

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 8, 2025

Treveston Elliott, RA
Treveston Elliott Architect
1317 Stagecoach Rd. SE
Albuquerque, NM 87102

Re: Valley View/ GYM/ The Commercial BLDG
9368 Valley View Dr NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 05-24-22 (C13-D036)
Certification dated 01-06-2025

Dear Mr. Elliott,

Based upon the information provided in your submittal received 01-07-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Prior to issue a Perm CO for the project mentioned above, the construction must be completed and debris removed from the site.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

TREVESTON ELLIOTT ARCHITECT

ALBUQUERQUE NM

o 505.259.4617

www TEarchitect.com

TRAFFIC CERTIFICATION

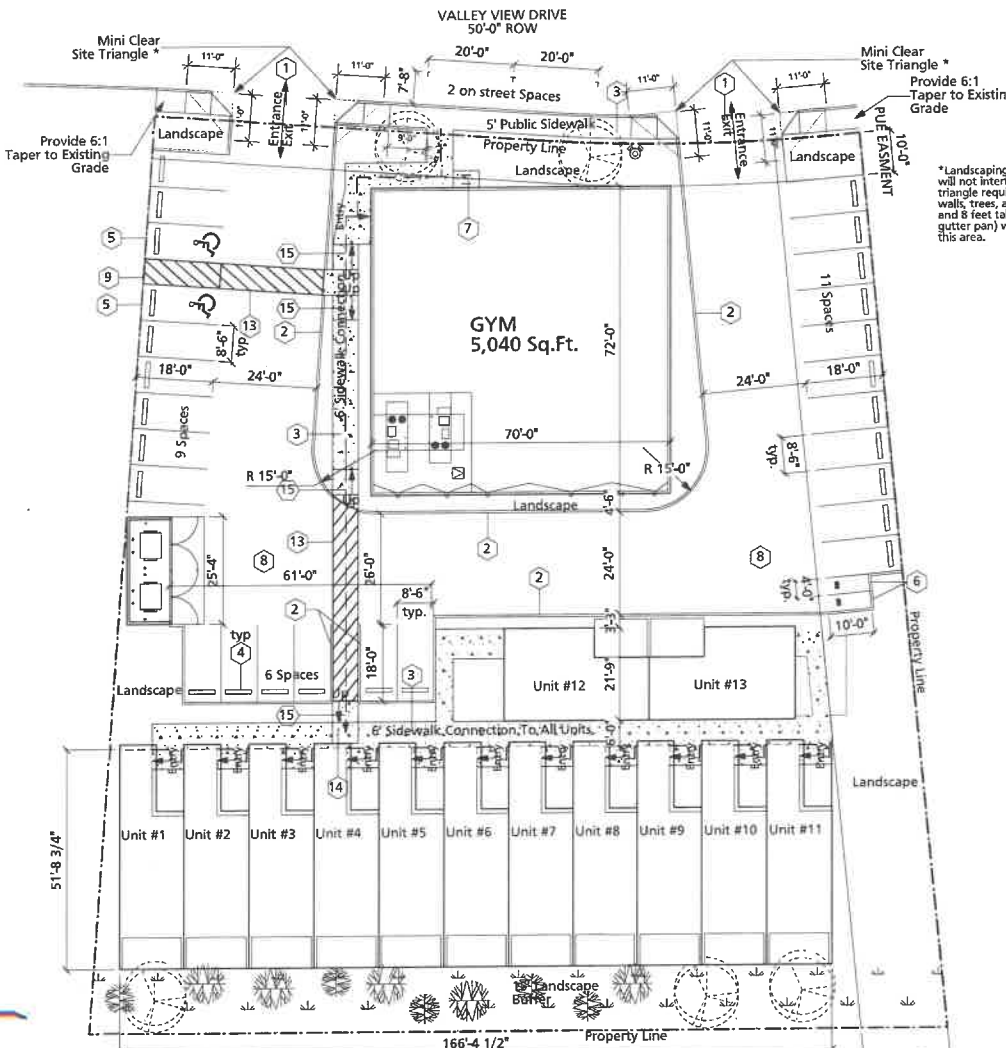
I, TREVESTON ELLIOTT ARCHITECT HEREBY CERTIFY THAT THE PROJECT AT 9368 VALLEY VIEW DRIVE NW, ALBUQUERQUE NEW MEXICO 87114 IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MAY 24, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TREVESTON ELLIOTT OF THE FIRM TREVESTON ELLIOTT ARCHITECT . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED EN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

WITH NO EXCEPTIONS.

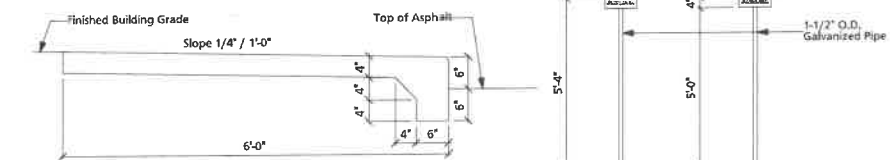
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Treveston Elliott RA



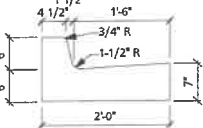


1 Site Plan
Scale: 1" = 20'-0"



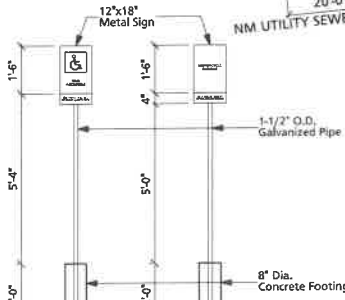
2 Standard Sidewalk Detail
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430 cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area. Concrete walks shall have contraction joints at 6' o.c. intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans. 1/2" Expansion joints shall be installed where walk abut rigid structures.

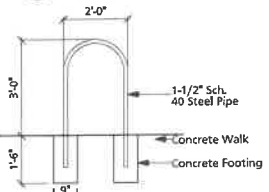


3 Standard Curb / Gutter Detail
Scale: 3/4" = 1'-0"

Provide 1/2" Expansion joints at 36' o.c. at immovable objects and at the beginning and end of curves. Provide contraction joints at 6' o.c. All exposed concrete corners to have 3/4" radius.



4 HC / Motorcycle Sign Detail
Scale: 3/8" = 1'-0"



5 Bike Rack
Scale: 3/8" = 1'-0"

Rack: min. 30" tall 18" wide U-Shape allows two place of attachment Upright Support Varying frame sizes accommodated No lift Attachment 2' min btwn racks Rack Centered on 6'x2' concrete pad

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

Date

5/26/22

ZONING

MX-L

Setbacks- 5 ft. Front
0 Interior
15 ft. rear
Height- 38 ft.

Open Space 250 sq.ft. / 2 Bedroom = 3,250 sq.ft. required

per unit open space = 117 sq.ft. front court / 111 sq.ft. deck = 228 sq.ft.
common open space = 1,513 sq.ft

Total 4,021 sq.ft. provided

PARKING REQUIREMENTS

No Traffic Impact Study is required.

Parking: 2.5/1,000 GSF Gym @5,000 = 12.5
1/ DU Townhome @13 Units = 13

Shared Parking Reduction TABLE 5-5-3
Other commercial / Residential
12.5 + 13 / 1.3 = 19

Total Spaces required = 19
Total Spaces provided = 28
2 HC Spaces
2 Motorcycle Spaces
2 Bicycle Spaces

MINIMUM LANDSCAPE

Site Area 38,474 sq.ft.
Building Footprint 13,669 sq.ft.
Parking Lot Area 12,370 sq.ft.
Sidewalk / Patio Area 1,608 sq.ft.

Landscape Area Required per 5-6(C)(2)(B) 15% of 24,805 sq.ft. = 3,720 sq.ft.
Landscape Area Provided: = 5,710 sq.ft.

Plant Material

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass mature 2' spread 3' hgt.
- Apache Plume mature 4' spread 3' hgt.
- Russian Sage mature 4' spread 4' hgt.

Landscape Requirements

Site Area 2.44 Acres 38,918 sq.ft.
Building #1 Footprint 2,544 sq.ft.
Building #2 Footprint 1,733 sq.ft.
Building #3 Footprint 4,729 sq.ft.
Total Buildings 9,006 sq.ft.

Landscape Area: 29,912 sq.ft.
Required Landscape % .15 sq.ft.

Landscape Area Required: 4,486 sq.ft.
Landscape Area Provided: 4,505 sq.ft.

Parking Lot Area 18,860 sq.ft.
Sidewalk Area 2,550 sq.ft.
Patio Area 1,000 sq.ft.

Irrigation System
Irrigation system standards outlined in the Water Conservation
Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

PROJECT SUMMARY

New Commercial Gym (5,000 sq.ft.) and 13 Townhouse Units in two buildings.

PROJECT INFORMATION

PROJECT ADDRESS

9368 Valley View Drive NW
Albuquerque, New Mexico 87114

APPLICABLE CODES

2015 International Building Code
2015 Uniform Plumbing Code
2015 Uniform Mechanical Code
2017 National Electrical Code
2018 International Energy Conservation Code

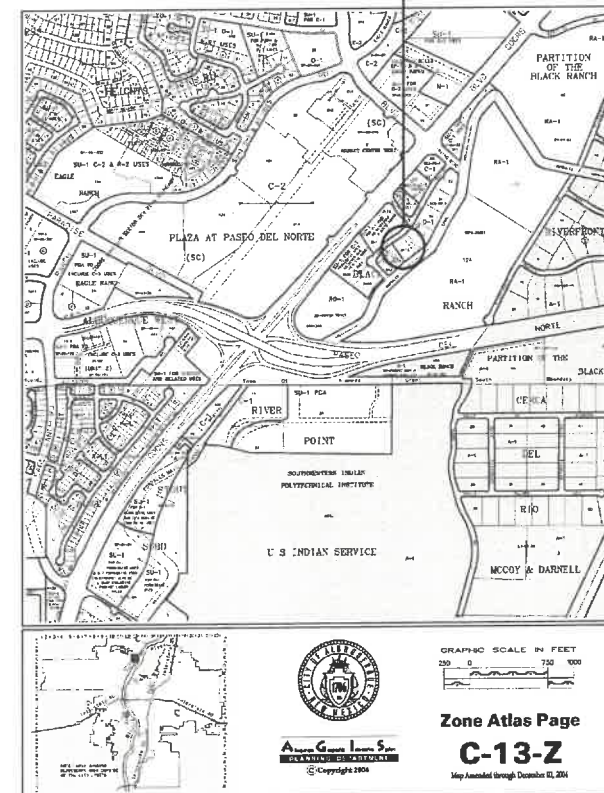
KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION, REFER TO CITY STANDARD DETAIL 2425
- CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION, REFER TO CITY STANDARD DETAIL 2415A SEE DETAIL #3 THIS SHEET
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION, REFER TO CITY STANDARD DETAIL 2430 SEE DETAIL #2 THIS SHEET
- 6" X 5.75" X 4" WHEEL STOP. PROVIDE (2) 18" LONG #4 REBAR STAKES AT EA. STOP WITH IN PARKING SPACES AS INDICATED SEE DETAIL TCL SHEET
- ADA ACCESSIBLE PARKING SIGN SEE DETAIL #4 THIS SHEET
- MOTORCYCLE PARKING SIGN SEE DETAIL #4 THIS SHEET WITH WORDS "MC" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
- BICYCLE RACK SEE DETAIL #5 THIS SHEET
- PARKING AND DRIVE AISLE FOR FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF APPARATUS WEIGHING AT LEAST 75,000 POUNDS. CONTRACTOR TO PROVIDE ENGINEER DATA FOR APPROVAL.
- PARKING STRIPING 2" WIDE X 2" O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT WITH 3"X3" HANDICAP SYMBOL AND WORDS "NO PARKING" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE A WORK ORDER
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER
- PARKING WHITE STRIPING 2" WIDE X 2" O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT
- ALL SIDEWALK LANDINGS TO HAVE MAX 2% SLOPE ALL DIRECTIONS
- MAX 1:12 SLOPE ON ALL RAMPS

LEGEND

- PROPERTY LINE
- NEW CONCRETE
- LANDSCAPE AREA
- LANDSCAPE BUFFER AREA

Project Site: 9368 Valley View Drive NW



TREVESTON ELLIOTT
ARCHITECT

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9368 Valley View Drive NW
ALBUQUERQUE, NEW MEXICO 87114



Date: May 24, 2022

Sheet: Traffic Circulation Layout

Zone Atlas Page

C-13-Z

Map Amended through December 31, 2024

TCL