**Owner:** JP Morgan Chase Bank **Contact:** Sunil Dubey  
**Address:** 7301 North Federal Blvd. Westminster, Colorado 80030  
**Phone#:** 720-275-0480 **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

\_\_\_\_\_ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

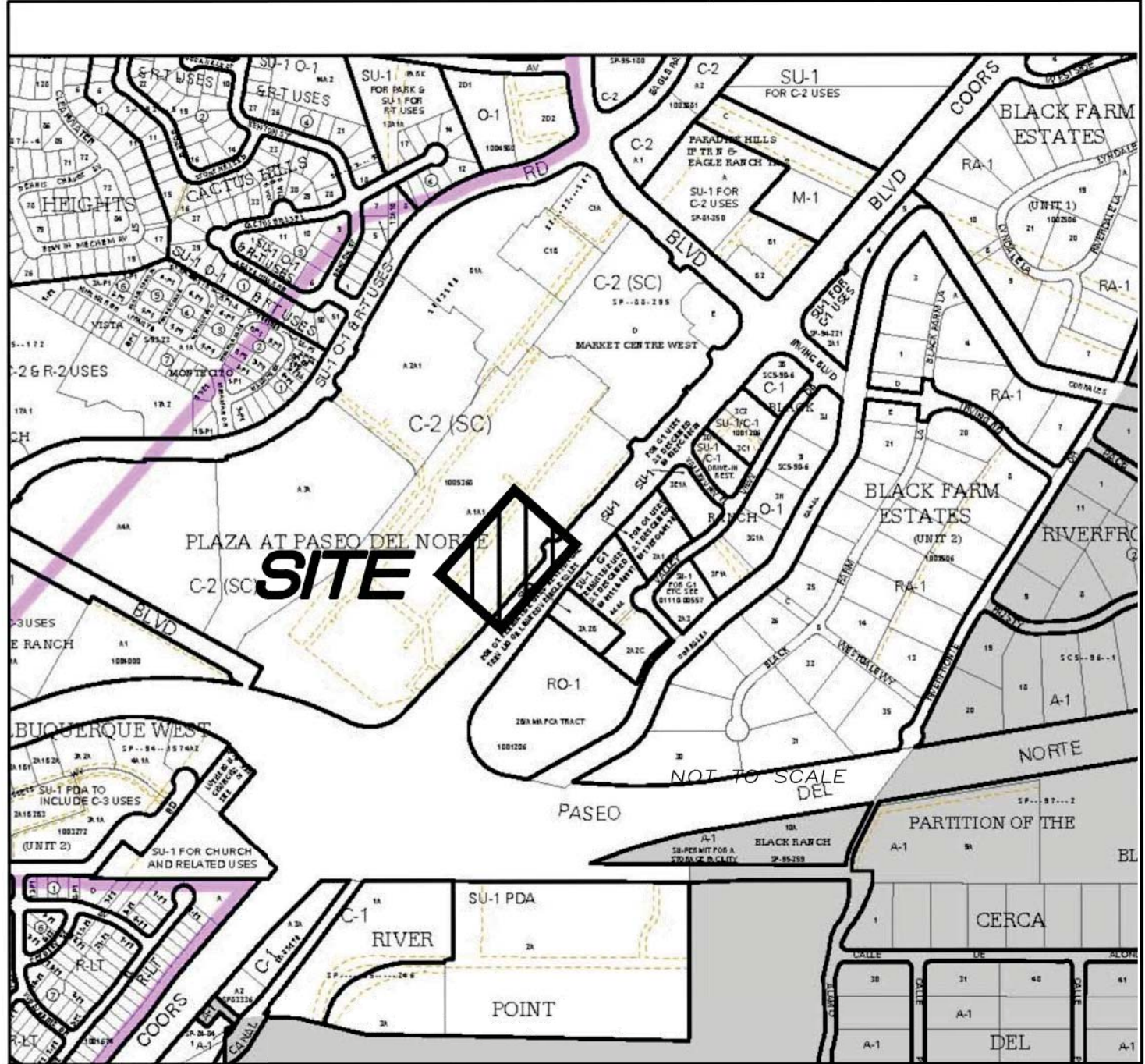
**DATE SUBMITTED:** February 23, 2021 **By:** Carlos Iglesias

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





VICINITY MAP

### GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone – NAD83.
- Distances are ground. (US Survey Foot).
- Distances along curved lines are arc lengths.
- Record plat or deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ( ).
- Field surveys were performed during the month of December, 2020.
- As noted Item 11(a) of Table A of the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, Effective Date February 23, 2016," Location of utilities existing on or serving the surveyed property as determined by observed evidence collected pursuant to Section 5.E.iv.  
  
All utilities should be field verified and spotted by the contractor(s) prior to commencement of any construction.
- The word Certify or Certification as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information and belief, as such, and does not constitute a guarantee, nor a warranty, expressed or implied.
- The surveyed property is subject to all exceptions pertaining to the surveyed property as listed in SCHEDULE B – PART II of the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment SP000091781, commitment date November 30, 2020.
- The above described Title Commitment was used in defining easements as shown hereon. Cited numbers by the easement description correspond to the Title Commitment's SCHEDULE B – PART II item number. Where possible, said easements have been plotted. Only easements as provided for in said SCHEDULE B – SECTION II of the Commitment described above or designated on the plat of record are shown on this survey.
- There is no observable evidence of recent earth moving work, building construction or building additions within recent months.
- There does not appear to be changes in the existing street right of way lines either completed or proposed as of the date of this survey.
- No field delineation markers indicating wetlands were observed within the surveyed property.
- The nearest intersecting streets are Paseo Del Norte and Coors Boulevard located 1009' south of the site.
- Utilities shown hereon are a combination of surface evidence and the construction plans.

### UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

NEW MEXICO ONE CALL (NM811) LOCATE ON-LINE REQUEST CONFIRMATION TICKET NO. 20NVT10153 DATED 11/11/2020.

THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NM811 THIS PROJECT WAS CALLED IN TO NM811 AS A "DESIGN LOCATE". SOME UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NM811 CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

PAINT MARKS AND FLAGGING SET ON THE GROUND BY UTILITY COMPANIES AND OTHERS ARE USED TO DESIGNATE UNDERGROUND UTILITIES AS SHOWN HEREON: RED FOR ELECTRIC, BLUE FOR WATER, YELLOW FOR GAS, ORANGE FOR COMMUNICATIONS, GREEN FOR SEWER.

ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES.

SURV-TEK, INC. MAKES NO REPRESENTATION THAT SAID INFORMATION IS CURRENT OR CORRECT.

ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS.

QUALIFIED SUBSURFACE UTILITY ENGINEERING (SUE) SERVICES MAY BE REQUIRED FOR OBTAINING INACCESSIBLE UTILITY DATA AND MUNICIPAL AUTHORIZATION AND PERMITTING FOR TRAFFIC BLOCKADING AND BARRICADE PLANS.

UTILITIES LABELED WITH AN ASTERISK (\*) ARE DERIVED OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

UTILITIES LABELED WITH AN POUND SIGN (#) ARE ASSUMED UTILITY LOCATIONS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

NOTE: UNOPENED MANHOLES ARE LABELED ACCORDING TO THE DESIGNATION ON THE MANHOLE TOP. MANHOLES LABELED SANITARY OR STORM DRAIN MAY NOT BE SO. ONLY UPON OPENING OF A MANHOLE CAN ITS TRUE PURPOSE BE DETERMINED.

### EXCEPTIONS

As listed in the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment SP000091781, commitment date November 30, 2020.

- Reservations contained in Patent from the United States of America, filed in Book 64, page 412, records of Bernalillo County, New Mexico. (subject property lies within described boundary – no plottable items)
- Easement granted to the Public Service Company of New Mexico filed May 6, 1957, in Book D385, page 303, records of Bernalillo County, New Mexico. Easement Encroachment Agreement between the City of Albuquerque and Public Service Company of New Mexico, filed February 10, 2005, as Document No. 2008020108, records of Bernalillo County, New Mexico. (Does Not Affect Subject Portion of Tract A-1-A-1)
- Reservation of 1/2 of all oil, gas, uranium and other minerals as reserved with conditions in Warranty Deed filed in Book D513, page 189, records of Bernalillo County, New Mexico. Affidavit filed December 4, 1996, as Document No. 96130372; Memorandums of Existence of Oil and Gas Lease filed March 3, 2008, as Document No. 2008023956, 2008023957 and 2008023958, records of Bernalillo County, New Mexico. (Non Survey Matter)
- Utility Easement filed February 10, 1992, as Document No. 9211652, records of Bernalillo County, New Mexico. (Does Not Affect Subject Portion of Tract A-1-A-1)
- Easement Encroachment Agreements filed as Document No. 90-5847, 93142203 and 93131552, records of Bernalillo County, New Mexico. (Does Not Affect Subject Portion of Tract A-1-A-1)
- Easement granted to the Mountain States Telephone and Telegraph Company filed July 15, 1960, in Book D552, page 151, records of Bernalillo County, New Mexico. (As Shown Hereon)
- Easement granted to Paradise Services Corporation, filed in Book D796, page 907, records of Bernalillo County, New Mexico. (As Shown Hereon)
- Easement(s), Note(s) and Disclosure(s) as to and reserved across the insured land, as shown on the recorded Plat(s), filed in Plat Book C18, page 10; Plat Book C18, page 158, Plat Book C37, page 12; Plat Book C37, page 125; Plat Book 90C, page 151; Plat Book 94C, page 113, Plat Book 97C, page 68, and in Plat Book 2011C, page 114, records of Bernalillo County, New Mexico. (As Shown Hereon)
- Construction, Operation and Reciprocal Easement Agreement between Market Center West Associates and Dayton Hudson Corporation, filed January 12, 1989, in Book Misc. 703A, page 27, as Document No. 892788, and First Amendment to Construction, Operation and Reciprocal Easement Agreement, filed July 13, 1999, as Document No. 1999092064, records of Bernalillo County, New Mexico. (Document Not Provided)
- Access Easement between Market Center West Associates and Cinemark USA, Inc., filed August 24, 1992, in Book 92-19, page 7392, as Document No. 09284341, records of Bernalillo County, New Mexico. (Easement Blanket in Nature)
- Construction, Operation and Reciprocal Easement Agreement between Paseo Del Norte Plaza Associates, L.P., and Arthur Gardenswartz, filed December 30, 1993, as Document No. 93148381, records of Bernalillo County, New Mexico. (Document Not Provided)
- License and Agreement between Paseo Del Norte Plaza Associates, L.P., and A.G. Spanos Construction, Inc., filed May 11, 1994, in Book 94-15, page 2806, as Document No. 94062680, records of Bernalillo County, New Mexico. (Documents Listed in Agreement Not Provided)
- Easement granted to U.S. West Communications, Inc., filed September 14, 1994, in Book 9426, page 4677, as Document No. 94112793, records of Bernalillo County, New Mexico. (Does Not Affect Subject Portion of Tract A-1-A-1)
- Lease as evidenced by Memorandum of Lease, executed by and between Market Center West Associates, and Ross Stores, Inc., filed February 27, 1990, in Book 90-4, page 6195, as Document No. 9018312, records of Bernalillo County, New Mexico. (Non Survey Matter)
- Lease executed by and between The Price Reit, Inc., and Hancock Fabrics, Inc., filed January 5, 2006, in Book A110, page 1668, as Document No. 2006001668, records of Bernalillo County, New Mexico. (Non Survey Matter)
- Lease as evidenced by Memorandum of Lease executed by and between Market Center West Associates, and Cinemark USA, Inc., filed August 24, 1992, as Document No. 9284340, Assignment of Lease between Hollywood Cinema Inc., and Cinemark USA, filed August 24, 1992, as Document No. 9284339, records of Bernalillo County, New Mexico. (Non Survey Matter)
- Lease as evidenced by Memorandum of Lease executed by and between Paseo Del Norte Plaza Associates, L.P., and Payless Shoesource, Inc., filed June 13, 1995, in Book 9514, page 1450, as Document No. 95058356, records of Bernalillo County, New Mexico. (Non Survey Matter)
- Lease as evidenced by Memorandum of Lease executed by and between Paseo Del Norte 586, LLC, a New Mexico limited liability company and Sear Outlet Store, LLC, a Delaware limited liability company, filed December 6, 2013, as Document No. 2013130292, records of Bernalillo County, New Mexico. (Non Survey Matter)
- Agreement for Granting of Easements and Construction, Maintenance, Transfer and Assumption of the Paradise Storm Drain Project filed July 27, 2010, as Document No. 2010075451, records of Bernalillo County, New Mexico. (Does Not Affect Subject Portion of Tract A-1-A-1)
- Tenancy in Common Agreement by and between CPP Paseo I LLC, a Delaware limited liability company and CPP Paseo II LLC, a Delaware limited liability company, filed October 15, 2015, as Document No. 2015090473, records of Bernalillo County, New Mexico. (Non Survey Matter)

## ALTA / NSPS. LAND TITLE SURVEY OF A PORTION OF TRACT A-1-A-1 THE PLAZA AT PASEO DEL NORTE CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO DECEMBER, 2020

### LEGAL DESCRIPTION

As listed within the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment SP000091781, commitment date November 30, 2020.

#### PARCEL 1:

a Portion of Tract A-1-A-1 of THE PLAZA AT PASEO DEL NORTE, within the Town of Alameda Grant, Projected Section 18, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico on October 27, 2011 in Map Book 2011C, folio 114 as Document No. 2011027886.

#### PARCEL 2:

Non-exclusive rights of Easement for Parking, Access, Drainage and Utilities in accord with Plats recorded in the Office of the County Clerk of Bernalillo County, New Mexico in Map Book C37, folio 125 and in Map Book 90C, folio 151, and in Map Book 94C, folio 113 and as amended in Map Book 97C, folio 65, to the extent of and only for the duration as provided for therein.

#### PARCEL 3:

Non-exclusive rights of Easement for Ingress and Egress and Utilities in accord with the Construction, Operation and Reciprocal Easement Agreement, recorded as Document No. 892788, and by First Amendment to Construction, Operation and Reciprocal Easement Agreement, recorded as Document No. 1999092064, in the Office of the County Clerk of Bernalillo County, New Mexico, to the extent of and only for the duration as provided for therein.

#### PARCEL 4:

Non-exclusive rights of Easement for Ingress and Egress and Utilities in accord with the Construction, Operation and Reciprocal Easement Agreement, recorded as Document No. 93148381, filed in the Office of the County Clerk of Bernalillo County, New Mexico, to the extent of and only for the duration as provided for therein.

### FLOOD ZONE DETERMINATION

The subject property (as shown hereon) appears to lie within Zone "X" (areas determined to be outside 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0116G, Effective Date 09-26-2008.

### DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

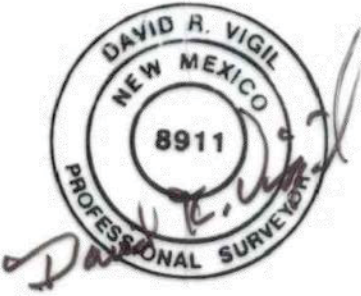
- Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment SP000091781, commitment date November 30, 2020.
- Plat entitled, "Plat of Tract A-1-A-1, The Plaza at Paseo Del Norte", filed October 27, 2011 in Book 2011C, Page 114, records of Bernalillo County, New Mexico.
- Plat entitled, "Plat of Tracts A-1, A-2, A-3 and A-4, The Plaza at Paseo Del Norte", filed April 7, 1994 in Book 94C, Page 113, records of Bernalillo County, New Mexico.
- Plat entitled, "Plat of The Plaza at Paseo Del Norte", filed June 28, 1990, in Book 90C, Page 151, records of Bernalillo County, New Mexico.
- Plat entitled, "Plat for The Plaza at Paseo Del Norte, tracts A-1-A, A-2-A, A-3-A, A-4-A, B-1, C-1, D AND E" filed February 27, 1997 in Book 97C, Page 65, records of Bernalillo County, New Mexico.

### SURVEYORS CERTIFICATION

To: JPMorgan Chase Bank, N.A.; CPP Paseo I LLC, a Delaware limited liability company; CPP Paseo II LLC, a Delaware limited liability company and Fidelity National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 5, 7(a), 7(b)(1), 7(c), 8, 11, 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on December 11, 2020.

David Vigil  
NMSPS No. 8911  
Date: December, 2020



## EXISTING SURVEY

C2.01

SHEET 1 OF 2

**SURV-TEK**

Consulting Surveyors  
Albuquerque, New Mexico

200419

Phone: 505-897-3366



AL.T.A. / N.S.P.S. LAND TITLE SURVEY OF  
A PORTION OF TRACT A-1-A-1  
THE PLAZA AT PASEO DEL NORTE  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY  
NEW MEXICO  
DECEMBER, 2020

KEYED EASEMENTS

- 16 1 Public Sidewalk Easement granted to the City of Albuquerque by plat filed October 27, 2011, in Plat Book 2011C, Page 114.
- 16 2 Easement granted to N.M. Utilities by plat filed June 28, 1990, in Volume 90C, Folio 151.
- 16 3 10' Easement granted to N.M. Utilities by plat filed June 28, 1990, in Volume 90C, Folio 151.
- 16 4 10' Utility Easement granted by document filed February 10, 1966 in Book D796, Page 907.
- 14 5 Remainder 6' Easement granted by document filed July 15, 1960, in Book D552, Page 151.
- 15 6 10' Easement granted to Gas Co. of N.M. by plat filed June 28, 1990, in Volume 90C, Folio 151.
- 16 7 Public Sidewalk Easement granted to the City of Albuquerque by plat filed October 27, 2011, in Plat Book 2011C, Page 114.
- 16 8 Remainder 10' Easement granted by document filed July 15, 1960, in Book D552, Page 151.

LEGEND

- Concrete Surface
- Sanitary Sewer Manhole
- Sanitary Sewer Clean-out
- Water Meter
- Water Valve
- Electric Transformer
- Light Pole
- Bollard
- Gas Meter
- Qwest Manhole
- Irrigation Box
- Top of building corner is approximately 10.2' above adjacent grade at this location
- Storm Drain Inlet
- SAS Sanitary Sewer Line
- W Waterline
- G Gas Line

10 5 0 20  
Scale 1" = 20'

EXISTING SURVEY  
C2.02

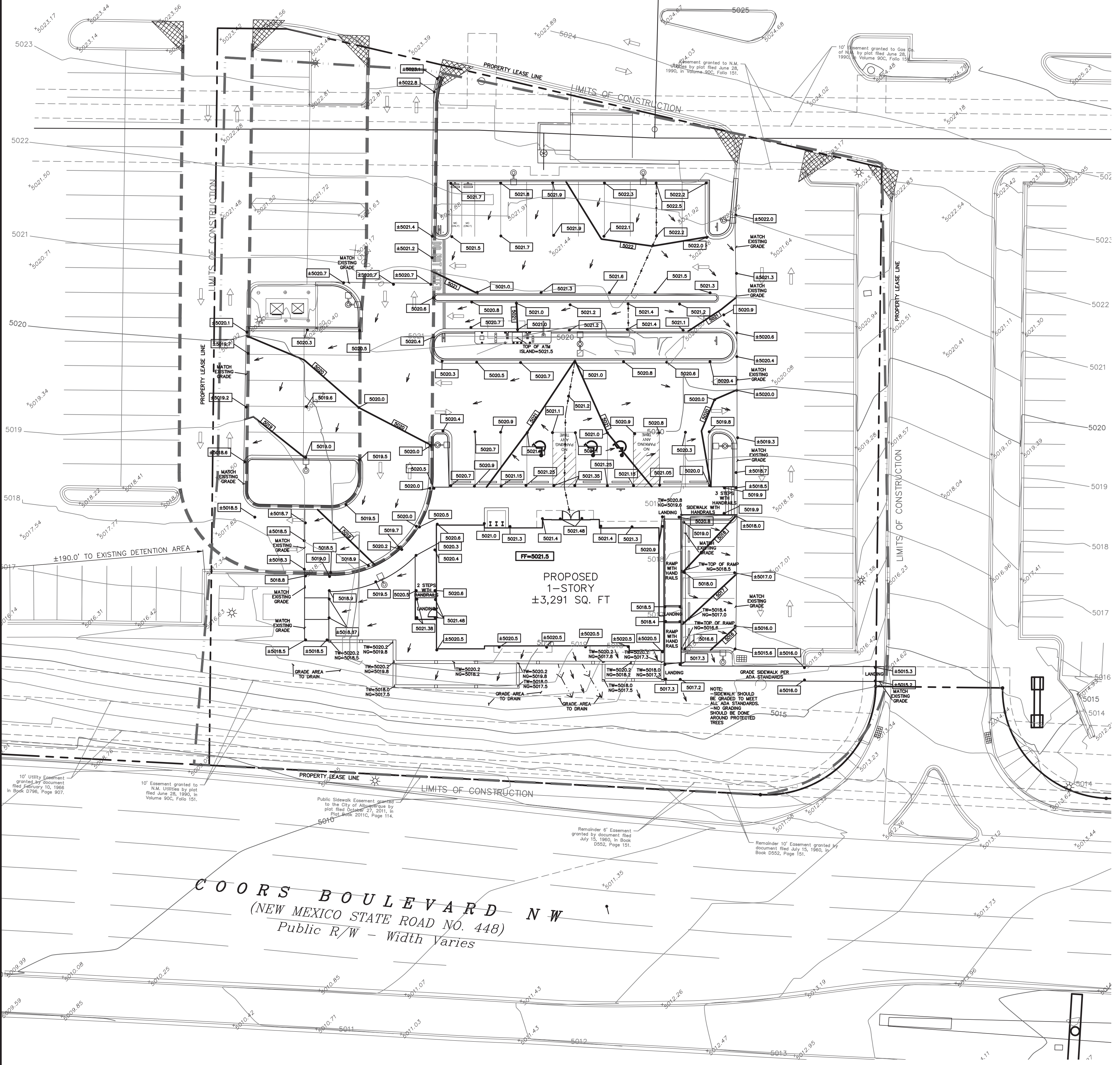
SHEET 2 OF 2

**SURV TEK**

Consulting Surveyors  
N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3368





**LEGEND**

- EXISTING CURB
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTIONAL FLOW ARROW
- PROPOSED VALLEY
- PROPOSED RIDGE

0 20 40  
DRAWING SCALE  
1"=20'

- GRADING NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
  - BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
  - THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL AND SOLE RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
  - BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARKS PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKERS ARE LOST OR DISTURBED AND ARE NEEDED TO BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
  - EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
  - ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
  - DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
  - ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
  - SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
  - SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.

THE EXISTING SITE TOPOGRAPHY WITHIN THE PROPERTY HAS A  $\pm 4.3\%$  SLOPE DOWN TOWARDS COORS BOULEVARD NW. AT APPROXIMATELY 40 FEET FROM COORS BOULEVARD RIGHT-OF-WAY THE SLOPE INCREASES TO  $\pm 26\%$ . THE SOUTHWESTERN PORTION OF THE EXISTING DEVELOPMENT THE PAVEMENT SLOPES TOWARDS THE SOUTH-WEST TOWARDS AN EXISTING  $\pm 51,000$  CU. FT. DETENTION POND.

THE PROPOSED DEVELOPMENT WILL UTILIZE THE EXISTING SITE TOPOGRAPHY. THE PARKING LOT LOCATED IN THE NORTHERN PORTION OF THE PROPOSED BUILDING WILL RETAIN THE EXISTING SLOPE DOWN TO THE SOUTH-EAST. THE WESTERN PORTION WILL SLOPE TO THE SOUTH-WEST AND DRAIN TOWARDS THE EXISTING DETENTION POND LOCATED  $\pm 190$  FT.

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 03/18/21  
BY: *Rosalee C. Bruneau*  
HydroTrans #: C13D035

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE  
CONSIDERED WITHOUT VERIFICATION OF ANY CITY  
ENGINEER OR STATE LAW AND SHALL NOT BE  
THE CITY OF ALBUQUERQUE'S FINAL REQUIREMENT  
CORRECTION OR REVISIONS SHALL BE APPROVED BY PLANS  
SPECIFICATIONS CONTRACTOR SHALL BE RESPONSIBLE FOR  
SHALL NOT BE THE CONTRACTOR'S RESPONSIBILITY TO  
REVISIONS

**!!! CAUTION !!!**

**UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

**BENCHMARK**

ALBUQUERQUE CONTROL SURVEY MONUMENT "DOUGLAS" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1505417.495 E=1520286.421  
GROUND TO GRID FACTOR=0.999682452, DELTA ALPHA = - 00'13'52.53"  
ELEVATION=4975.078 NAVD88

ALBUQUERQUE CONTROL SURVEY MONUMENT "13\_C15" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1520736.123 E=1527665.310  
GROUND TO GRID FACTOR=0.999678880, DELTA ALPHA = - 00'13'02.61"  
ELEVATION=5008.218 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

Cumulus Design  
2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367

Paul M. Cragin  
NEW MEXICO  
24234  
PROFESSIONAL ENGINEER  
3/8/2021

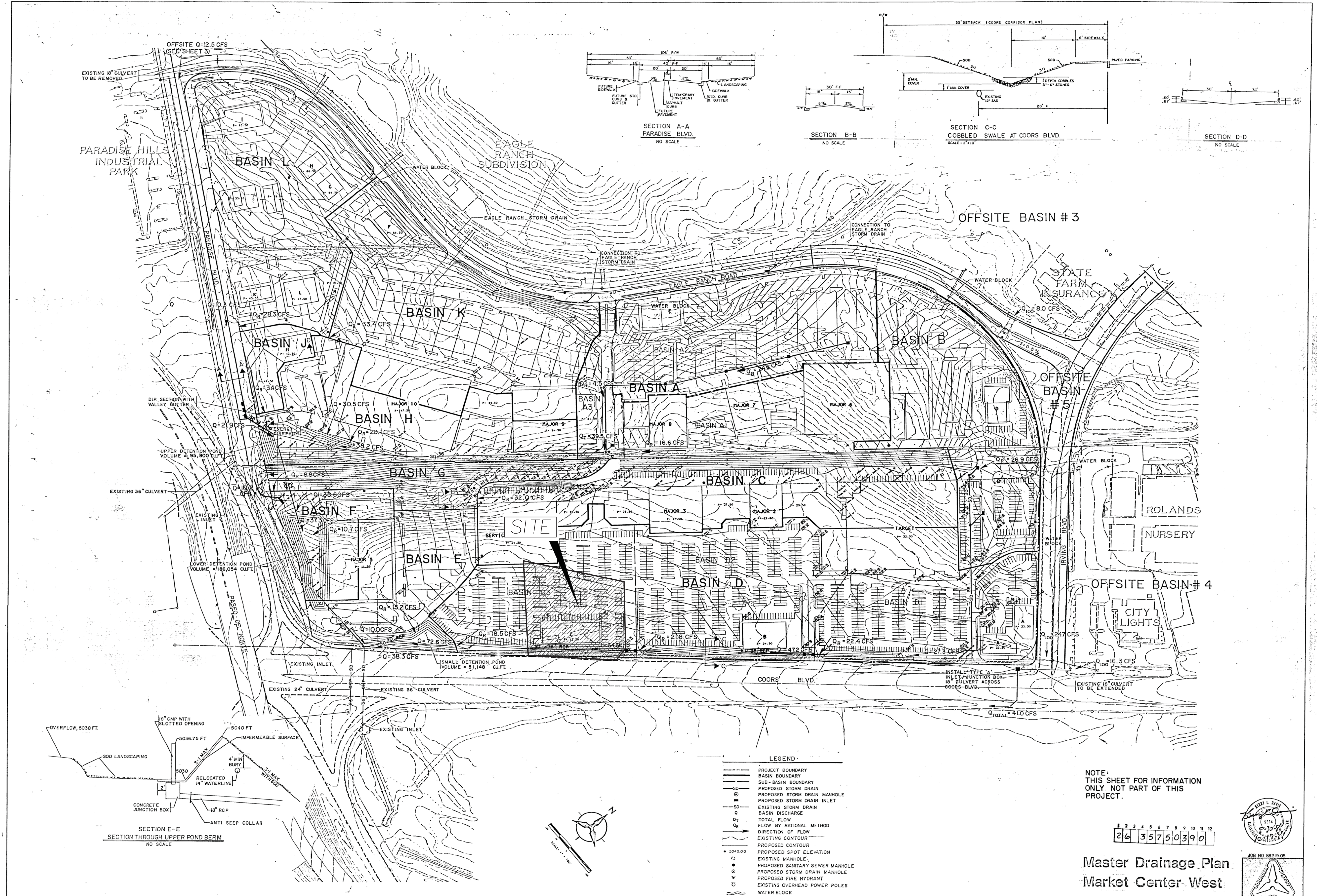
GRADING PLAN

9261 COORS BOULEVARD NW  
CITY OF ALBUQUERQUE, NEW MEXICO  
BERNALILLO COUNTY

PLOT DATE  
02/23/21  
DRAWING SCALE  
1" = 20'  
PROJECT NUMBER  
CDC20021  
SHEET NUMBER  
C5.01

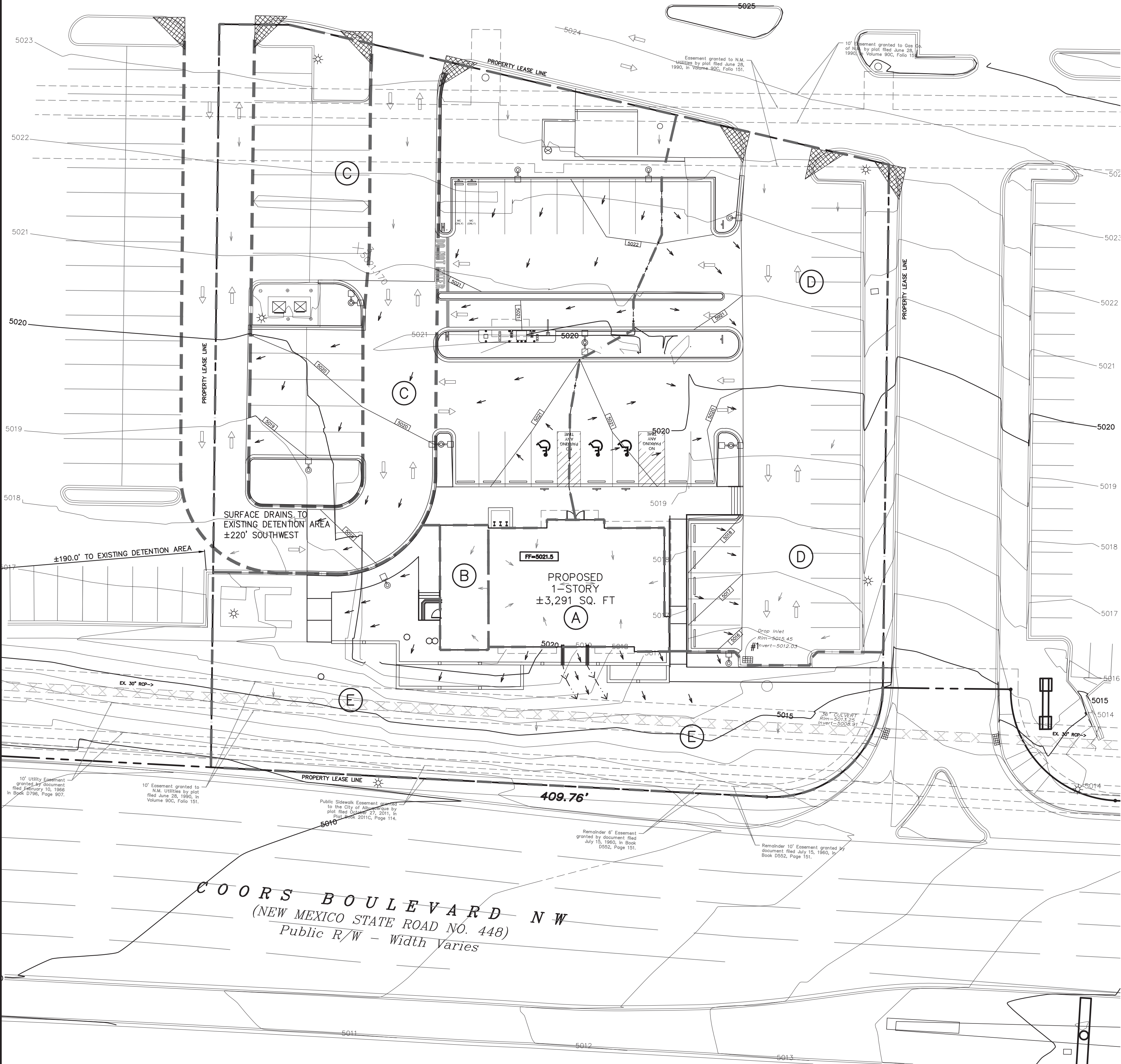
This drawing is the property of Cumulus Design and shall not be reproduced, copied, or used in any way without the express written authorization of Cumulus Design.





This drawing is the property of Cumulus Design and is not to be reproduced or used in any manner without the express written permission of Cumulus Design.





- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPOSED CONTOUR
  - PROPOSED VALLEY
  - PROPOSED RIDGE
  - EXTREME EVENT (100-YEAR) SHEET FLOW DIRECTIONS ARROW
  - DRAINAGE AREA DIVIDE
  - AREA DESCRIPTION

REFER TO SHEET C8.02 FOR DRAINAGE CALCULATIONS

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 03/18/21  
BY: *Ronald Borasello*  
HydroTrans #: C13D035

**!!! CAUTION !!!**  
**UNDERGROUND UTILITIES**  
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.  
**CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.**

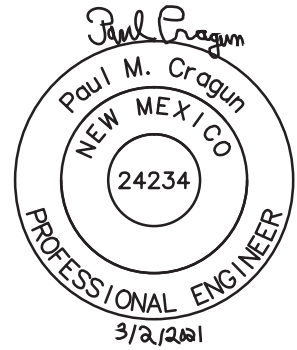
**811**  
CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

**BENCHMARK**  
ALBUQUERQUE CONTROL SURVEY MONUMENT "DOUGLAS" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1505417.495 E=1520286.421  
GROUND TO GRID FACTOR=0.999682452, DELTA ALPHA = - 00°13'52.53"  
ELEVATION=4975.078 NAVD88

ALBUQUERQUE CONTROL SURVEY MONUMENT "13\_C15" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1520736.123 E=1527665.310  
GROUND TO GRID FACTOR=0.999678880, DELTA ALPHA = - 00°13'02.61"  
ELEVATION=5008.218 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.



**DRAINAGE AREA MAP**  
9261 COORS BOULEVARD NW  
CITY OF ALBUQUERQUE, NEW MEXICO  
BERNALILLO COUNTY

**CHASE**

|                |
|----------------|
| PLOT DATE      |
| 02/23/21       |
| DRAWING SCALE  |
| PROJECT NUMBER |
| CDC20021       |
| SHEET NUMBER   |
| C8.01          |



Copyright 2020 Cumulus Design. All Rights Reserved.  
No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written authorization of Cumulus Design is prohibited.

**!!! CAUTION !!!**  
**UNDERGROUND UTILITIES**  
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.  
**CALL: NEW MEXICO ONE CALL ☎ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.**

\\SERVER-PC\SERVER\2020 CDC PROJECTS\CDC20021 - COORS BLVD AND PASEO\PLANS\PROPOSED DRAINAGE AREA MAP CDC20021.DWG

**DRAINAGE CRITERIA**  
ZONE 1  
 $Q=C*I*A$   
 $I_2=1.76$  in/hr  
 $I_{10}=2.85$  in/hr  
 $I_{100}=4.58$  in/hr  
 $t_c=12$  min.

| PROPOSED DRAINAGE DATA CHART |                |            |                |                 |                  |                      |                        |                         |                          |                      |                       |                        |   |
|------------------------------|----------------|------------|----------------|-----------------|------------------|----------------------|------------------------|-------------------------|--------------------------|----------------------|-----------------------|------------------------|---|
| DRAINAGE ID                  | AREA (SQ. FT.) | AREA (AC.) | C <sub>2</sub> | C <sub>10</sub> | C <sub>100</sub> | T <sub>c</sub> (min) | I <sub>2</sub> (in/hr) | I <sub>10</sub> (in/hr) | I <sub>100</sub> (in/hr) | Q <sub>2</sub> (cfs) | Q <sub>10</sub> (cfs) | Q <sub>100</sub> (cfs) | COMMENT   |
| A                            | 2574.5         | 0.06       | 0.89           | 0.54            | 0.91             | 12.0                 | 1.76                   | 2.85                    | 4.58                     | 0.09                 | 0.09                  | 0.25                   | DRAINS TO AREA "E"                                  |
| B                            | 716.0          | 0.02       | 0.89           | 0.54            | 0.91             | 12.0                 | 1.76                   | 2.85                    | 4.58                     | 0.03                 | 0.03                  | 0.07                   | DRAINS TO AREA "E"                                  |
| C                            | 23436.8        | 0.54       | 0.75           | 50.00           | 0.50             | 12.0                 | 1.76                   | 2.85                    | 4.58                     | 0.71                 | 76.67                 | 1.23                   | DRAINS TO SOUTHWEST TOWARDS EXISTING DETENTION AREA |
| D                            | 15852.9        | 0.36       | 0.76           | 0.51            | 0.84             | 12.0                 | 1.76                   | 2.85                    | 4.58                     | 0.49                 | 0.53                  | 1.40                   | DRAINS TO COORS BOULEVARD NW                        |
| E                            | 12613.0        | 0.29       | 0.28           | 0.39            | 0.60             | 12.0                 | 1.76                   | 2.85                    | 4.58                     | 0.14                 | 0.32                  | 0.80                   | DRAINS TO INLET "1"                                 |
| TOTAL                        | 55193.1        | 1.27       |                |                 |                  |                      |                        |                         |                          | 1.46                 | 77.64                 | 3.74                   |   |

CALCULATIONS ARE BASED ON THE RATIONAL METHOD FROM CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 6 – DRAINAGE, FLOOD CONTROL AND EROSION CONTROL DATED 06/08/2020

| COMPOSITE ANALYSIS FOR RUNOFF COEFFICIENT |                    |                  |                       |                     |                        |                      |                         |                       |                      |                       |                        |  |
|---|--------------------|------------------|-----------------------|---------------------|------------------------|----------------------|-------------------------|-----------------------|----------------------|-----------------------|------------------------|--|
| DRAINAGE ID                               | PERCENT IMPERVIOUS | PERCENT PERVIOUS | C IMPERVIOUS (2 year) | C PERVIOUS (2 year) | C IMPERVIOUS (10 year) | C PERVIOUS (10 year) | C IMPERVIOUS (100 year) | C PERVIOUS (100 year) | COMPOSITE C (2 year) | COMPOSITE C (10 year) | COMPOSITE C (100 year) |  |
| A   | 100.0              | 0.0              | 0.89                  | 0.08                | 0.54                   | 0.34                 | 0.91                    | .50                   | 0.89                 | 0.54                  | 0.91                   |  |
| B   | 100.0              | 0.0              | 0.89                  | 0.08                | 0.54                   | 0.34                 | 0.91                    | .50                   | 0.89                 | 0.54                  | 0.91                   |  |
| C   | 82.2               | 17.8             | 0.89                  | 0.08                | 0.54                   | 0.34                 | 0.91                    | .50                   | 0.75                 | 0.50                  | 0.84                   |  |
| D   | 83.7               | 16.3             | 0.89                  | 0.08                | 0.54                   | 0.34                 | 0.91                    | .50                   | 0.76                 | 0.51                  | 0.84                   |  |
| E   | 25.0               | 75.0             | 0.89                  | 0.08                | 0.54                   | 0.34                 | 0.91                    | .50                   | 0.28                 | 0.39                  | 0.60                   |  |

$SWQV= 0.26 \times \text{NEW IMPERVIOUS AREA} \times 1/12$   
 $SWQV= 0.26 \times 21,342 \text{ SQ. FT.} \times 1/12$   
 $SWQV=462.41 \text{ CU. FT.}$   
 $\text{PAYMENT-IN-LIEU}= SWQV \times \$8.00/\text{CU. FT.}$   
 $\text{PAYMENT-IN-LIEU}=462.41 \text{ CU. FT.} \times \$8.00/\text{CU. FT.}$   
 $\text{PAYMENT-IN-LIEU}= \$3699.28$   
REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

| WEIGHTED ANALYSIS FOR 6-HOUR EXCESS PRECIPITATION, 'E' |                  |                  |                       |                       |                            |                             |
|--|------------------|------------------|-----------------------|-----------------------|----------------------------|-----------------------------|
| DRAINAGE ID  | LAND TREATMENT B | LAND TREATMENT D | AREA LAND TREATMENT B | AREA LAND TREATMENT D | WEIGHTED E (100 year) (IN) | VOLUME (100 year) (ACRE-FT) |
| A  | 0.86             | 2.58             | 0.000                 | 0.060                 | 2.580                      | 0.045                       |
| B  | 0.86             | 2.58             | 0.000                 | 0.020                 | 2.580                      | 0.009                       |
| C  | 0.86             | 2.58             | 0.076                 | 0.462                 | 2.338                      | 0.055                       |
| D  | 0.86             | 2.58             | 0.028                 | 0.3363                | 2.449                      | 0.016                       |
| E  | 0.86             | 2.58             | 0.249                 | 0.0405                | 1.101                      | 0.007                       |
|  |                  |                  |                       | TOTAL VOLUME          |                            | 0.132                       |

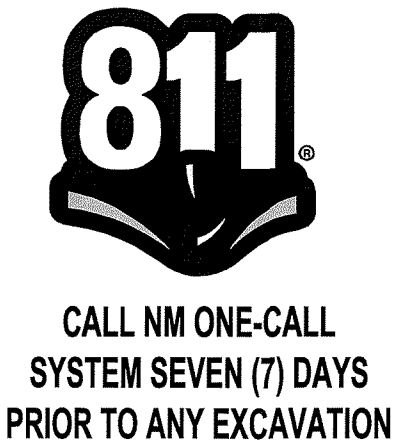


THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

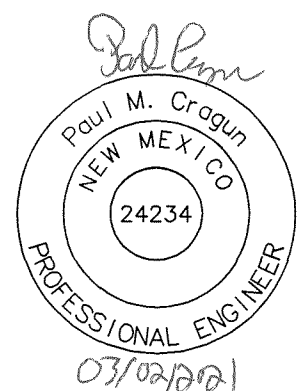
**BENCHMARK**  
ALBUQUERQUE CONTROL SURVEY MONUMENT "DOUGLAS" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1505417.495 E=1520286.421  
GROUND TO GRID FACTOR=0.999682452, DELTA ALPHA = - 00°13'52.53"  
ELEVATION=4975.078 NAVD88

ALBUQUERQUE CONTROL SURVEY MONUMENT "13\_C15" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1520736.123 E=1527665.310  
GROUND TO GRID FACTOR=0.999678880, DELTA ALPHA = - 00°13'02.61"  
ELEVATION=5008.218 NAVD88

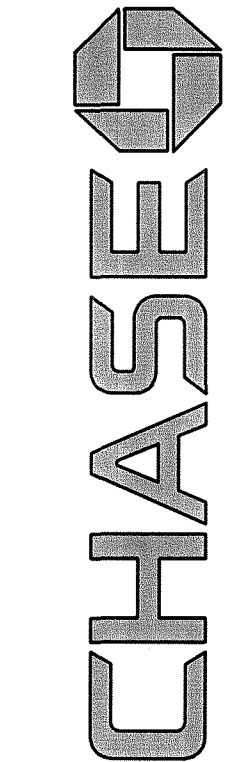
CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.



**Cumulus Design**  
2080 N. Highway 360, Suite 240  
Grand Prairie, Texas 75050  
Tel. 214.235.0367



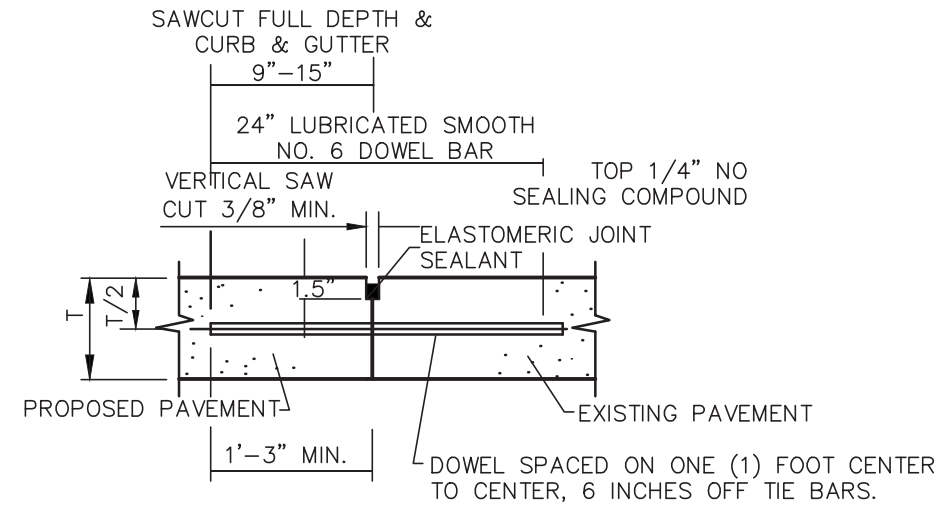
**DRAINAGE AREA MAP**  
9261 COORS BOULEVARD NW  
CITY OF ALBUQUERQUE, NEW MEXICO  
BERNALILLO COUNTY



PLOT DATE  
03/18/21  
DRAWING SCALE  
PROJECT NUMBER  
CDC20021  
SHEET NUMBER  
C8.02



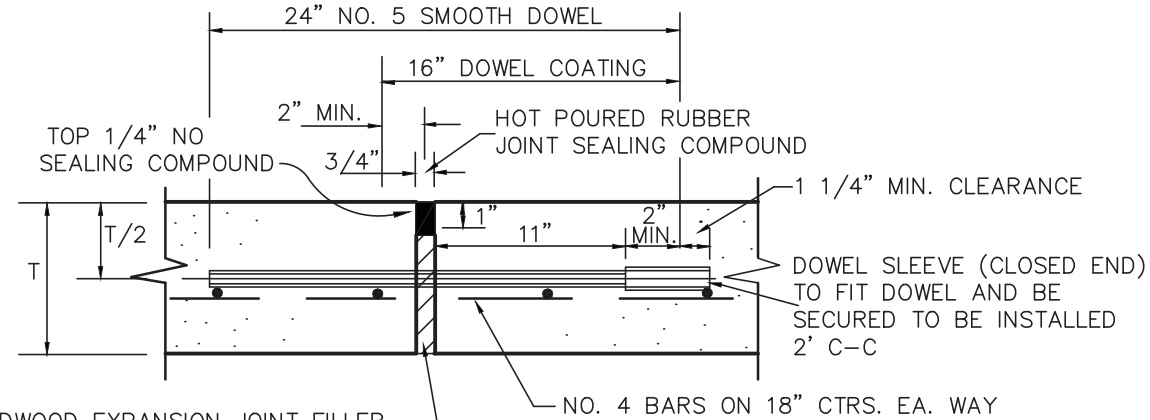
This drawing is the property of Cumulus Design and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Cumulus Design.



NOTE:  
DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

#### LONGITUDINAL BUTT JOINT

- NOTES:
- NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
  - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
  - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
  - DRILLED BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



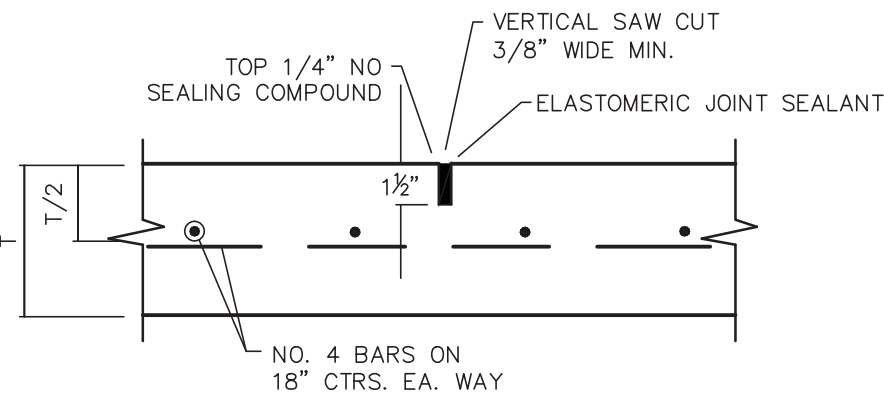
NOTE:  
DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE. LOCATED AS INDICATED OR AS NEEDED. JOINTS TO BE ON MAXIMUM OF 75' SPACING AND LOCATED AT POINTS OF INFLECTION AND MINIMUM CONCRETE WIDTH WHERE POSSIBLE.

T=THICKNESS OF PAVEMENT

#### EXPANSION JOINT

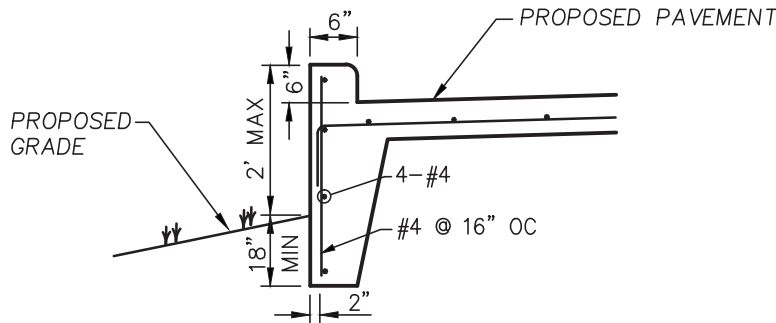
N.T.S.

NOTE: ALL JOINTS SHALL EXTEND THROUGH AND BE PERPENDICULAR CONCRETE CURBS AND SHALL MATCH SIDEWALK JOINTS WHERE APPLICABLE.



#### SAWED DUMMY (CONTROL) JOINT

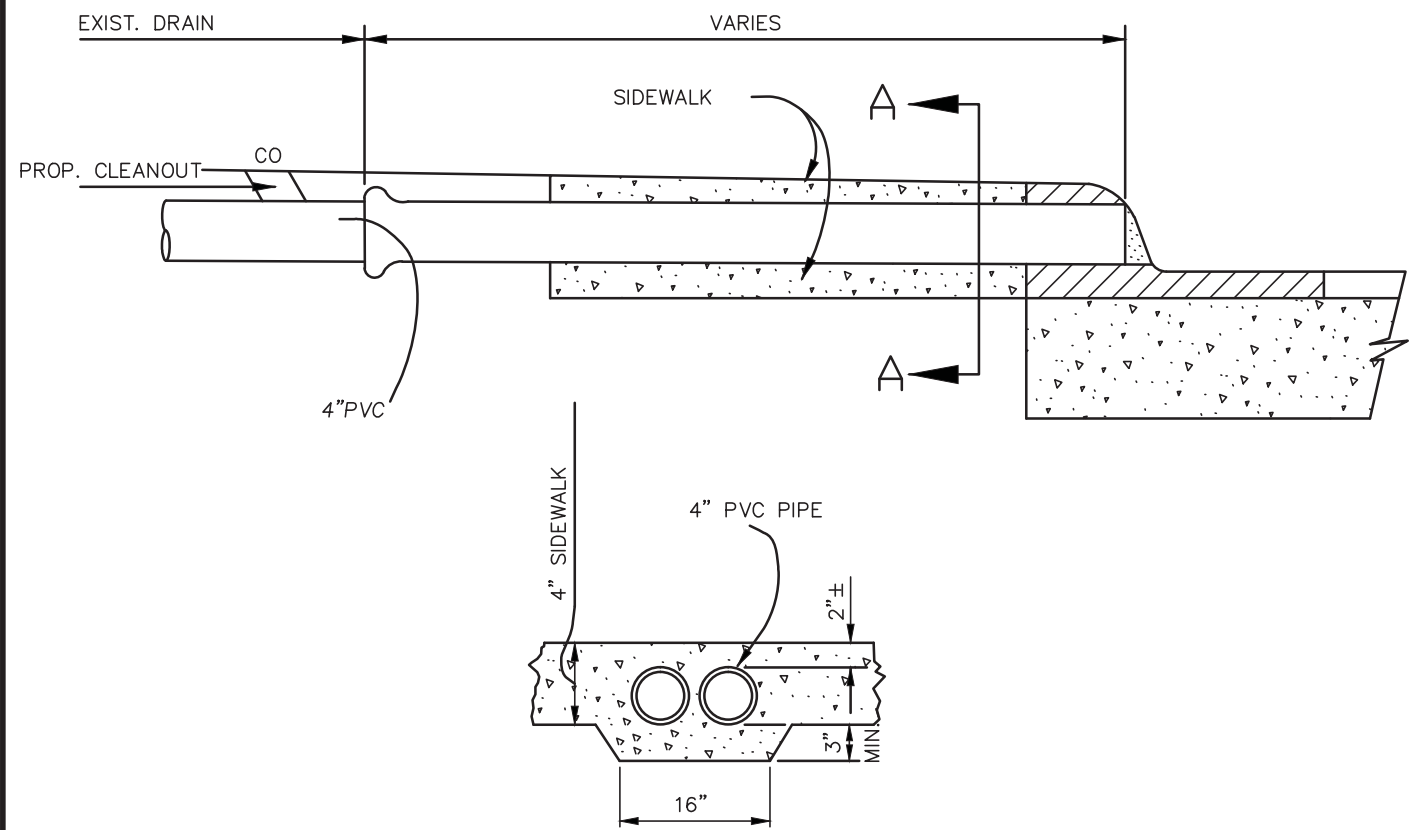
NOTE:  
MAXIMUM SPACING IS 15' CENTERS



#### TURN DOWN CURB DETAIL

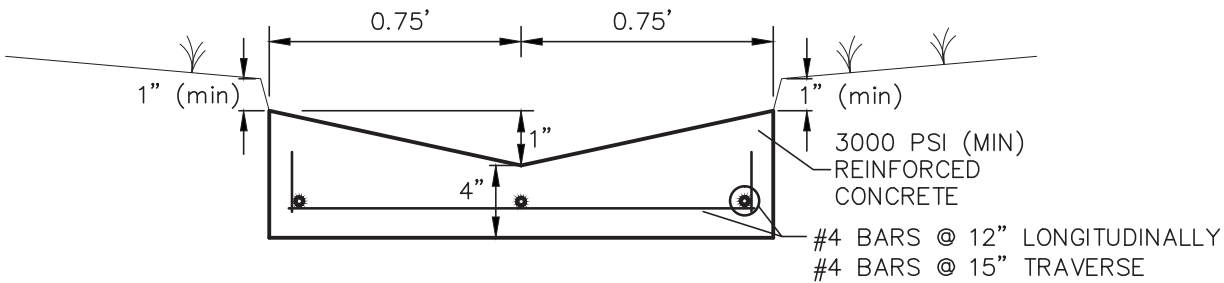
N.T.S.

### PAVEMENT DETAILS



#### ROOF DRAIN THROUGH CURB

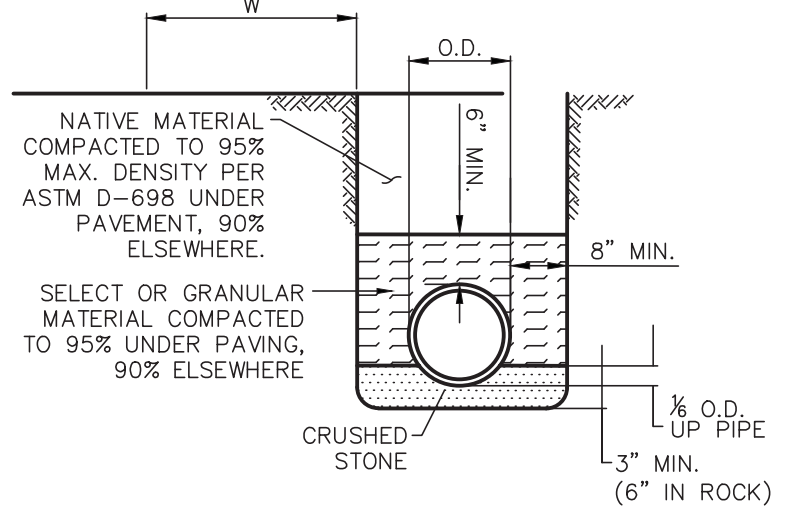
N.T.S.



#### CONCRETE DRAINAGE FLUME (NO CURB)

N.T.S.

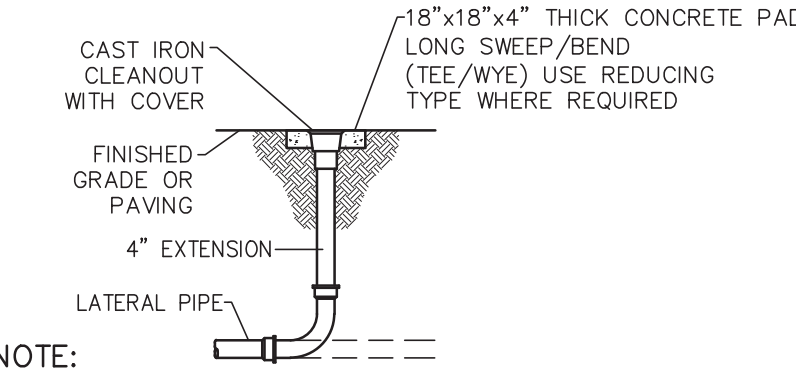
### DRAINAGE DETAILS



NOTE:  
THESE ARE EMBEDMENTS FOR PRIVATE LINES. FOR PUBLIC LINES, CITY STANDARD DETAILS CONTROL.

#### RCP, DUCTILE IRON & PVC WATER PIPE EMBEDMENT

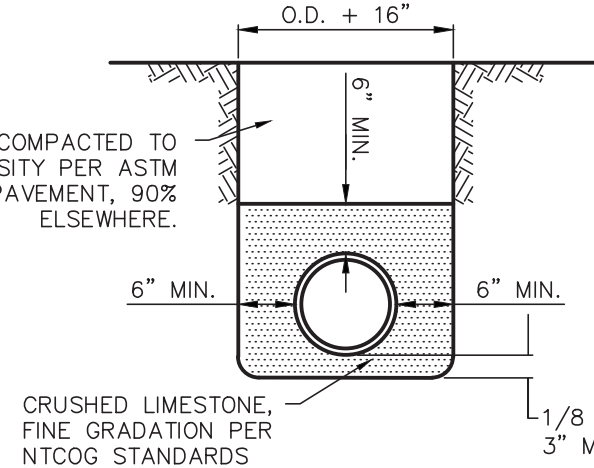
N.T.S.



NOTE:  
THESE ARE EMBEDMENTS FOR PRIVATE LINES. FOR PUBLIC LINES, CITY STANDARD DETAILS CONTROL.

#### STORM OR SANITARY CLEANOUT DETAIL

N.T.S.

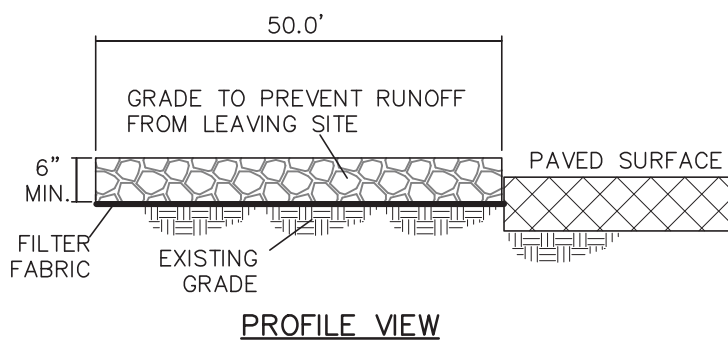


NOTE:  
THESE ARE EMBEDMENTS FOR PRIVATE LINES. FOR PUBLIC LINES, CITY STANDARD DETAILS CONTROL.

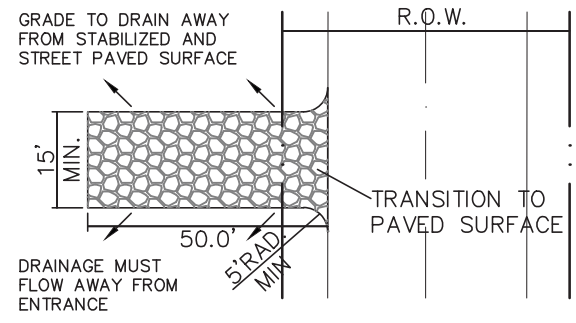
#### STORM AND SANITARY SEWER PIPE EMBEDMENT-PVC AND POLYETHYLENE

N.T.S.

### UTILITY DETAILS



#### PROFILE VIEW

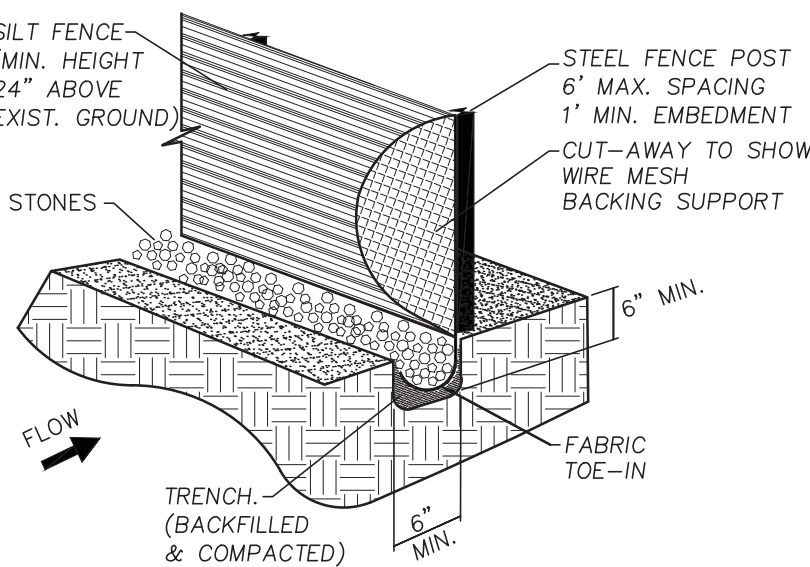


#### PLAN VIEW

- NOTES:
- STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
  - WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
  - THE ENTRANCE SHALL MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE A CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
  - THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

#### STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



- NOTES:
- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
  - THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
  - THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  - SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL SUPPORT POST. THERE SHALL BE A 6 INCH DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
  - INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHED A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

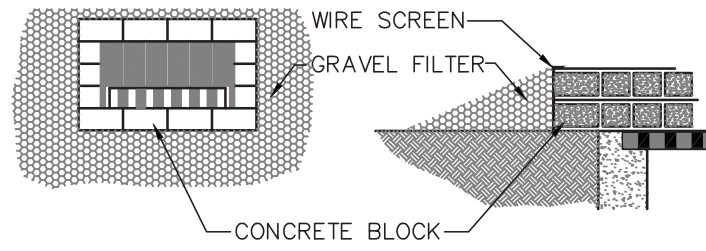
#### SILT FENCE

N.T.S.

BLOCK AND GRAVEL PROTECTION CONCRETE BLOCKS ARE TO BE PLACED ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH ENDS ABUTTING. OPENING IN THE BLOCKS SHOULD FACE OUTWARD, NOT UPWARD. WIRE MESH SHALL THEN BE PLACED OVER THE OUTSIDE FACE OF THE BLOCKS COVERING THE HOLES. FILTER STONE SHALL THEN BE PILED AGAINST THE WIRE MESH TO THE TOP OF THE BLOCKS WITH THE BASE OF THE STONE BEING A MINIMUM OF 18 INCHES FROM THE BLOCKS. PERIODICALLY, WHEN THE STONE FILTER BECOMES CLOGGED, THE STONE MUST BE REMOVED AND CLEANED IN A PROPER MANNER OR REPLACED WITH NEW STONE AND PILED BACK AGAINST THE WIRE MESH.

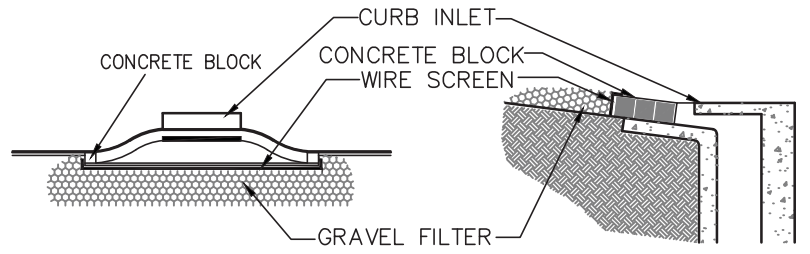
#### CONSTRUCTION NOTES - INLET PROTECTION

- THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION OR POLLUTION DEVICES AS REQUIRED DURING THE CONSTRUCTION PHASE IN ORDER TO COMPLETELY CONFORM TO THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY AND ALL OTHER AGENCIES HAVING JURISDICTION.
- CONTRACTOR AND OWNER SHALL FILE N.O.I. PER EPA REQUIREMENTS.
- ONSITE CURB INLET PROTECTION SHALL BE CONSTRUCTED UPON INSTALLATION OF APPLICABLE ON SITE STORM SEWER.



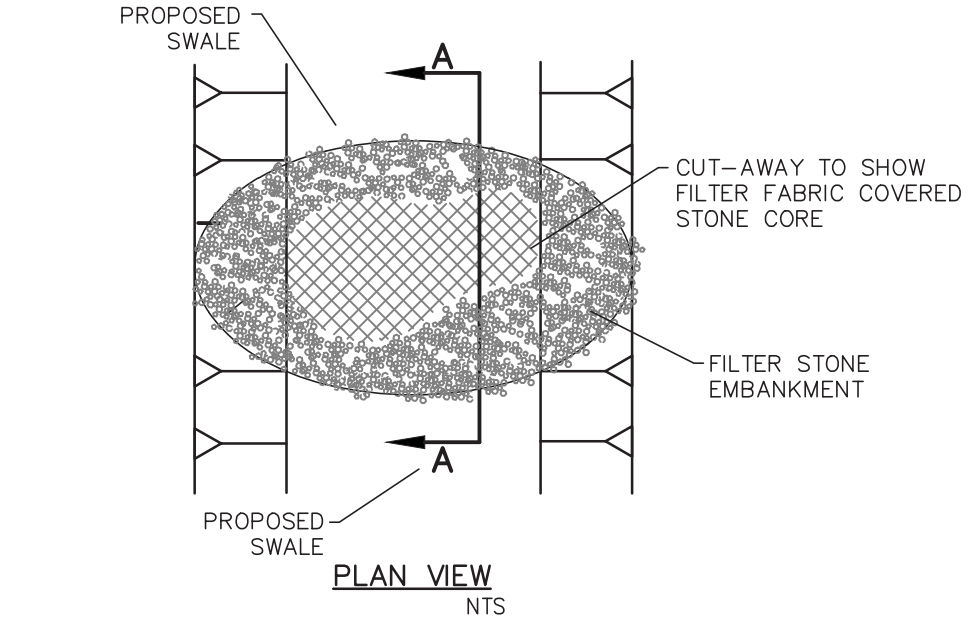
#### DROP INLET PROTECTION

N.T.S.



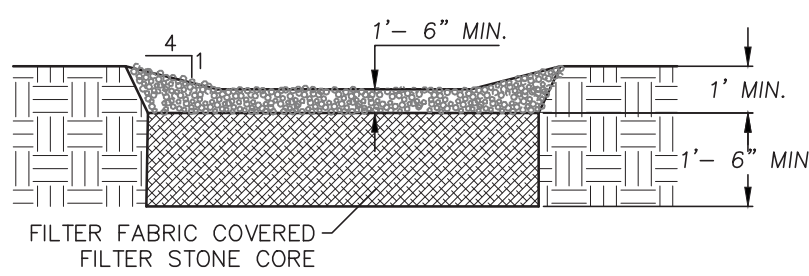
#### CURB INLET PROTECTION

N.T.S.



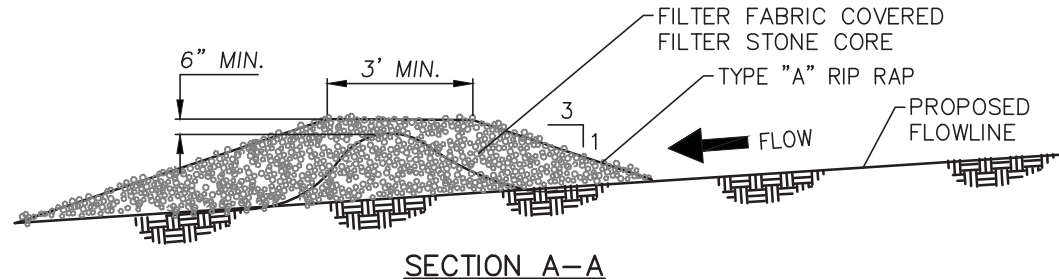
#### PLAN VIEW

NTS



#### PROFILE VIEW

NTS



#### SECTION A-A

NTS

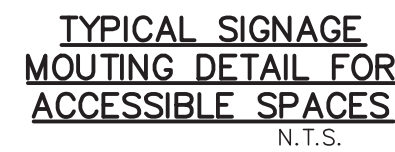
#### ROCK CHECK DAM

NTS

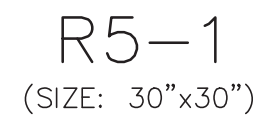
### EROSION CONTROL

NOTE:  
DETAILS ON THIS SHEET ARE PRIVATE. ALL WORK WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAY SHALL BE PER CITY (OR STATE, IF APPLICABLE) STANDARD DETAILS. THE CONTRACTOR IS REQUIRED TO HAVE ON-SITE, AT ALL TIMES, A COPY OF THE CITY'S CONSTRUCTION DETAILS.





STOP SIGN  
N.T.S.



DO NOT ENTER SIGN  
N.T.S.



## BICYCLE RACK DETAIL



**NOTE**  
 DETAILS ON THIS SHEET ARE PRIVATE. ALL WORK WITHIN  
 PUBLIC EASEMENTS OR RIGHT-OF-WAY SHALL BE PER CITY  
 (OR STATE, IF APPLICABLE) STANDARD DETAILS. THE  
 CONTRACTOR IS REQUIRED TO HAVE ON-SITE, AT ALL  
 TIMES, A COPY OF THE CITY'S CONSTRUCTION DETAILS.



DETAIL (PRIVATE)

6670 INDIAN SCHOOL ROAD

BERNALILLO COUNTY



PLOT DATE

02/23/21

PROJECT NUMBER

CDC20013

SHEET NUMBER

C12.02