

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 12, 2025

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
7632 William Moyers Avenue, NE
Albuquerque, NM 87114

RE: Townhomes
9368 Valley View Dr. NW
Grading and Drainage Plan
Engineer's Stamp Date: 05-2-2025
Hydrology File: C13D036

Dear Mr. Biazar,

Based upon the information provided in your submittal received 05/06/2025, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: 9368 VALLEY VIEW DR., NW Hydrology File # C13-D036

Legal Description: TRACT 3F-1-A, BLCK RANCH

City Address, UPC, OR Parcel: 9368 VALLEY VIEW DR., NW

Applicant/Agent: SBS CONSTRUCTION AND ENG., LLC Contact: SHAWN BIAZAR

Address: 7632 WILLIAM MOYERS AVE., NE, ALBUQUERQUE, NM 8722 Phone: 505-804-5013

Email: AECLLC@AOL.COM

Applicant/Owner: Contact:

Address: Phone:

Email:

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE
☐ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 5-3-2025

Location

This project is located at 9368 Valley View Dr., NW and contains 0.8834 acre.
See attached portion of Vicinity Map C-10-Z for exact location.

Purpose and Existing Condition

The purpose of this grading plan is to resolve the drainage issues for the townhouses in the back of property. These buildings have a bedroom window below the finish floor elevation. the windows are about 14" below finish floor of the building.

Proposed Conditions and On-Site Drainage Management Plan

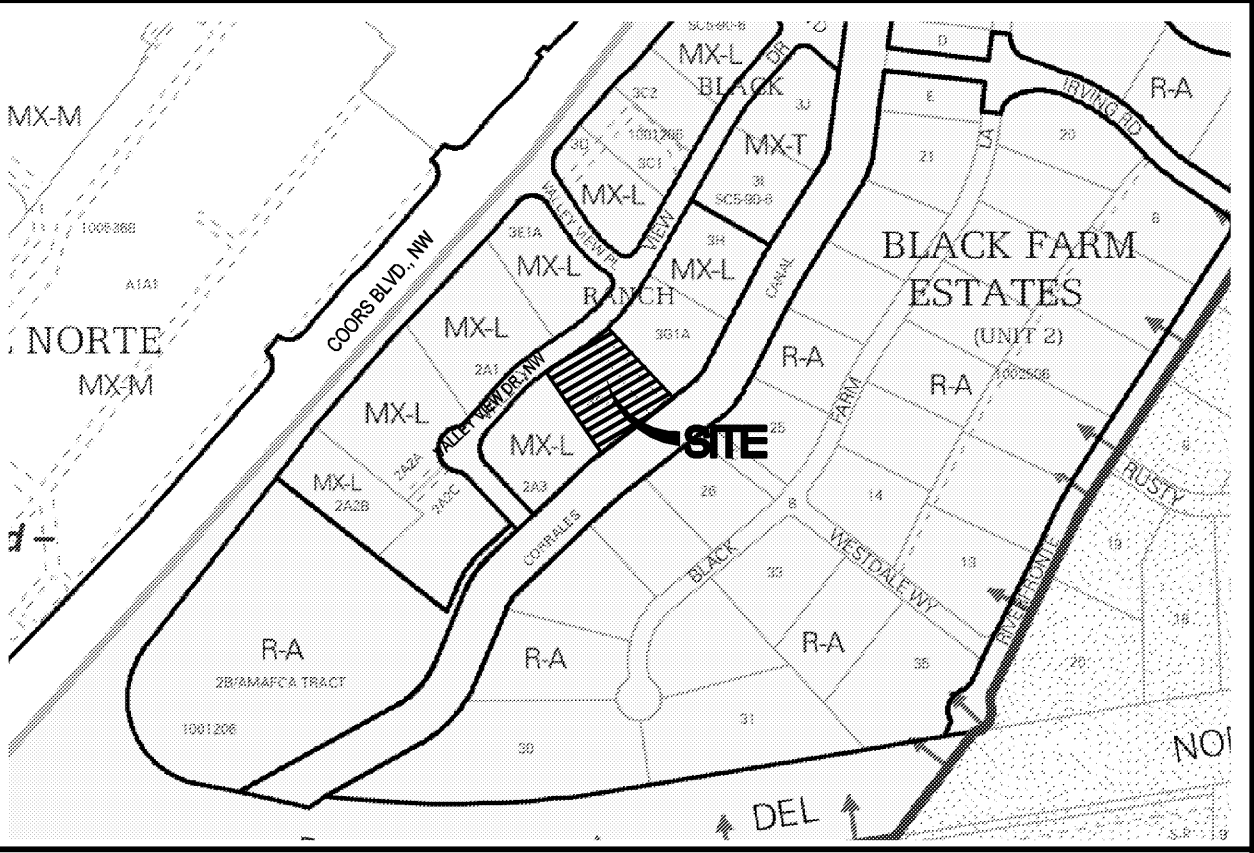
To manage the drainage issue for the windows that are below grade, we propose to provide ponding with riprap by the windows. The bottom of the ponds will be minimum of 10" below the windows with a 4" pipe draining into the proposed pond on site. In addition, we are proposing to install rain gutters in all the buildings that are open and have storm drain pipe installed. For the windows that do not have possibility to install storm drain pipe, we propose to install a roof cover for these buildingS. Please see the notes on each building.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 5/12/2025
BY: *Chris Alvarado*
HydroTeam #: C13D036

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

| LEGEND | |
|--|-----------------------------|
| --- | EXISTING CONTOUR (MAJOR) |
| --- | EXISTING CONTOUR (MINOR) |
| --- | BOUNDARY LINE |
| X 28.50 | PROPOSED SPOT ELEVATION |
| X 5029.16 | EXISTING GRADE |
| X 5075.65 FL | EXISTING FLOWLINE ELEVATION |
| █ | PROPOSED RETAINING WALL |
| BC=89.08 | BOTTOM OF CHANEL |
| TF=28.50 | TOP OF FOOTING |
| TRW=28.00 | TOP OF RETAINING WALL |
| HP | HIGH POINT |
| 88.65 85.47 | AS-BUILT GRADES |
| X 5325.64 FF=5326.60 FP=5325.90 | AS-BUILT SPOT ELEVATIONS |



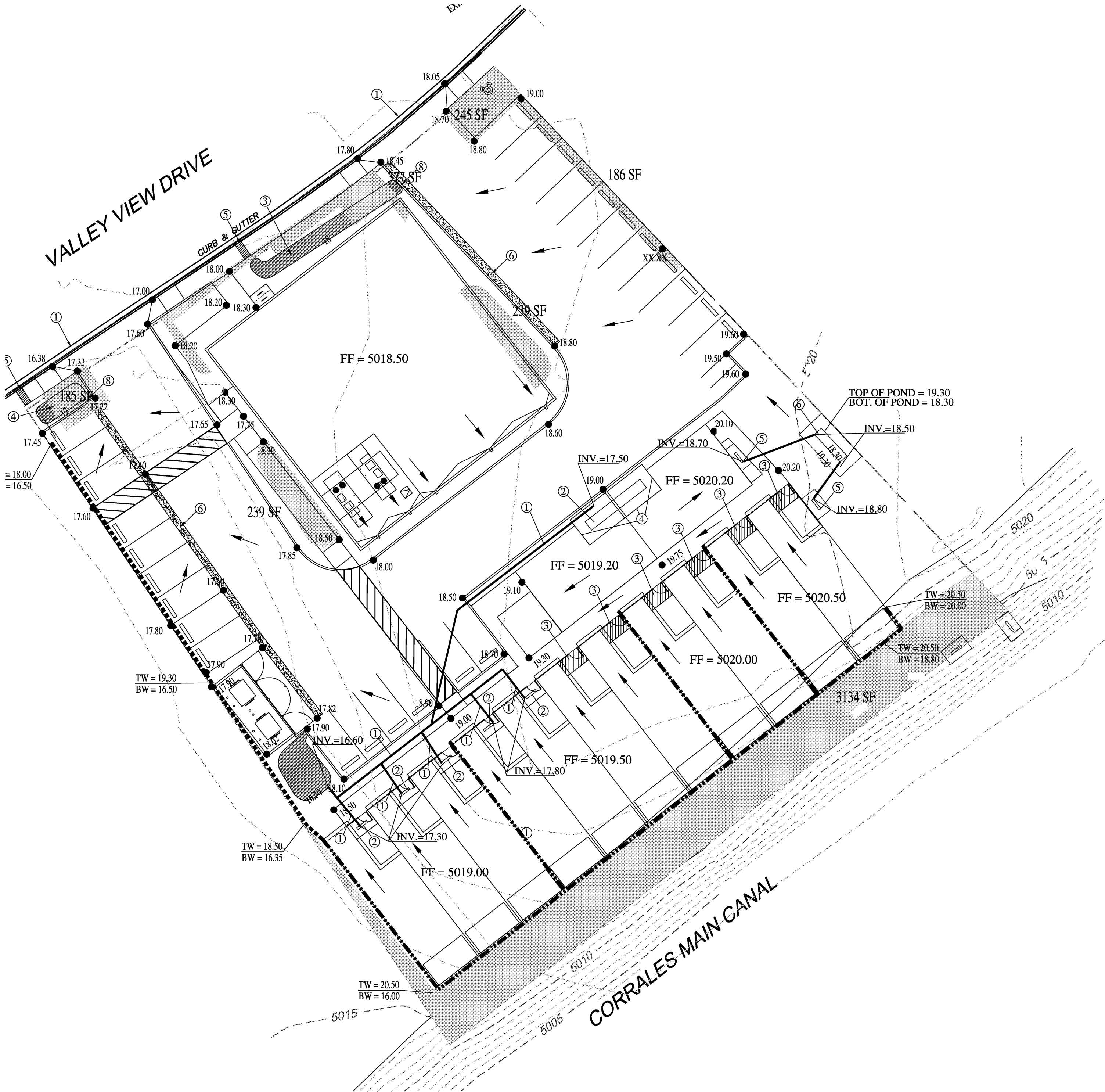
VICINITY MAP: C-10-Z

LEGAL DESCRIPTION:
TRACT 3F-1-A, BLACK RANCH
ADDRESS: 9836 VALLEY VIEW DR., NW

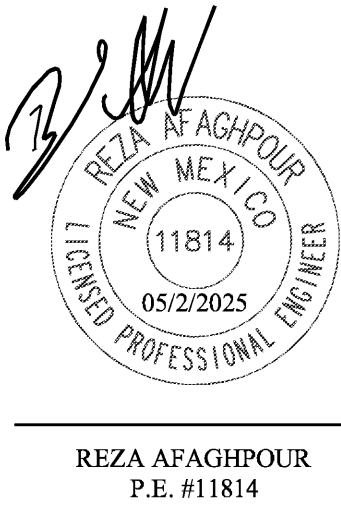
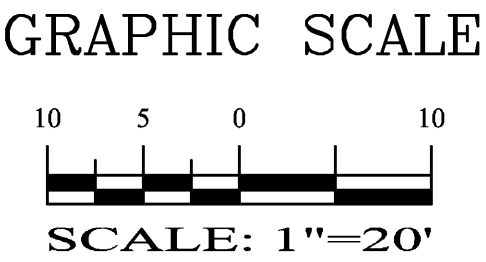
BENCHMARK
CITY BNCHMARK 10_D10, ELEVATION OF 5322.212 FEET ABOVE SEA LEVEL.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



- KEYED NOTES:
1. PROVIDE PONDING WITH RIPRAP. BOTTOM OF POND TO BE MIN. 10" BELOW THE WINDOW. PROVIDE RAIN GUTTERS AT EDGE OF BUILDING.
 2. INSTALL 4" PVC STORM DRAIN PIPE.
 3. INSTALL ROOF COVER IN THIS AREA.
 4. INSTALL RAIN GUTTER AT THE EDGE.
 5. INSTALL RAIN GUTTER AT THE EDGE OF POND TO BE MIN. 10" BELOW THE WINDOW.
 6. INSTALL A NEW POND.



SBS CONSTRUCTION AND ENGINEERING, LLC

7632 WILLIAM MOYERS AVE., NE
ALBUQUERQUE, NEW MEXICO 87122
(505)804-5013

9368 VALLEY VIEW DR, N.W.
GRADING PLAN

| | | | |
|------------------------|----------------|-----------------|-----------|
| DRAWING: 202402-GD.DWG | DRAWN BY: SH-B | DATE: 2-28-2024 | SHEET # 1 |
|------------------------|----------------|-----------------|-----------|