

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 26, 2022

Treveston Elliott, RA
811 12th St NW
Albuquerque, NM 87102

**Re: Valley View
9368 Valley View Drive NW
Traffic Circulation Layout
Architect's Stamp 05-20-2022 (C13-D036)**

Dear Mr. Elliott,

The TCL submittal received 05-24-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

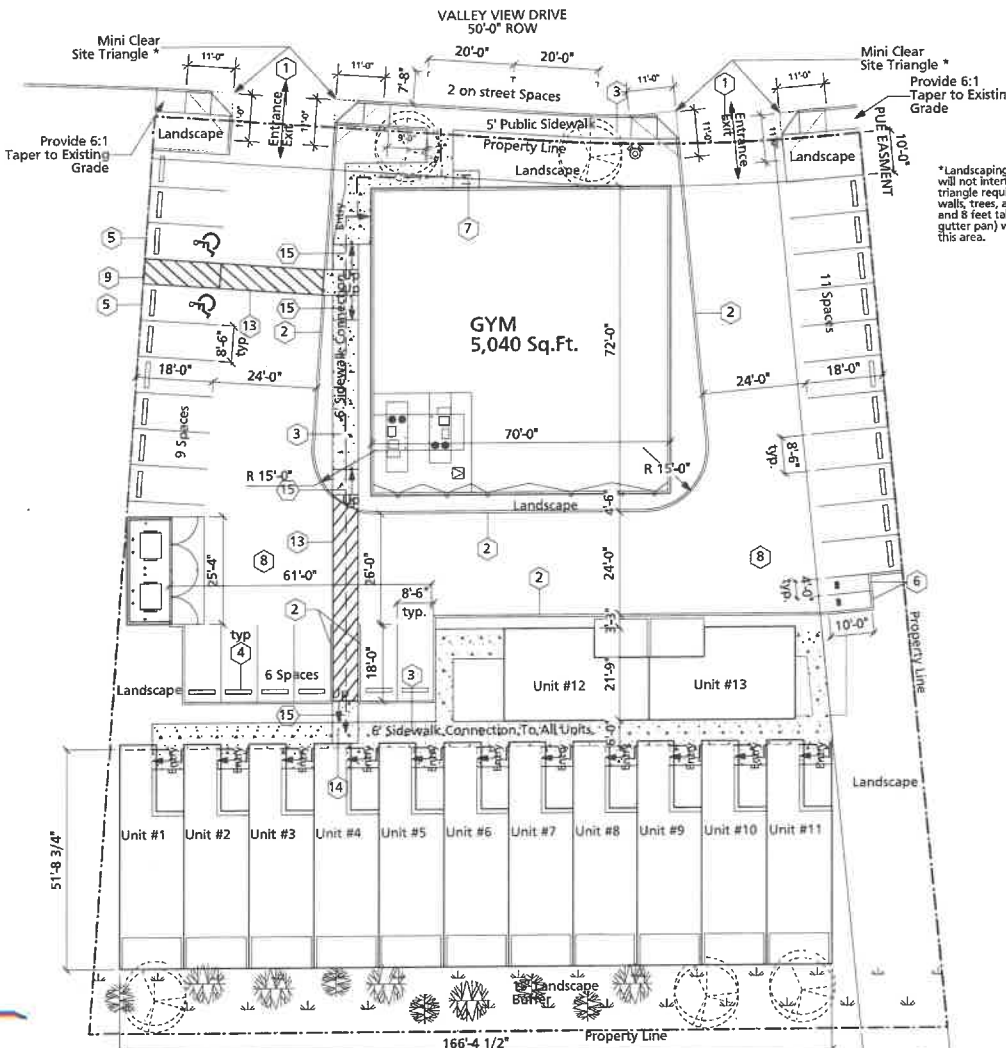
C: CO Clerk, File

PO Box 1293

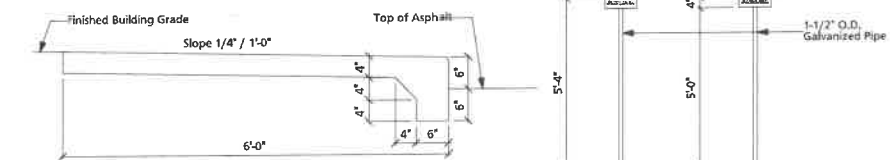
Albuquerque

NM 87103

www.cabq.gov

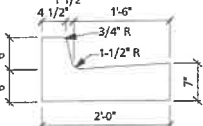


1 Site Plan
Scale: 1" = 20'-0"



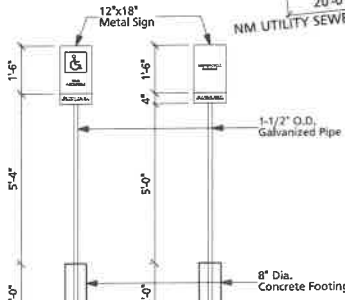
2 Standard Sidewalk Detail
Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430 cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area. Concrete walks shall have contraction joints at 6' o.c. intervals. 1/2" Expansion joints shall be installed every 36', unless otherwise shown on plans. 1/2" Expansion joints shall be installed where walk abut rigid structures.

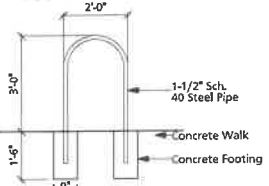


3 Standard Curb / Gutter Detail
Scale: 3/4" = 1'-0"

Provide 1/2" Expansion joints at 36' o.c. at immovable objects and at the beginning and end of curves. Provide contraction joints at 6' o.c. All exposed concrete corners to have 3/4" radius.



4 HC / Motorcycle Sign Detail
Scale: 3/8" = 1'-0"



5 Bike Rack
Scale: 3/8" = 1'-0"

Rack: min. 30" tall 18" wide U-Shape allows two place of attachment Upright Support Varying frame sizes accommodated No lift Attachment 2' min btwn. racks Rack Centered on 6'x2' concrete pad

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

Date

5/26/22

ZONING

MX-L

Setbacks- 5 ft. Front
0 Interior
15 ft. rear
Height- 38 ft.

Open Space 250 sq.ft. / 2 Bedroom = 3,250 sq.ft. required

per unit open space = 117 sq.ft. front court / 111 sq.ft. deck = 228 sq.ft.
common open space = 1,513 sq.ft

Total 4,021 sq.ft. provided

PARKING REQUIREMENTS

No Traffic Impact Study is required.

Parking: 2.5/1,000 GSF Gym @5,000 = 12.5
1/ DU Townhome @13 Units = 13

Shared Parking Reduction TABLE 5-5-3
Other commercial / Residential
12.5 + 13 / 1.3 = 19

Total Spaces required = 19
Total Spaces provided = 28
2 HC Spaces
2 Motorcycle Spaces
2 Bicycle Spaces

MINIMUM LANDSCAPE

Site Area 38,474 sq.ft.
Building Footprint 13,669 sq.ft.
Parking Lot Area 12,370 sq.ft.
Sidewalk / Patio Area 1,608 sq.ft.

Landscape Area Required per 5-6(C)(2)(B) 15% of 24,805 sq.ft. = 3,720 sq.ft.
Landscape Area Provided: = 5,710 sq.ft.

Plant Material

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass mature 2' spread 3' hgt.
- Apache Plume mature 4' spread 3' hgt.
- Russian Sage mature 4' spread 4' hgt.

Landscape Requirements

Site Area 2.44 Acres 38,918 sq.ft.
Building #1 Footprint 2,544 sq.ft.
Building #2 Footprint 1,733 sq.ft.
Building #3 Footprint 4,729 sq.ft.
Total Buildings 9,006 sq.ft.

Landscape Area: 29,912 sq.ft.
Required Landscape % .15 sq.ft.

Landscape Area Required: 4,486 sq.ft.
Landscape Area Provided: 4,505 sq.ft.

Parking Lot Area 18,860 sq.ft.
Sidewalk Area 2,550 sq.ft.
Patio Area 1,000 sq.ft.

Irrigation System
Irrigation system standards outlined in the Water Conservation
Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

PROJECT SUMMARY

New Commercial Gym (5,000 sq.ft.) and 13 Townhouse Units in two buildings.

PROJECT INFORMATION

PROJECT ADDRESS

9368 Valley View Drive NW
Albuquerque, New Mexico 87114

APPLICABLE CODES

2015 International Building Code
2015 Uniform Plumbing Code
2015 Uniform Mechanical Code
2017 National Electrical Code
2018 International Energy Conservation Code

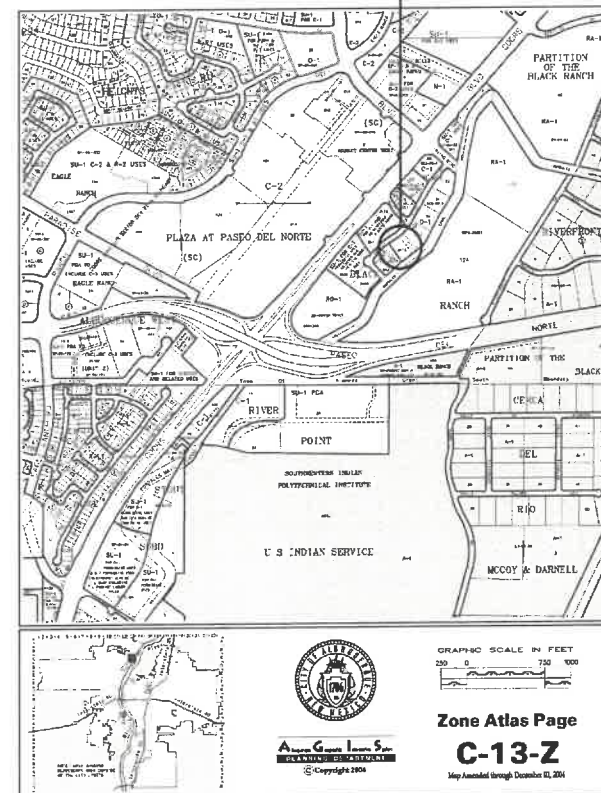
KEYED NOTES

- CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION, REFER TO CITY STANDARD DETAIL 2425
- CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION, REFER TO CITY STANDARD DETAIL 2415A SEE DETAIL #3 THIS SHEET
- CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION, REFER TO CITY STANDARD DETAIL 2430 SEE DETAIL #2 THIS SHEET
- 6" X 5.75" X 4" WHEEL STOP. PROVIDE (2) 18" LONG #4 REBAR STAKES AT EA. STOP WITH IN PARKING SPACES AS INDICATED SEE DETAIL TCL SHEET
- ADA ACCESSIBLE PARKING SIGN SEE DETAIL #4 THIS SHEET
- MOTORCYCLE PARKING SIGN SEE DETAIL #4 THIS SHEET WITH WORDS "MC" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
- BICYCLE RACK SEE DETAIL #5 THIS SHEET
- PARKING AND DRIVE AISLE FOR FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF APPARATUS WEIGHING AT LEAST 75,000 POUNDS. CONTRACTOR TO PROVIDE ENGINEER DATA FOR APPROVAL.
- PARKING STRIPING 2" WIDE X 2" O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT WITH 3"X3" HANDICAP SYMBOL AND WORDS "NO PARKING" IN CAPITAL LETTERS 1" HIGH 2" STROKE AS CLOSE TO WHERE ADJACENT VEHICLES REAR TIRE WOULD BE PARKED
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE A WORK ORDER
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER
- PARKING WHITE STRIPING 2" WIDE X 2" O.C. DIAGONAL PAINT STRIPPING. SEE INDICATED LAYOUT
- ALL SIDEWALK LANDINGS TO HAVE MAX 2% SLOPE ALL DIRECTIONS
- MAX 1:12 SLOPE ON ALL RAMPS

LEGEND

- PROPERTY LINE
- NEW CONCRETE
- LANDSCAPE AREA
- LANDSCAPE BUFFER AREA

Project Site: 9368 Valley View Drive NW



Date: May 24, 2022

Sheet: Traffic Circulation Layout

Zone Atlas Page
C-13-Z
Map Amended through December 31, 2014

TCL

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ARCHITECT

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C13-D036