

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 8, 2022

Carlos Iglesias
Cumulus Design
2080 N. Highway 360 #240
Grand Prairie, Tx 75050

RE: Chase Bank – Coors
9261 Coors Blvd. NW
Grading and Drainage Plan Stamp Date: 3/2/21
Certification Date: 4/4/22
Hydrology File: C13D035

Dear Mr. Iglesias:

PO Box 1293

Based on the resubmittal received on 4/5/22 and site visit on 4/7/22, this certification is approved in support of Release of Permanent Certificate Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

NM 87103

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Chase Bank -Coors Blvd **Building Permit #:** _____ **Hydrology File #:** C13D035
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract A1A1 Plaza at Paseo del Norte
City Address: 9261 Coors Blvd NW Albuquerque, NM 87114

Applicant: Cumulus Design **Contact:** Carlos Iglesias
Address: 2080 N. Highway 360 #240, Grand Prairie, Texas 75050
Phone#: 214-235-0367 **Fax#:** _____ **E-mail:** carlos@cumulusdesign.net
Owner: JP Morgan Chase Bank **Contact:** Sunil Dubey
Address: 7301 North Federal Blvd. Westminster, Colorado 80030
Phone#: 720-275-0480 **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

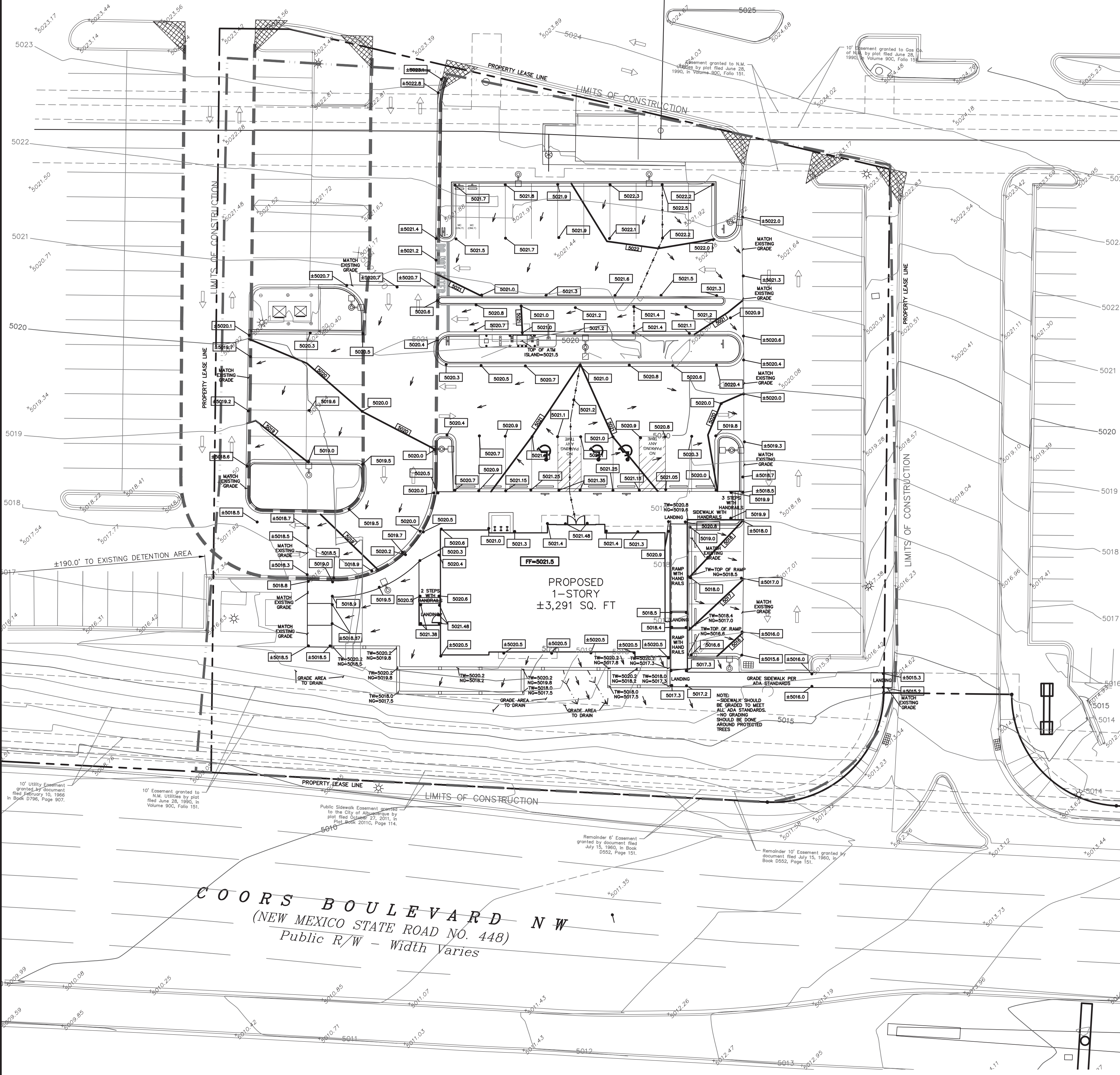
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: April 04, 2022 **By:** Carlos Iglesias

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

- EXISTING CURB
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTIONAL FLOW ARROW
- PROPOSED VALLEY
- PROPOSED RIDGE

LEGEND

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- PROPOSED VALLEY
- PROPOSED RIDGE

0 20 40

DRAWING SCALE
1"=20'

- GRADING NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
 - BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
 - THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL AND SOLE RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
 - BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARKS PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKERS ARE LOST OR DISTURBED AND ARE NEEDED TO BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
 - EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
 - ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
 - DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
 - ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
 - SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.

THE EXISTING SITE TOPOGRAPHY WITHIN THE PROPERTY HAS A $\pm 4.3\%$ SLOPE DOWN TOWARDS COORS BOULEVARD NW. AT APPROXIMATELY 40 FEET FROM COORS BOULEVARD RIGHT-OF-WAY THE SLOPE INCREASES TO $\pm 26\%$. THE SOUTHWESTERN PORTION OF THE EXISTING DEVELOPMENT THE PAVEMENT SLOPES TOWARDS THE SOUTH-WEST TOWARDS AN EXISTING $\pm 51,000$ CU. FT. DETENTION POND.

THE PROPOSED DEVELOPMENT WILL UTILIZE THE EXISTING SITE TOPOGRAPHY. THE PARKING LOT LOCATED IN THE NORTHERN PORTION OF THE PROPOSED BUILDING WILL RETAIN THE EXISTING SLOPE DOWN TO THE SOUTH-EAST. THE WESTERN PORTION WILL SLOPE TO THE SOUTH-WEST AND DRAIN TOWARDS THE EXISTING DETENTION POND LOCATED ± 190 FT.

CUMULUS DESIGN

DRAINAGE CERTIFICATION

I, Paul M. Cragin, NMPE or NMRA 24234, OF THE FIRM Cumulus Design, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03/20/21. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Paul Cragin OF THE FIRM Cumulus Design ON 10/22/2021. I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/22/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Paul Cragin ENGINEER'S OR ARCHITECT'S STAMP
Signature of Engineer or Architect

04/04/2022
Date

Cumulus Design c/o P.O. Box 2119 | Eureka, Texas 76039 | Phone: 214-235-0367

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 03/18/21
BY: Rosalee C. Bruneau
HydroTeam # C13D035

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSIDERED A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS.

!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

811

CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE CONTROL SURVEY MONUMENT "DOUGLAS" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1505417.495 E=1520286.421
GROUND TO GRID FACTOR=0.999682452, DELTA ALPHA = - 00'13'52.53"
ELEVATION=4975.078 NAVD88

ALBUQUERQUE CONTROL SURVEY MONUMENT "13_C15" NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NAD 83 AS PUBLISHED: N=1520736.123 E=1527665.310
GROUND TO GRID FACTOR=0.999678880, DELTA ALPHA = - 00'13'02.61"
ELEVATION=5008.218 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

Cumulus Design

2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



GRADING PLAN

9261 COORS BOULEVARD NW
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE

PLOT DATE
02/23/21

DRAWING SCALE
1" = 20'

PROJECT NUMBER
CDC20021

SHEET NUMBER
C5.01